

**SECTION 00 90 02
BIDDING AND CONTRACT REQUIREMENTS
ADDENDUM NUMBER 2**

**Demonica Kemper Architects
125 N. Halsted Street, Suite 301
Chicago, IL 60661
312.496.0000**

To: Prospective Bidders

Issued: November 1, 2024

Re: ADDENDUM NUMBER (2) TO THE BIDDING DOCUMENTS FOR

**McHenry County College
2024 Renovations – Bid Package 2**
Architect's Project Number: 24-013

This addendum forms a part of the bidding and contract documents and modifies the original bidding documents dated October 17, 2024. Acknowledge receipt of this addendum in the space provided on Bid Form. FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION.

ADDENDA TO THE PROJECT MANUAL

1. 00 41 13 – BID FORM
 - A. **ADD** ALTERNATE No. 6 to Part 2, Alternate Bids of the Bid Form. The entire specification section has been re-issued to be included in the bid submittal.
2. 01 23 00 – ALTERNATES
 - A. **ADD** Alternate No. 6 as indicated below to section 3.1-SCHEDULE OF ALTERNATES.
'F. ALTERNATE NO. 6: Deduct to the Lump Sum Base Bid to provide non-rated gyp partitions and a gyp soffit in lieu of fire walls, shaft walls, and the fire door at the Library Renovation in the Second Floor of Building A. Refer to Architectural and Electrical drawings for location and additional details.'
 - B. The specification section has not been re-issued. The changes noted will be reflected in the final Issued for Construction Specifications released post-bid.
3. 08 80 00 – GLAZING
 - A. **REVISE** 2.8-A-3 to "60 inches high" in lieu of "48 inches high".
 - B. The specification section has not been re-issued. The changes noted will be reflected in the final Issued for Construction Specifications released post-bid.

ADDENDA TO THE DRAWINGS

ARCHITECTURAL

1. AD1.11
 - A. **ADD** Demo Referenced Note F7.
 - B. **REVISE** F3 demo note in EMS LAB to F7.
2. AD1.20
 - A. **REVISE** demolition extent of existing South Gallery wall.
3. AD2.20
 - A. **REVISE** demolition extent of existing South Gallery wall.
 - B. **REVISE** existing window layout and associated scope to demolish the existing window blinds.
4. A1.11
 - A. **ADD** scope of Floor Plan Reference Note 13 for continuous blocking to plan as indicated.

5. A1.20
 - A. **DELETE** pole mount TV.
 - B. **REVISE** Referenced Note 9 to refer to the fire rated folding door in lieu of pole mount tv.
 - C. **REVISE** existing Gallery wall near DIRECTOR OFFICE A212A as indicated.
 - D. **ADD** monitor and Power/ Data to existing corridor wall outside of Library. Refer to Elec.
 - E. **REVISE** existing window layout and associated furring walls as indicated on Library Floor Plan and Dimension Plan.
 - F. **DELETE** Millwork cabinets and countertop from TECH PROCESSING A212C and associated enlarged plans and details. Scope of millwork in this area no longer included in the project.
 - G. **ADD** scope of Floor Plan Reference Note 13 for continuous blocking to plan as indicated.
 - H. **ADD** fire extinguisher cabinets as indicated. Refer to plan for types.
6. A2.20
 - A. **REVISE** existing window layout and associated scope for new roller shades.
 - B. **REVISE** size of new gyp ceiling at existing South Gallery wall near DIRECTOR OFFICE A212A to be reduced in length where existing Gallery wall has increased in length.
 - C. **ADD** control joint where existing soffit meets elongated South Gallery wall as indicated.
 - D. **DELETE** the two new square recessed downlights near the library entrance.
 - E. **REVISE** associated reference note 6 to indicate control joint location at soffit.
 - F. **REVISE** GALLERY A212.3 lighting and ceiling layout as indicated.
 - G. **REVISE** 2x2 return grille in GALLERY A212.3 to 1x4 return grille.
 - H. **REVISE** lighting layout at South Gallery wall near LIBRARY A212 entrance as indicated.
 - I. **ADD** referenced note 18 and 19 to clarify scope associated with Fire Rated Folding Door.
7. A7.01
 - A. **REVISE** detail 20 as indicated.
8. A7.02
 - A. **REVISE** Detail 4 to show increased length of existing South Gallery wall.
 - B. **REVISE** Details 9 & 10 to clarify scope of fire walls and folding fire wall.
9. A9.02
 - A. **REVISE** Raised Brushed Aluminum Lettering orientation on Elevation 14.
 - B. **REVISE** "LEARNING" lettering from 6"H to 12"H on Elevation 14.
 - C. **ADD** monitor and Power/ Data to Elevation 14. Refer to Elec.
 - D. **REVISE** brushed aluminum dimensional lettering location and add brushed aluminum logo with approximate size/ placement dimensions indicated on elevation.
 - E. **REVISE** "TUTORING CENTER" signage height from 18"H to 12"H and revise phrasing to say "TUTORING" on Elevation 12.
 - F. **ADD** 6"H black vinyl lettering saying "ACADEMIC SUPPORT" below "TUTORING" lettering on Elevation 12.
 - G. **ADD** control joints to Elevation 12 as indicated.
 - H. **DELETE** pole mount monitor note on Elevation 6.
 - I. **REVISE** Elevation 6 to show elongated Gallery wall and termination of PT-5 at new control joint.
 - J. **REVISE** frosted vinyl film (V-3) extents on Elevation 5.
 - K. **ADD** control joint to Elevation 13 as indicated.
 - L. **ADD** fire extinguishers cabinet as indicated.
10. A9.52
 - A. **REVISE** size of Book Return opening from 1'-6" wide to 1'-3" wide on Millwork Elevation 1C.
 - B. **REVISE** size of vinyl Book Return lettering from 4"H to 2"H on Millwork Elevation 1C.
11. A9.53
 - A. **DELETE** Millwork Plan 11 – Tech Processing.
12. A9.54
 - A. **DELETE** Millwork Elevation 1 – Tech Processing.
 - B. **DELETE** Millwork Detail 9.
13. A11.10
 - A. **ADD** Finish Plan Reference Note 15.
 - B. **ADD** scope of Plan Reference Note 15 for new subfloor leveler to plan as indicated.
14. A11.11
 - A. **REVISE** LVT-1 in EMS LAB D167, STORAGE D167D, and STORAGE D167C to EPX-1 over existing floor to remain.
 - B. **ADD** EPX-1 to Floor Finish Types legend.

- C. **ADD** Note 14 to Finish Plan Referenced Notes legend, EMS LAB D167, STORAGE D167C and STORAGE D167D.
- D. **ADD** TRANS-2 from EMS LAB D167 into EMS OFFICE SUITE D166.

STRUCTURAL

- 1. Structural Reference Sheet
 - A. **ADD** structural reference sheet in its entirety to provide attachment details for Fire Rated Folding Door at the Library in Building A, 2nd Floor.

PLUMBING

- 2. P2.10
 - A. **ADD** 'EWC-1' to 'PLUMBING FIXTURE SCHEDULE'.

ELECTRICAL

- 1. E0.12
 - A. **ADD** proposed routing of new feeders on lower level.
 - B. **ADD** approximate locations of new rooms on upper level containing electrical panels.
 - C. **REVISE** note regarding server room cooling system replacement.
 - D. **ADD** general notes to drawing.
- 2. E1.11
 - A. **ADD** receptacles serving electric water cooler and associated drawing note located outside Gender Neutral Toilet D151E.
- 3. E1.20
 - A. **DELETE** ceiling mounted devices and associated drawing note outside Director Office A212A.
 - B. **ADD** receptacle and data outlet outside IT Help Desk A212.2.
 - C. **DELETE** ceiling mounted fire alarm device at IT Help Desk A212.2.
 - D. **DELETE** (1) floor box at Library A212.
- 4. E2.20
 - A. **REVISE** lighting layout outside Directory Office A212A.
 - B. **REVISE** luminaire type in wood ceiling panel at Library A212.
 - C. **REVISE** luminaire type at IT Help Desk A212.2.
 - D. **REVISE** luminaire type at Gallery A212.3.
- 5. E3.00
 - A. **REVISE** 'ELECTRICAL RISER DIAGRAM' as indicated.
- 6. E4.00
 - A. **REVISE** 'LUMINAIRE SCHEDULE' as indicated.
 - B. **ADD** 'LIGHTING CONTROL SEQUENCE OF OPERATION' as indicated.
- 7. E4.10
 - A. **ADD** circuit in schedule for panel "S/H".
 - B. **REVISE** remarks for panels "S/H" and "S/J2".

CLARIFICATIONS

- 1. Refer to attached pre-bid RFI submitted and the responses provided. Any pre-bid RFI not listed in this addendum will be included with responses in a subsequent addenda.

This addendum consists of 3 pages, excluding attachments.

END 00 90 02.

Attachments:

- 1. 2024.11.01 – MCC 2024 Reno BP2 – Pre-bid RFI_ADDENDUM #2
- 2. 00 41 13 – BID FORM
- 3. AD1.11, AD1.20, A1.11, A1.20, A2.20, A7.01, A7.02, A9.02, A9.52, A9.53, A9.54, A11.10, A11.11
- 4. Structural Reference Sheet
- 5. P2.10, E0.12, E1.11, E1.20, E2.20, E3.00, E4.00, E4.10



McHenry County College
2024 Renovations - Bid Package 2
DKA Project No.: 24-013

Pre-Bid RFI - Addendum 2
11/1/2024

RFI #	Question	Answer
001	What are the deck heights in each renovation area?	The deck heights in each renovation area are... - Building A, 2nd Floor = +/- 13'-0" AFF. The deck above is structurally sloped so it varies throughout the renovation area. - Building A, 1st Floor = +/- 13'-0" AFF - Building C = +/- 13'-4" AFF - Building D = +/- 19'-4" AFF. The deck above is structurally sloped so it varies throughout the renovation areas.
002	As shown in drawings, . There are a number of card readers shown on the floor plan E1.20. In the Spec it says "credential reader by division 28" however there isn't a division 28 in the spec book. Please clarify.	Door Access Control systems will be conduit rough-in only. Final installation of card readers, notification to exit devices, and associated wiring will be provided by Owner's Vendor. Disregard reference notes to DIV 28 in door hardware specification.
003	Sheet E501 is missing from the set of drawing and is listed on the title page.	There is no sheet E501. This sheet was included in the sheet index in error and can be disregarded. The sheet index will be updated in the Issued for Construction Drawings after the award of the contract.
004	Door Schedule Sheet A10.00 show the use of glass type GL-03 yet the specification section do not list exactly what GL-03 is.... Need to know what this item is?	GL-03 is the same as GL-02 but at a 3/8" (10mm) thickness.
005	It looks like there is to be carpet removed on sheet AD1.11 per note F3. Per the walk thru today it looks to be epoxy or painted floors. Please confirm the intent is to use lvt over ex floors?	Refer to Addendum #2 for clarification on the flooring removal and new type of flooring at the EMS lab.
006	The drawings and the finish schedule indicate PWP-1 perforated wood panels and to see spec. What spec can I find this in?	Refer to Spec Section 09 84 33 Sound Absorbing Wall and Ceiling Units for product details for PWP-1 Perforated Wood Panels.
007	Spec 064216 item 2.2 F 2 indicates PVC T-mold for exposed edges. Will 3m PVC be acceptable, as PVC T-molding is not very common for cabinets.	3m PVC is acceptable.
008	Spec 064216 item 2.2 F 1 indicates HGS laminate for exposed surfaces. Please confirm this is required, as VGS laminate is typically standard for cabinet exteriors.	HGS laminate is required for horizontal surfaces, but VGS can be used on vertical surfaces.
009	Spec 064216 includes WD-1, 2 & 3 and is described as wood paneling. The only item noted on the drawings on the finish schedule on A11 sheets is WD-3 which is a 2" solid wood edge. Is this the correct spec for this item? And is WD-1, 2, & 3 in the spec relevant to this project? Please clarify.	Refer to Millwork Sheets for WD-1 and WD-2 locations (A9.51-A9.54). Refer to Detail Sheets (17/A7.01, 15/A7.02, 10&11/A7.51), Interior Elevation Sheets (A9.02), Millwork Details (A9.51) and Finish Plans (A11.20) for WD-3 locations. The design in intent is for WD-1 (solid wood) and WD-2 (Veneer) to have the same custom finish to match the control sample and for WD-3 (Solid wood) to be stained to match the Perforated Wood Panels (PWP-1).
010	Upon looking through the project documents, I see it mentions four window films (v1, v2, v3, and v4). I see that V3 is a frosted film which I can quote the standard for, but can you clarify how "high" of a gradient for V4 and specifics on V1 and V2?	Refer to 08 80 00 GLAZING, Section 2.8 for details on V2, V3, and V4 and the interior elevations / window elevations for extents of the graphics provided. V1 will be a custom graphic printed on the applied vinyl, size as indicated on the drawings.
011	The EWC-1 shown on P1.11/detail 3 (Alternate #2) is not shown on the fixture schedule. Is this water cooler supposed to be new? Demo note "16" on PD1.11/detail 3 calls out for the existing water cooler to be removed but does not say to "reinstall." So, I'm assuming this unit goes to the trash? Are we to provide a new water cooler? If so, please have the A/E provide a make and model.	Yes, a new EWC is to be provided and installed as indicated on the drawings. Refer to Addendum #2 for revised plumbing drawings. The existing EWC can be removed and either salvaged to the owner or thrown out.

012	Can you provide more information on the signage planned for the wall noted on 11/A9.02.	Refer to Addendum #2 for additional details on the logo planned for 11/A9.02.
013	Are the CMU walls removed at the toilet room full height? If so, what shoring is required for demolition and bracing is required for new work?	The west walls and outer south walls of the existing office area are full height. The inner south wall is partial height. Both south walls are shown to be removed complete up to deck. The contractor is responsible for providing a shoring plan to safely remove both existing CMU walls to the south. The west CMU wall will be left existing to remain with new bracing provided as required to maintain structural stability of the full height CMU wall.

SECTION 00 41 13 - BID FORM

To: McHenry County College
8900 US Hwy 14
Crystal Lake, IL 60012

Project: 2024 Renovations – Bid Package 2

Date: _____

Submitted by:

(Full name and address)

PART 1 - OFFER

Having examined the site and having familiarized itself with the conditions affecting the cost of the work associated with the project and with the bidding documents, Bidder hereby proposes to perform everything required and to furnish all labor, materials, necessary tools, expendable equipment, and transportation services necessary to complete in a workmanlike manner the subdivision of work stated above in accordance with the bidding documents for the following sums:

Base Bid:

We have included, attached herewith, the Bid Bond as required by the Instructions to Bidders.

The Bidder agrees to perform the work for the lump sum amount of:

TOTAL BASE BID \$ _____ (in figures)

_____ (in words)

Allowances:

The undersigned hereby states that all allowance amounts, as described in Section 01 21 00, are included in the Total Base Bid proposal amount listed above.

ALLOWANCE NO. 1: Unforeseen Condition Allowance of \$25,000.00

ALLOWANCE NO. 2: Fire Wall Allowance of \$25,000.00

Alternate Bids:

The undersigned hereby states the net amount of decrease or increase to the Lump Sum Base Bid for the following Alternates as described in Section 01 23 00.

ALTERNATE No. 1: Deduct from the Lump Sum Base Bid to eliminate the Liquidated Damages Clause from the Contract.

Total, Alternate No. 1: \$ _____

ALTERNATE No. 2: Deduct from the Lump Sum Base Bid to eliminate the entire scope of work at the Toilet Room Renovation in the First Floor of Building D.

Total, Alternate No. 2: \$ _____

ALTERNATE No. 3: Deduct from the Lump Sum Base Bid to eliminate the entire scope of work at the Server Room Cooling System Replacement in the First Floor of Building A.

Total, Alternate No. 3: \$ _____

ALTERNATE No. 4: Deduct from the Lump Sum Base Bid to leave the raised flooring areas, indicated on the drawing, under the existing server racks / equipment as existing to remain in lieu of a new raised flooring system at the Server Room Cooling System Replacement in the First Floor of Building A. Refer to architectural drawings for location and additional details. Alternate No. 4 will not apply if Alternate No. 3 is selected.

Total, Alternate No. 4: \$ _____

ALTERNATE No. 5: Add to the Lump Sum Base Bid to raise the section of the Hot Water Supply / Hot Water Return piping at the Library Renovation in the Second Floor of Building A.

Total, Alternate No. 5: \$ _____

ALTERNATE No. 6: Deduct to the Lump Sum Base Bid to provide non-rated gyp partitions and a gyp soffit in lieu of fire walls, shaft walls, and fire door at the Library Renovation in the Second Floor of Building A.

Total, Alternate No. 6: \$ _____

PART 3 - ACCEPTANCE

This offer shall be open to acceptance and is irrevocable for thirty (90) days from the Bid closing date.

If the bid is accepted by the Owner within the time period stated above, we will:

- A. Execute the Agreement within ten (10) days of receipt of Notice of Award.
- B. Furnish the required bonds within ten (10) days of receipt of Notice of Award in the form described in the Supplementary Conditions.
- C. Furnish the required Certificate of Insurance within ten (10) days of receipt of Notice of Award in the form and amounts described in the Supplementary Conditions.
- D. Commence work as established by the written Notice to Proceed.

If this Bid is accepted within the time stated, and we fail to commence the Work or we fail to provide the required Bonds(s), the Security Deposit shall be forfeited as damages to the Owner by reason of our failures.

In the event our Bid is not accepted within the time stated above, the required security deposit shall be returned to the undersigned, in accordance with the provisions of the Instructions to Bidders; unless a mutually satisfactory arrangement is made for its retention and validity for an extended period of time.

PART 4 - CONTRACT TIME

If the Bid is accepted, we will:

- A. Complete the work in manner consistent to meet the requirements of the schedule.
- B. Contractor has examined the Schedule included in these documents and takes no exception, or records the following exceptions:

PART 5 - CONTRACTOR'S FEES FOR CHANGES IN THE WORK

Lump Sum or Time and Materials Changes: We, the undersigned bidder, agree that the following percentages for overhead and profit shall be added to costs for the net amount of work added to, or deleted from, the contract by written lump sum or time and material change orders recommended by the Architect and approved by the Owner:

- A. On Contractor's direct net cost: 15%, with a minimum fee of one hundred dollars (\$100.00).
- B. On first-tier Subcontractor's net cost: 5%, with a minimum fee of fifty dollars (\$50.00). Net cost includes all sub-subcontractors work, and excludes subcontractors (all tiers) overhead and profit amounts.

Note: Insurance, bond, and taxes are considered as job cost items and are included in the percentages listed above.

PART 6 - ADDENDA

The following Addenda have been received. The modifications to the Bid Documents noted therein have been considered and all costs thereto are included in the Bid Sum.

Addendum #	___	Dated	_____	Addendum #	___	Dated	_____
Addendum #	___	Dated	_____	Addendum #	___	Dated	_____

PART 7 - SUBCONTRACTORS

Identify below which work will be completed by the General Contractor's own forces and which work will be completed by first tier Subcontractors. Include Subcontractors name and estimated contract amount.

Scope of Work	GC/Sub.	Name	Est. Contract Amount
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

PART 8 - BID FORM SIGNATURE(S)

The Corporate Seal of:

(Bidder – please print the full name of your Proprietorship or Corporation)

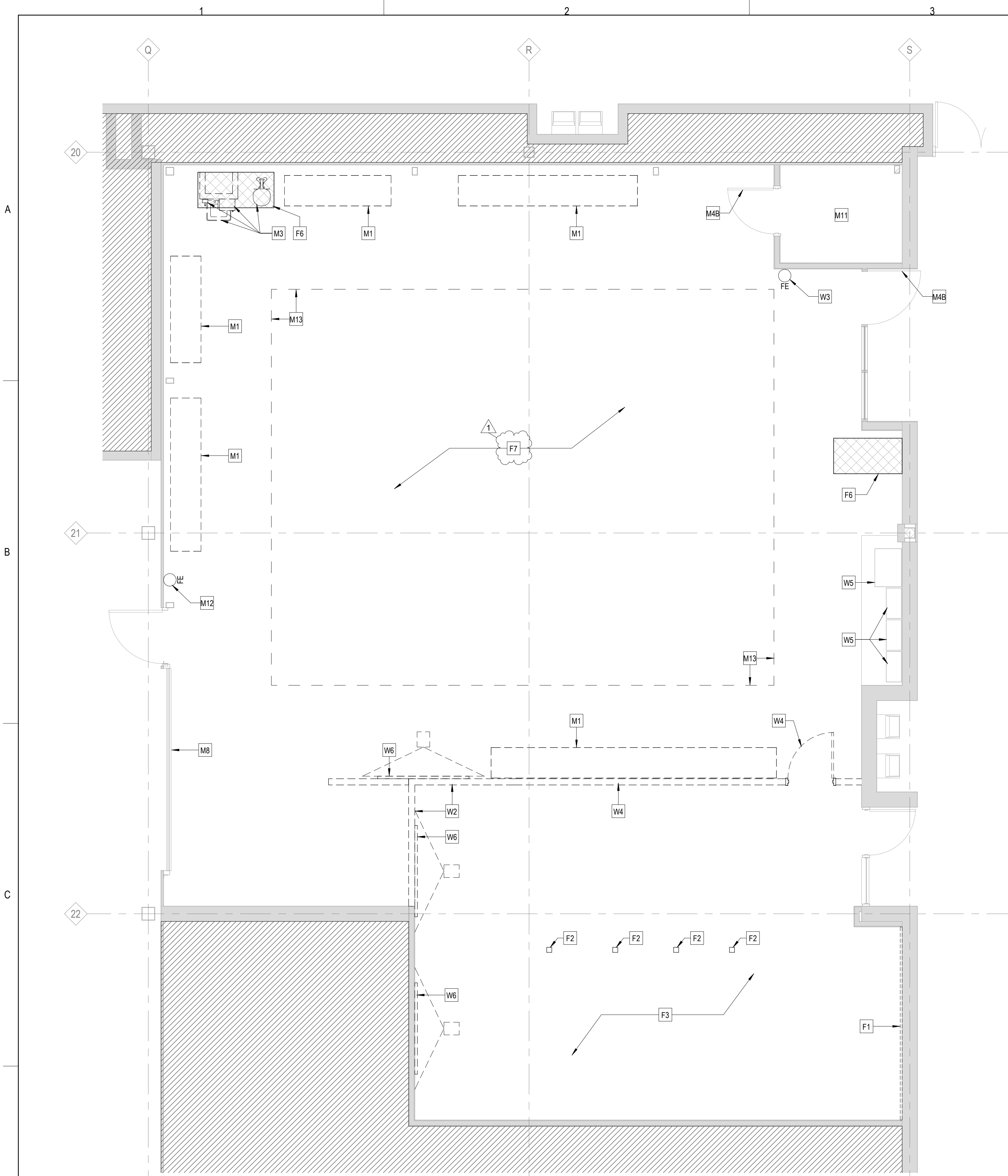
Was hereunto affixed in the presence of:

(Authorized signing officer)

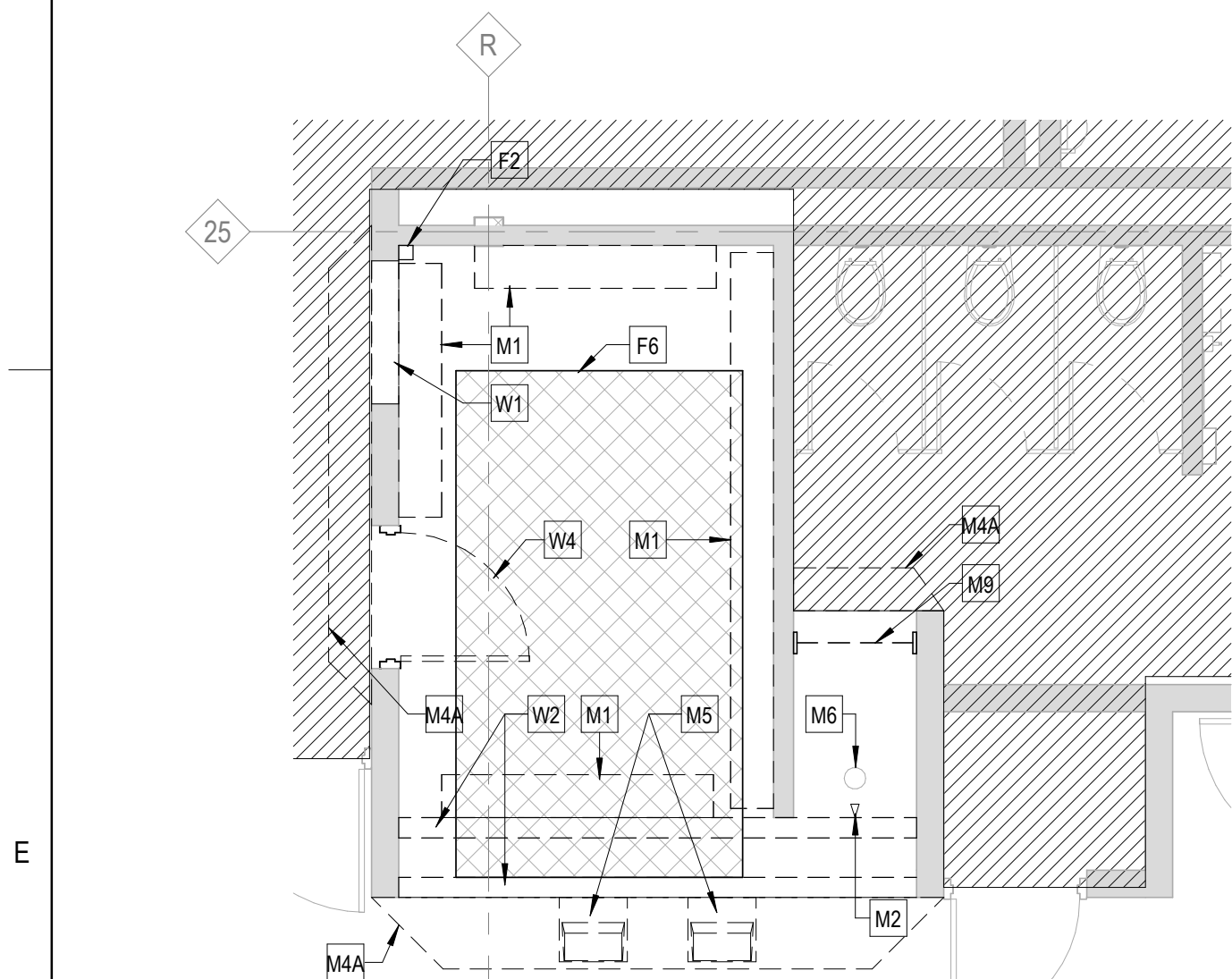
(Title)

(Seal)

END OF SECTION 00 41 13



1 DEMO PLAN - EMS
1/4" = 1'-0"



2 DEMO PLAN - TOILET
1/4" = 1'-0"

DEMO GENERAL NOTES:

1. PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
3. REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
4. DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
6. WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER- LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
7. CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCUMBER THE USE OF EXISTING ADJACENT SPACES.
8. EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
9. REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
10. REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
11. REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
12. NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
13. ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
14. REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES UNLESS OTHERWISE NOTED.

DEMO SYMBOLS LEGEND:

- NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS
- HATCH INDICATES AREA NOT IN SCOPE
 - GYPSUM BOARD OR PLASTER PARTITION TO BE REMOVED
 - CMU PARTITION TO BE REMOVED
 - FRAME AND DOOR TO BE REMOVED, SALVAGE HARDWARE TO OWNER
 - SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED
 - SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
 - GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
 - GYPSUM BOARD OR PLASTER CEILING TO REMAIN
 - RECESSED 2x4 LAY-IN LIGHT FIXTURE TO BE REMOVED
 - RECESSED 2x2 LAY-IN LIGHT FIXTURE TO BE REMOVED
 - RECESSED 2x4 LAY-IN LIGHT FIXTURE TO REMAIN
 - RECESSED 2x2 LAY-IN LIGHT FIXTURE TO REMAIN
 - LINEAR LIGHT FIXTURE TO BE REMOVED
 - REMOVE MOTORIZED SCREEN - SALVAGE TO OWNER
 - REMOVE CEILING MOUNTED PROJECTOR - SALVAGE TO OWNER
 - RETURN AIR GRILLE TO BE REMOVED
 - SUPPLY AIR GRILLE TO BE REMOVED
 - RETURN AIR GRILLE TO REMAIN
 - SUPPLY AIR GRILLE TO REMAIN

DEMO REFERENCED NOTES:

- FLOOR DEMOLITION KEYED NOTES
- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
 - F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
 - F3. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE.
 - F4. CLEAN AND PREP FLOOR SLAB AS REQUIRED FOR NEW FLOORING FINISH.
 - F5. REMOVE VCT FLOORING, TRANSITIONS, RESILIENT BASE, AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR SLAB AS REQUIRED FOR NEW FLOORING FINISH.
 - F6. EXISTING RESILIENT RAMP AND STAIR TREADS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
 - F7. HATCH INDICATES PROPOSED AREA OF SLAB REMOVAL AS REQUIRED FOR PLUMBING WORK. BACKFILL AS REQUIRED. AN OWNER PER DETAIL, HATCH.
 - F8. PREP EXISTING EPOXY BROADCAST FLOOR AS REQUIRED TO INSTALL NEW SPECIFIED EPOXY FLOOR COATING.
- WALL DEMOLITION KEYED NOTES
- W1. REMOVE CMU AS REQUIRED FOR NEW OPENING. CUT WHOLE BLOCKS BACK AND INTALL NEW CMU AS REQUIRED FOR SOLID JAMBS.
 - W2. REMOVE WALL COMPLETE TO DECK (+/- 18") ABOVE FOR EXTENTS INDICATED. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
 - W3. EXISTING FIRE EXTINGUISHER TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
 - W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
 - W5. EXISTING MECHANICAL / ELECTRICAL EQUIPMENT TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
 - W6. REMOVE EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING COMPLETE. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- CEILING DEMOLITION KEYED NOTES
- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
 - C1B. NOT USED.
 - C1C. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL GRILLES / REGISTERS, ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. COMPLETE TO EXTENTS INDICATED. REMOVE ALL LIGHTING / DEVICES AND SALVAGE FOR REINSTALLATION IN NEW CEILING. ALL SPRINKLERS TO BE LEFT EXISTING TO REMAIN AND PROTECTED THROUGHOUT CONSTRUCTION. REMOVE SPRINKLER COVERPLATES AND REINSTALL IN NEW CEILING. REMOVE AND SALVAGE ALL FULLY INTACT, NON-DAMAGED CEILING TILES AND TURN OVER TO OWNER FOR ATTIC STOCK.
 - C1D. REMOVE ALL CEILING TILES, LIGHTING, AND DIFFUSERS / REGISTERS COMPLETE. LEAVE GRID INTACT AND PROTECT AS REQUIRED FOR NEW WORK. REMOVE ALL DEVICES AND SALVAGE FOR REINSTALLATION IN NEW CEILING TILES. LEAVE EXISTING SPRINKLER HEADS TO REMAIN, U.N.O. ON FIRE PROTECTION DRAWINGS.
 - C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
 - C3. REMOVE TRACK LIGHTING SYSTEM COMPLETE. PATCH AND PREP CEILING AS REQUIRED FOR NEW LIGHT FIXTURE INSTALLATION (REFER TO ELEC).
 - C4. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
 - C5. REMOVE OVP, CEILING AND LIGHT FIXTURES COMPLETE TO EXTENTS INDICATED.
 - C6. REMOVE SUSPENDED CEILING SYSTEM COMPLETE AS REQUIRED FOR MECHANICAL DUCT REPLACEMENT. SALVAGE ALL UN-DAMAGED TILES, LIGHTS, AND DEVICES FOR REINSTALLATION IN NEW WORK. COORDINATE SCHEDULING OF NEW WORK WITH OWNER PRIOR TO COMMENCEMENT.
- MISCELLANEOUS DEMOLITION KEYED NOTES
- M1. REMOVE EXISTING COUNTERTOPS, SINKS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
 - M2. REMOVE EXISTING SHOWER HEAD, CONTROLS, PIPING AND SHOWER ACCESSORIES COMPLETE.
 - M3. EXISTING MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) TO BE REMOVED COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
 - M4A. PROVIDE FULL-HEIGHT DUST ENCLOSURE TO EXISTING CEILING ABOVE THROUGHOUT THE DURATION OF CONSTRUCTION. PROVIDE ACCESS LOCATIONS AS REQUIRED FOR CONTRACTOR AND OWNER ACCESS.
 - M4B. EXISTING DOOR TO REMAIN. SEAL AT THE BEGINNING OF CONSTRUCTION FOR DUST CONTROL AND PROTECT THROUGHOUT CONSTRUCTION.
 - M5. REMOVE EXISTING DRINKING FOUNTAINS COMPLETE.
 - M6. EXISTING SHOWER DRAIN TO REMAIN. REFER TO PLUMBING.
 - M7. NOT USED.
 - M8. EXISTING OVERHEAD COILING GARAGE DOOR TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
 - M9. REMOVE SHOWER CURTAIN, ROD, AND SOLID SURFACE TRIM COMPLETE.
 - M10. CORRIDOR TO REMAIN OPEN AND ACCESSIBLE THROUGHOUT CONSTRUCTION. THE GC IS RESPONSIBLE FOR COORDINATING A PHASED SEQUENCE OF DEMO AND NEW WORK WITH THE OWNER TO MAINTAIN CONTINUED OPERATION OF THE CORRIDOR. REFER TO SPECS FOR ADDITIONAL DETAILS.
 - M11. EXISTING IT CLOSET - EQUIPMENT TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION - PROVIDE DUST PROTECTION OVER DOOR AND COORDINATE WITH OWNER IF ANY TEMP POWER OR VENTILATION IS REQUIRED WITH NEW WORK SCOPE.
 - M12. REMOVE FIRE EXTINGUISHER AND ASSOCIATED WALL MOUNT. TURN OVER TO OWNER.
 - M13. REMOVE ALL UTILITIES AND UTILITY SUPPORT SYSTEMS (UNISTRUT, CONDUIT, HANGERS, PEDESTALS, ETC) SERVING OLD EQUIPMENT COMPLETE IN THE AREA INDICATED.



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 2
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

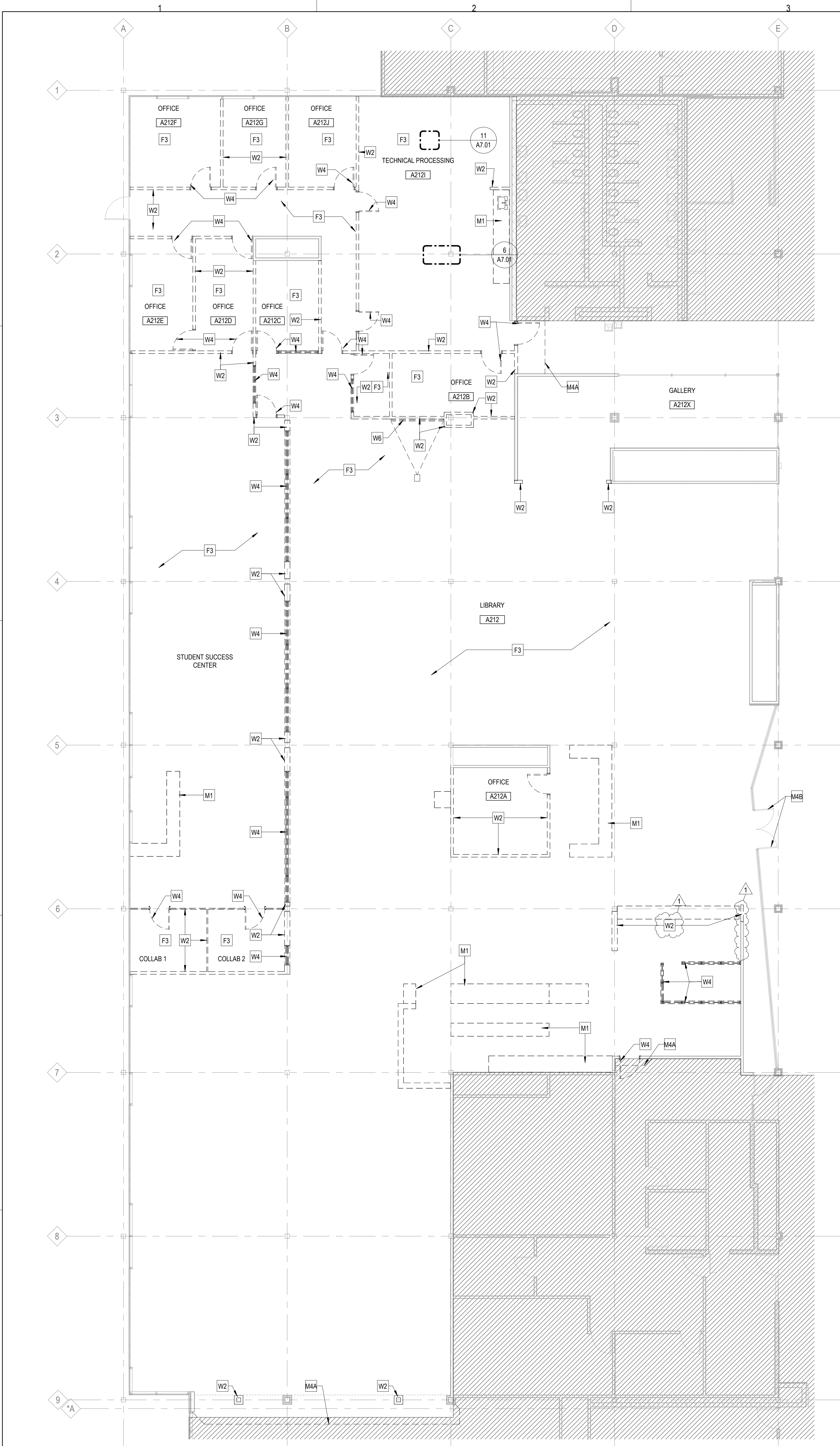
SHEET STATUS: 10/17/2024
**ISSUED FOR BID - NOT
FOR CONSTRUCTION**

NO.	DESCRIPTION:	DATE:
1	ADDENDUM #2	11/1/2024

SHEET TITLE:
DEMOLITION PLANS

SHEET NUMBER:
AD1.11

11/4/2024 12:35:40 PM



DEMO GENERAL NOTES:

1. PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
3. REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
4. DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
6. WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER- LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
7. CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCUMBER THE USE OF EXISTING ADJACENT SPACES.
8. EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
9. REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
10. REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
11. REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
12. NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
13. ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
14. REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES UNLESS OTHERWISE NOTED.

DEMO SYMBOLS LEGEND:

- NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS
- HATCH INDICATES AREA NOT IN SCOPE
 - GYPSUM BOARD OR PLASTER PARTITION TO BE REMOVED
 - CMU PARTITION TO BE REMOVED
 - FRAME AND DOOR TO BE REMOVED, SALVAGE HARDWARE TO OWNER
 - SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED
 - SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
 - GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
 - GYPSUM BOARD OR PLASTER CEILING TO REMAIN
 - RECESSED 2x4 LAY-IN LIGHT FIXTURE TO BE REMOVED
 - RECESSED 2x2 LAY-IN LIGHT FIXTURE TO BE REMOVED
 - RECESSED 2x4 LAY-IN LIGHT FIXTURE TO REMAIN
 - RECESSED 2x2 LAY-IN LIGHT FIXTURE TO REMAIN
 - LINEAR LIGHT FIXTURE TO BE REMOVED
 - REMOVE MOTORIZED SCREEN - SALVAGE TO OWNER
 - REMOVE CEILING MOUNTED PROJECTOR - SALVAGE TO OWNER
 - RETURN AIR GRILLE TO BE REMOVED
 - SUPPLY AIR GRILLE TO BE REMOVED
 - RETURN AIR GRILLE TO REMAIN
 - SUPPLY AIR GRILLE TO REMAIN

DEMO REFERENCED NOTES:

- FLOOR DEMOLITION KEYED NOTES**
- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
 - F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
 - F3. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR SLAB AS REQUIRED FOR NEW FLOORING FINISH.
 - F4. REMOVE VCT FLOORING, TRANSITIONS, RESILIENT BASE, AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR SLAB AS REQUIRED FOR NEW FLOORING FINISH.
 - F5. EXISTING RESILIENT RAMP AND STAIR TREADS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
 - F6. HATCH INDICATES PROPOSED AREA OF SLAB REMOVAL AS REQUIRED FOR PLUMBING WORK. BACKFILL AS REQUIRED. AN OWNER PER DETAIL, HATCH.
 - F7. PREP EXISTING EPOXY BROADCAST FLOOR AS REQUIRED TO INSTALL NEW SPECIFIED EPOXY FLOOR COATING.
- WALL DEMOLITION KEYED NOTES**
- W1. REMOVE CMU AS REQUIRED FOR NEW OPENING. CUT WHOLE BLOCKS BACK AND INTALL NEW CMU AS REQUIRED FOR SOLID JAMBS.
 - W2. REMOVE WALL COMPLETE TO DECK (+/- 18") ABOVE FOR EXTENTS INDICATED. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
 - W3. EXISTING FIRE EXTINGUISHER TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
 - W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
 - W5. EXISTING MECHANICAL / ELECTRICAL EQUIPMENT TO REMAIN - PROTECT THROUGHOUT CONSTRUCTION.
 - W6. REMOVE EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING COMPLETE. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- CEILING DEMOLITION KEYED NOTES**
- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
 - C1B. NOT USED.
 - C1C. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL GRILLES / REGISTERS, ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. COMPLETE TO EXTENTS INDICATED. REMOVE ALL LIGHTING / DEVICES AND SALVAGE FOR REINSTALLATION IN NEW CEILING. ALL SPRINKLERS TO BE LEFT EXISTING TO REMAIN AND PROTECTED THROUGHOUT CONSTRUCTION. REMOVE SPRINKLER COVERPLATES AND REINSTALL IN NEW CEILING. REMOVE AND SALVAGE ALL FULLY INTACT, NON-DAMAGED CEILING TILES AND TURN OVER TO OWNER FOR ATTIC STOCK.
 - C1D. REMOVE ALL CEILING TILES, LIGHTING, AND DIFFUSERS / REGISTERS COMPLETE. LEAVE GRID INTACT AND PROTECT AS REQUIRED FOR NEW WORK. REMOVE ALL DEVICES AND SALVAGE FOR REINSTALLATION IN NEW CEILING TILES. LEAVE EXISTING SPRINKLER HEADS TO REMAIN, U.N.O. ON FIRE PROTECTION DRAWINGS.
 - C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
 - C3. REMOVE TRACK LIGHTING SYSTEM COMPLETE. PATCH AND PREP CEILING AS REQUIRED FOR NEW LIGHT FIXTURE INSTALLATION (REFER TO ELEC).
 - C4. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
 - C5. REMOVE QYP CEILING AND LIGHT FIXTURES COMPLETE TO EXTENTS INDICATED.
 - C6. REMOVE SUSPENDED CEILING SYSTEM COMPLETE AS REQUIRED FOR MECHANICAL DUCT REPLACEMENT. SALVAGE ALL UN-DAMAGED TILES, LIGHTS, AND DEVICES FOR REINSTALLATION IN NEW WORK. COORDINATE SCHEDULING OF NEW WORK WITH OWNER PRIOR TO COMMENCEMENT.
- MISCELLANEOUS DEMOLITION KEYED NOTES**
- M1. REMOVE EXISTING COUNTERTOPS, SINKS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
 - M2. REMOVE EXISTING SHOWER HEAD, CONTROLS, PIPING AND SHOWER ACCESSORIES COMPLETE.
 - M3. EXISTING MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) TO BE REMOVED COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
 - M4A. PROVIDE FULL-HEIGHT DUST ENCLOSURE TO EXISTING CEILING ABOVE THROUGHOUT THE DURATION OF CONSTRUCTION. PROVIDE ACCESS LOCATIONS AS REQUIRED FOR CONTRACTOR AND OWNER ACCESS.
 - M4B. EXISTING DOOR TO REMAIN. SEAL AT THE BEGINNING OF CONSTRUCTION FOR DUST CONTROL AND PROTECT THROUGHOUT CONSTRUCTION.
 - M5. REMOVE EXISTING DRINKING FOUNTAINS COMPLETE.
 - M6. EXISTING SHOWER DRAIN TO REMAIN. REFER TO PLUMBING.
 - M7. NOT USED.
 - M8. EXISTING OVERHEAD COILING GARAGE DOOR TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
 - M9. REMOVE SHOWER CURTAIN, ROD, AND SOLID SURFACE TRIM COMPLETE.
 - M10. CORRIDOR TO REMAIN OPEN AND ACCESSIBLE THROUGHOUT CONSTRUCTION. THE GC IS RESPONSIBLE FOR COORDINATING A PHASED SEQUENCE OF DEMO AND NEW WORK WITH THE OWNER TO MAINTAIN CONTINUED OPERATION OF THE CORRIDOR. REFER TO SPECS FOR ADDITIONAL DETAILS.
 - M11. EXISTING IT CLOSET - EQUIPMENT TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION - PROVIDE DUST PROTECTION OVER DOOR AND COORDINATE WITH OWNER IF ANY TEMP POWER OR VENTILATION IS REQUIRED WITH NEW WORK SCOPE.
 - M12. REMOVE FIRE EXTINGUISHER AND ASSOCIATED WALL MOUNT. TURN OVER TO OWNER.
 - M13. REMOVE ALL UTILITIES AND UTILITY SUPPORT SYSTEMS (UNISTRUT, CONDUIT, HANGERS, PEDESTALS, ETC) SERVING OLD EQUIPMENT COMPLETE IN THE AREA INDICATED.



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 2

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

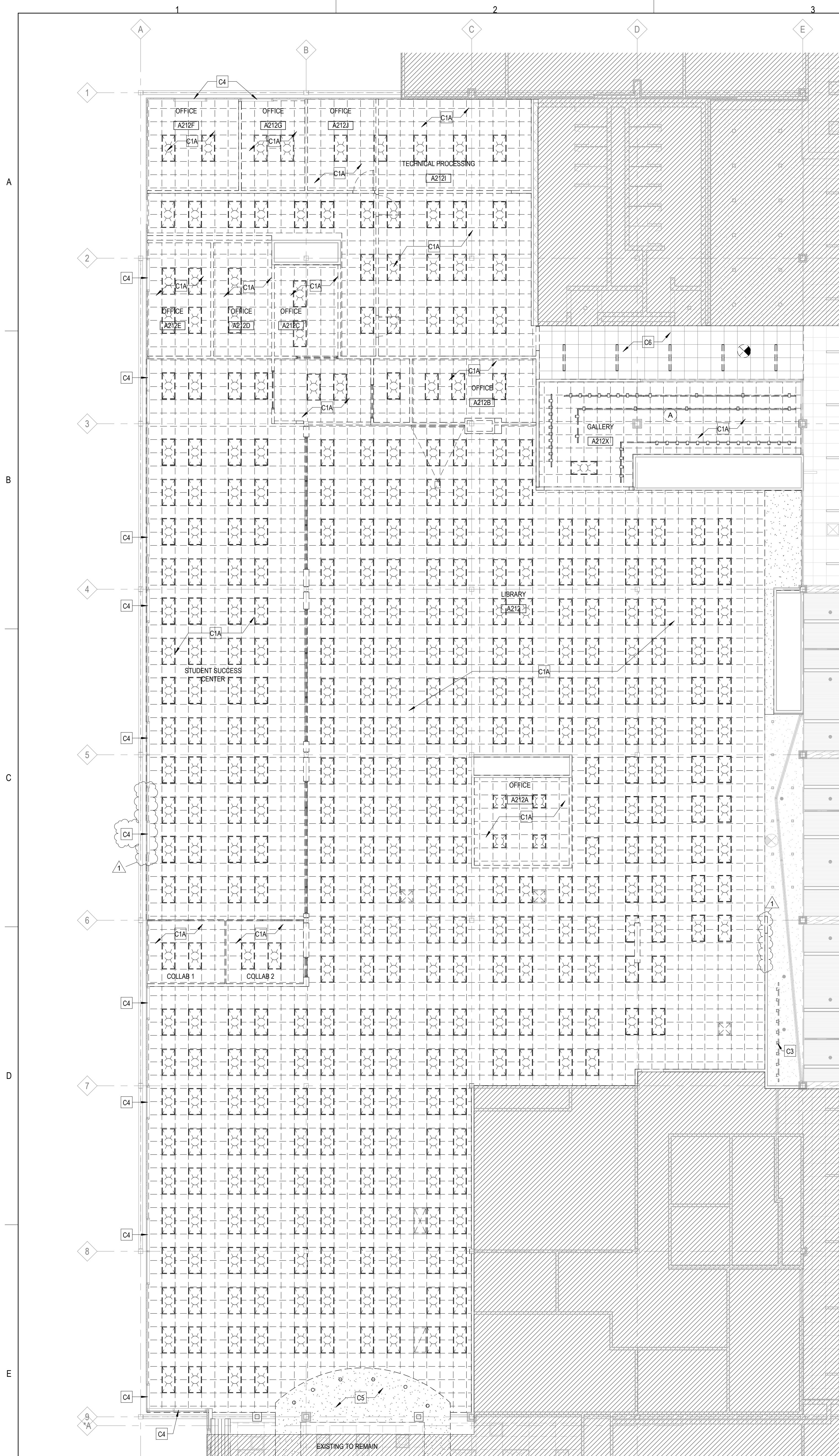
SHEET STATUS: 10/17/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:
1	ADDENDUM #2	11/1/2024

SHEET TITLE:
DEMOLITION PLANS

SHEET NUMBER:
AD1.20

11/4/2024 12:35:44 PM



1 DEMO REFLECTED CEILING PLAN - LIBRARY
1/8" = 1'-0"

DEMO GENERAL NOTES:

1. PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
3. REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
4. DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
6. WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER - LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
7. CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCUMBER THE USE OF EXISTING ADJACENT SPACES.
8. EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
9. REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
10. REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
11. REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
12. NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
13. ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
14. REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES UNLESS OTHERWISE NOTED.

DEMO SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- HATCH INDICATES AREA NOT IN SCOPE
- GYPSUM BOARD OR PLASTER PARTITION TO BE REMOVED
- CMU PARTITION TO BE REMOVED
- FRAME AND DOOR TO BE REMOVED, SALVAGE HARDWARE TO OWNER
- SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED
- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
- GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
- GYPSUM BOARD OR PLASTER CEILING TO REMAIN
- RECESSED 2x4 LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x2 LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x4 LAY-IN LIGHT FIXTURE TO REMAIN
- RECESSED 2x2 LAY-IN LIGHT FIXTURE TO REMAIN
- LINEAR LIGHT FIXTURE TO BE REMOVED
- REMOVE MOTORIZED SCREEN - SALVAGE TO OWNER
- REMOVE CEILING MOUNTED PROJECTOR - SALVAGE TO OWNER
- RETURN AIR GRILLE TO BE REMOVED
- SUPPLY AIR GRILLE TO BE REMOVED
- RETURN AIR GRILLE TO REMAIN
- SUPPLY AIR GRILLE TO REMAIN

DEMO REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
- F3. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE.
- F4. REMOVE VCT FLOORING, TRANSITIONS, RESILIENT BASE, AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR SLAB AS REQUIRED FOR NEW FLOORING FINISH.
- F5. EXISTING RESILIENT RAMP AND STAIR TREADS TO REMAIN - PROTECT THROUGHOUT CONSTRUCTION.
- F6. HATCH INDICATES PROPOSED AREA OF SLAB REMOVAL AS REQUIRED FOR PLUMBING WORK. BACKFILL AS REQUIRED. ANCHOR PER DETAIL, HATCH.
- F7. PREP EXISTING EPOXY BROADCAST FLOOR AS REQUIRED TO INSTALL NEW SPECIFIED EPOXY FLOOR COATING.

WALL DEMOLITION KEYED NOTES

- W1. REMOVE CMU AS REQUIRED FOR NEW OPENING. CUT WHOLE BLOCKS BACK AND INTALL NEW CMU AS REQUIRED FOR SOLID JAMBS.
- W2. REMOVE WALL COMPLETE TO DECK (+/- 18") ABOVE FOR EXTENTS INDICATED. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
- W3. EXISTING FIRE EXTINGUISHER TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
- W5. EXISTING MECHANICAL / ELECTRICAL EQUIPMENT TO REMAIN - PROTECT THROUGHOUT CONSTRUCTION.
- W6. REMOVE EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING COMPLETE. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.

CEILING DEMOLITION KEYED NOTES

- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
- C1B. NOT USED.
- C1C. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL GRILLES / REGISTERS, ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. COMPLETE TO EXTENTS INDICATED. REMOVE ALL LIGHTING / DEVICES AND SALVAGE FOR REINSTALLATION IN NEW CEILING. ALL SPRINKLERS TO BE LEFT EXISTING TO REMAIN AND PROTECTED THROUGHOUT CONSTRUCTION. REMOVE SPRINKLER COVERPLATES AND REINSTALL IN NEW CEILING. REMOVE AND SALVAGE ALL FULLY INTACT, NON-DAMAGED CEILING TILES AND TURN OVER TO OWNER FOR ATTIC STOCK.
- C1D. REMOVE ALL CEILING TILES, LIGHTING, AND DIFFUSERS / REGISTERS COMPLETE. LEAVE GRID INTACT AND PROTECT AS REQUIRED FOR NEW WORK. REMOVE ALL DEVICES AND SALVAGE FOR REINSTALLATION IN NEW CEILING TILES. LEAVE EXISTING SPRINKLER HEADS TO REMAIN, U.N.O. ON FIRE PROTECTION DRAWINGS.
- C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
- C3. REMOVE TRACK LIGHTING SYSTEM COMPLETE. PATCH AND PREP CEILING AS REQUIRED FOR NEW LIGHT FIXTURE INSTALLATION (REFER TO ELEC).
- C4. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
- C5. REMOVE QYP CEILING AND LIGHT FIXTURES COMPLETE TO EXTENTS INDICATED.
- C6. REMOVE SUSPENDED CEILING SYSTEM COMPLETE AS REQUIRED FOR MECHANICAL DUCT REPLACEMENT. SALVAGE ALL UN-DAMAGED TILES, LIGHTS, AND DEVICES FOR REINSTALLATION IN NEW WORK. COORDINATE SCHEDULING OF NEW WORK WITH OWNER PRIOR TO COMMENCEMENT.

MISCELLANEOUS DEMOLITION KEYED NOTES

- M1. REMOVE EXISTING COUNTERTOPS, SINKS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
- M2. REMOVE EXISTING SHOWER HEAD, CONTROLS, PIPING AND SHOWER ACCESSORIES COMPLETE.
- M3. EXISTING MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) TO BE REMOVED COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
- M4A. PROVIDE FULL-HEIGHT DUST ENCLOSURE TO EXISTING CEILING ABOVE THROUGHOUT THE DURATION OF CONSTRUCTION. PROVIDE ACCESS LOCATIONS AS REQUIRED FOR CONTRACTOR AND OWNER ACCESS.
- M4B. EXISTING DOOR TO REMAIN. SEAL AT THE BEGINNING OF CONSTRUCTION FOR DUST CONTROL AND PROTECT THROUGHOUT CONSTRUCTION.
- M5. REMOVE EXISTING DRINKING FOUNTAINS COMPLETE.
- M6. EXISTING SHOWER DRAIN TO REMAIN. REFER TO PLUMBING.
- M7. NOT USED.
- M8. EXISTING OVERHEAD COILING GARAGE DOOR TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M9. REMOVE SHOWER CURTAIN, ROD, AND SOLID SURFACE TRIM COMPLETE.
- M10. CORRIDOR TO REMAIN OPEN AND ACCESSIBLE THROUGHOUT CONSTRUCTION. THE GC IS RESPONSIBLE FOR COORDINATING A PHASED SEQUENCE OF DEMO AND NEW WORK WITH THE OWNER TO MAINTAIN CONTINUED OPERATION OF THE CORRIDOR. REFER TO SPECS FOR ADDITIONAL DETAILS.
- M11. EXISTING IT CLOSET - EQUIPMENT TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION - PROVIDE DUST PROTECTION OVER DOOR AND COORDINATE WITH OWNER IF ANY TEMP POWER OR VENTILATION IS REQUIRED WITH NEW WORK SCOPE.
- M12. REMOVE FIRE EXTINGUISHER AND ASSOCIATED WALL MOUNT. TURN OVER TO OWNER.
- M13. REMOVE ALL UTILITIES AND UTILITY SUPPORT SYSTEMS (UNISTRUT, CONDUIT, HANGERS, PEDESTALS, ETC) SERVING OLD EQUIPMENT COMPLETE IN THE AREA INDICATED.



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 2
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

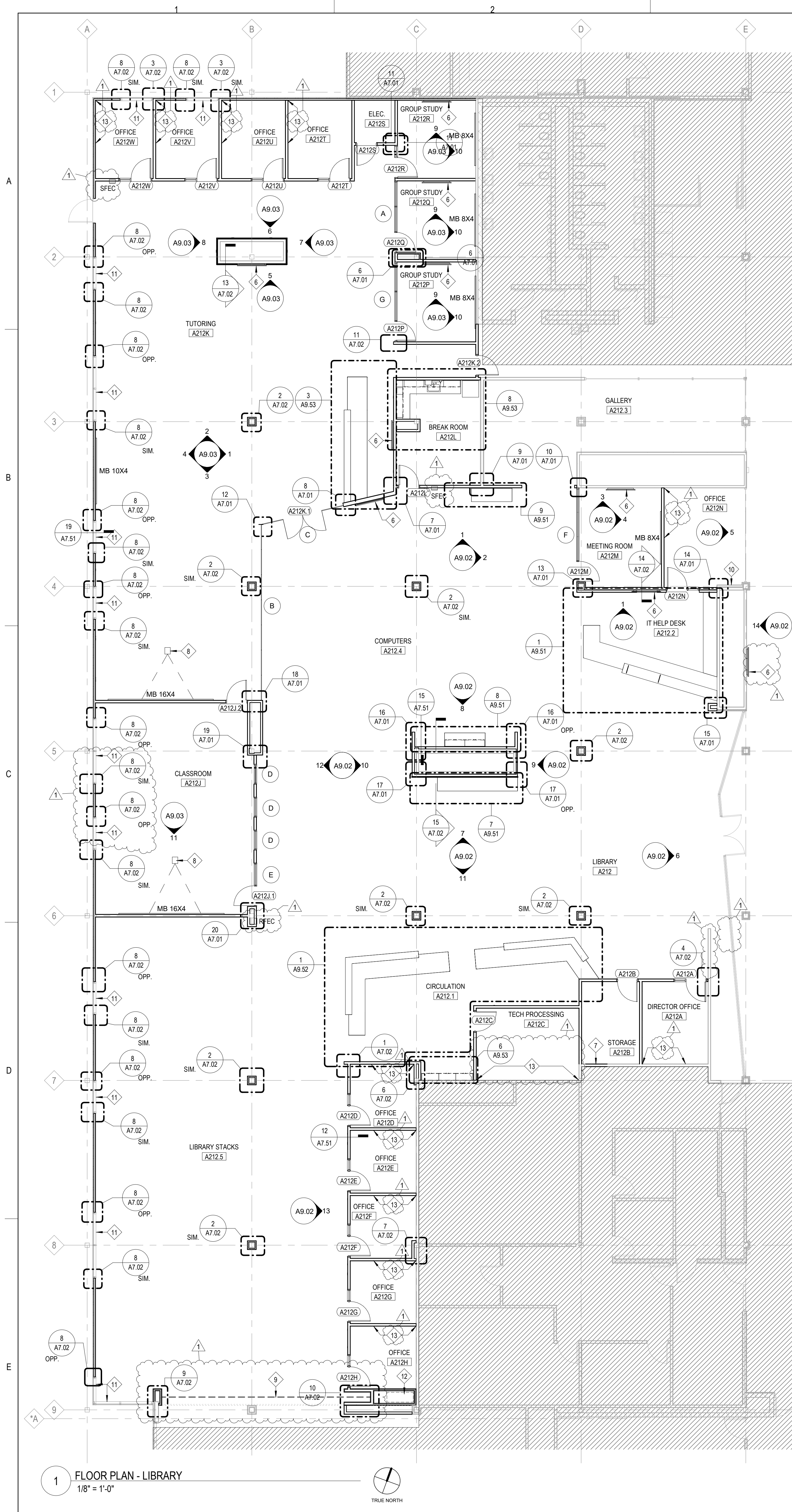
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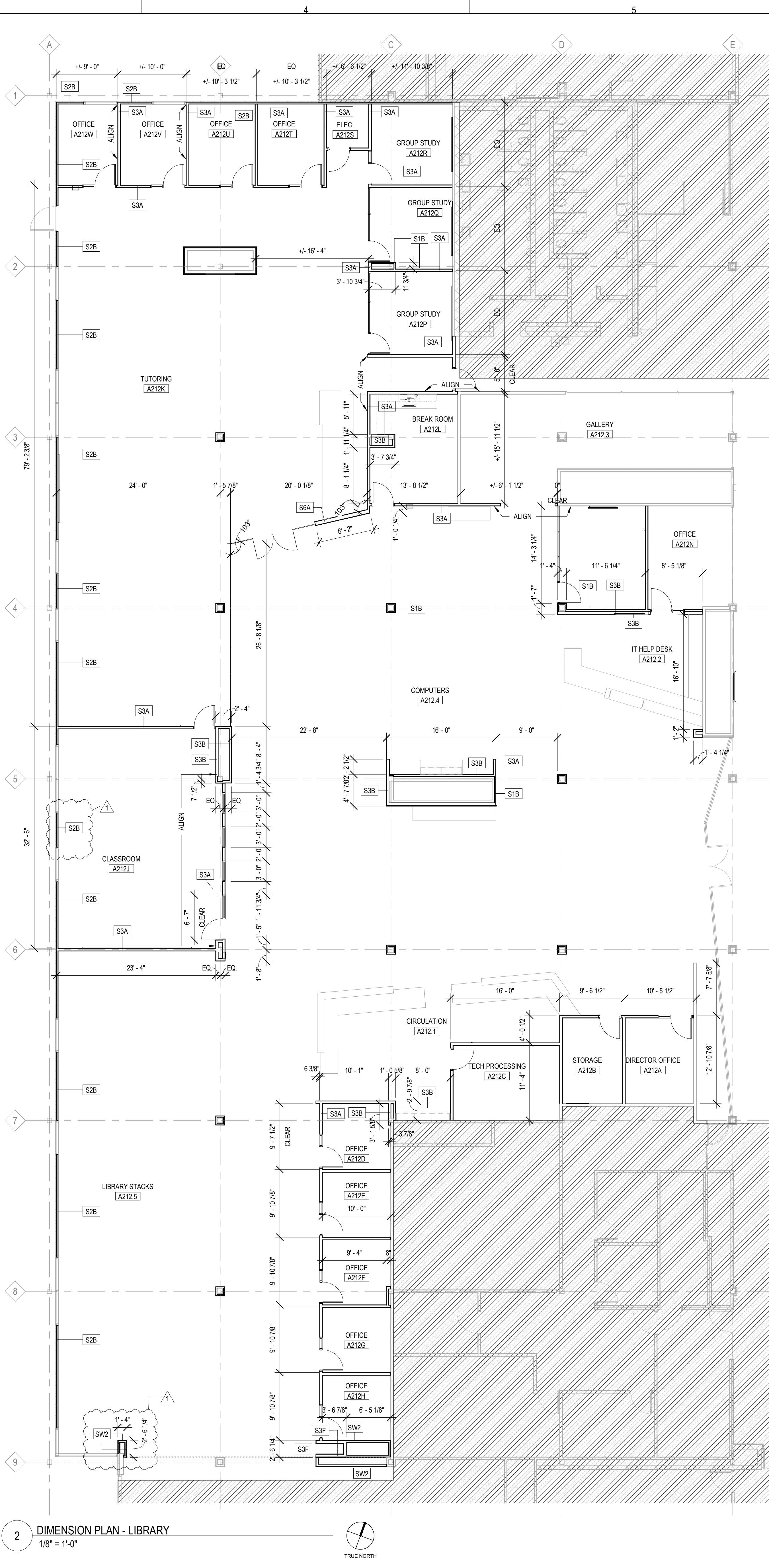
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1 FLOOR PLAN - LIBRARY
1/8" = 1'-0"



2 DIMENSION PLAN - LIBRARY
1/8" = 1'-0"

FLOOR PLAN & SECTION SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- GREYSTONE LINES DEPICT EXISTING CONSTRUCTION
- EXISTING DOOR
- NEW WALL CONSTRUCTION
- NEW DOOR
- ROOM NAME
- ROOM TAG
- DOOR / FRAME TAG
- WINDOW TAG
- MODIFIER DESIGNATION - REFER TO A10.01 FOR MORE DETAILS
- FRAMING DEPTH
- PARTITION STYLE
- PLAN AND SECTION DETAIL CALLOUT
- SECTION CALLOUT
- ELEVATION CALLOUT
- DATUM TAG
- NEW WORK REFERENCED NOTES
- FLOOR DRAIN - REFER TO PLUMBING
- WALL MOUNTED FIRE EXTINGUISHER
- SURFACE-MOUNTED EXTINGUISHER CABINET
- SEMI-RECESSED EXTINGUISHER CABINET
- RECESSED EXTINGUISHER CABINET
- HEIGHT X LENGTH SPECIFIED MARKERBOARD

FLOOR PLAN GENERAL NOTES:

- ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO FIRST / SECOND FLOOR FINISH ELEVATION OF 0'-0".
- REFER TO CODE PLANS ON SHEETS AC1.20 FOR FIRE RATINGS AND AREA SEPARATION LOCATIONS FOR WALLS, ENCLOSURES, OPENINGS, ETC.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO WORK COMMENCING.
- NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING CONDITIONS AND IN-FIELD DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- PROVIDE ACCESS PANELS AT LOCATIONS INDICATED AND AS REQUIRED FOR ACCESS TO EQUIPMENT AND DEVICES INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING AND ELECTRICAL WORK. PAINT ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING FINISH.
- REFER TO A10.00 FOR INTERIOR PARTITION SCHEDULE. ALL INTERIOR PARTITIONS SHALL BE TYPE S1A UNLESS NOTED OTHERWISE.
- PROVIDE SOLID FIRE RETARDANT TREATED WOOD BLOCKING, FLAT METAL STRAPS, OR METAL BACKING PLATES AT ALL WALL MOUNTED FIXTURES AND ACCESSORIES, INCLUDING BUT NOT LIMITED TO, DOOR STOPS, MILLWORK, DIGITAL DISPLAYS, VISUAL DISPLAY BOARDS, TOILET PARTITIONS, AND SIMILAR CONDITIONS.
- PROVIDE MOISTURE RESISTANT GYP BD AT ALL PLUMBING PARTITIONS NOT SCHEDULED TO RECEIVE TILE.
- SEE SPECIFICATIONS FOR ORIENTATION OF GYP BD PANELS, SIZING, AND SPACING OF METAL STUD FRAMING.
- SEE INTERIOR ELEVATIONS FOR ANY GYP BD REVEAL PATTERNS.
- AT FIRE RESISTANCE-RATED SEPARATIONS:
 - REFER TO CODE PLANS ON SHEETS AC1.20 FOR FIRE RATINGS AND AREA SEPARATION LOCATIONS FOR WALLS, ENCLOSURES, OPENINGS, ETC.
 - AT SMOKE PARTITIONS, FIRE PARTITIONS AND FIRE BARRIERS, WALL ASSEMBLY CONSTRUCTION SHALL EXTEND FROM TOP OF FLOOR TO THE UNDERSIDE OF THE FLOOR, ROOF SLAB, OR DECK ABOVE.
 - ALL PARTITIONS SHALL HAVE THE FOLLOWING PERMANENTLY AFFIXED MARKINGS AND IDENTIFICATION:
 - 12" HIGH LETTERING, INDICATING RATING AND FIRE RESISTANCE RATED PARTITION TYPE, I.E. "2-HR FIRE WALL" OR "1-HR FIRE BARRIER", AND SHALL ALSO INCLUDE THE FOLLOWING SUFFIX: "PROTECT ALL OPENINGS AND PENETRATIONS".
 - LOCATE LETTERING ABOVE ACCESSIBLE CEILINGS AT INTERVALS NOT TO EXCEED 30'-0". THERE SHOULD BE A MINIMUM OF ONE MARKING PER WALL, PER ROOM.

FLOOR PLAN REFERENCED NOTES:

- AMBULANCE TRAINER, FURNISHED AND INSTALLED BY OWNER. CONTRACTOR TO COORDINATE FINAL UTILITY CONNECTION POINTS AND UTILITY REQUIREMENTS WITH EQUIPMENT CUTSHEETS PRIOR TO INSTALLATION.
- EXTEND WALL TO DECK ABOVE. PROVIDE KICKERS AS REQUIRED TO BRACE BACK TO BUILDING STRUCTURE ABOVE. KICKERS ARE ACCEPTABLE ABOVE CEILINGS ONLY. NO KICKERS WILL BE ACCEPTABLE IN EXPOSED CEILING AREAS.
- EXTEND WALL MIN 6" ABOVE ADJACENT CEILING. PROVIDE KICKERS TO STRUCTURE ABOVE OR BRACE TO WALL AS REQUIRED. KICKERS ARE ACCEPTABLE ABOVE CEILINGS ONLY. NO KICKERS WILL BE ACCEPTABLE IN EXPOSED CEILING AREAS.
- PROVIDE A KNEE WALL 4'-0" HIGH FOR THE EXTENTS SHOWN. ANCHOR FRAMING TO FLOOR / WALL AS REQUIRED TO MINIMIZE ANY LATERAL MOVEMENT AT THE EXPOSED TOP CORNER. PROVIDE 1" THICK, CLAM (PL-5) CAP AT THE TOP OF THE KNEE WALL.
- NOT USED.
- MONITOR, OFOI. REFER TO ELEC FOR UTILITY REQUIREMENTS. REFER TO INTERIOR ELEVATIONS FOR INSTALLATION LOCATION.
- INFILL OPENING WITH GYP WALL TO MATCH EXISTING ADJACENT WALL CONSTRUCTION - TIE INTO JAMBS / HEAD AS REQUIRED FOR FLUSH INSTALLATION (REFER TO DEMO).
- PROJECTOR, OFOI.
- FIRE RATED FOLDING DOOR (REFER TO SPECS FOR DETAILS).
- EXISTING TELEPHONE PANEL TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND PAINT COVER TO MATCH NEW WALL FINISH (REFER TO ELEC).
- PROVIDE GYP ON METAL STUD-HEADER ABOVE WINDOW ON EXISTING METAL PANELS. ALIGN WITH FACE AND HEIGHT OF ADJACENT NEW WALLS AND SEAL TO WINDOW FRAME.
- CONDUITS AND PIPING FROM IT SERVER ROOM BELOW TO ROOF ABOVE. CORE SLAB AS REQUIRED FOR NEW WORK AND SEAL WITH 1 HOUR RATED FIRESTOPPING. REFER TO MEP DRAWINGS FOR PIPING SIZES / LAYOUT.
- PROVIDE CONTINUOUS BLOCKING IN WALL AS REQUIRED FOR UPPER FURNITURE STORAGE CABINETS. COORDINATE WITH FINAL FURNITURE SELECTION FOR CABINET INSTALLATION HEIGHT. REMOVE AND REPLACE EXISTING GYP BOARD AS REQUIRED TO ADD BLOCKING TO EXISTING WALLS.



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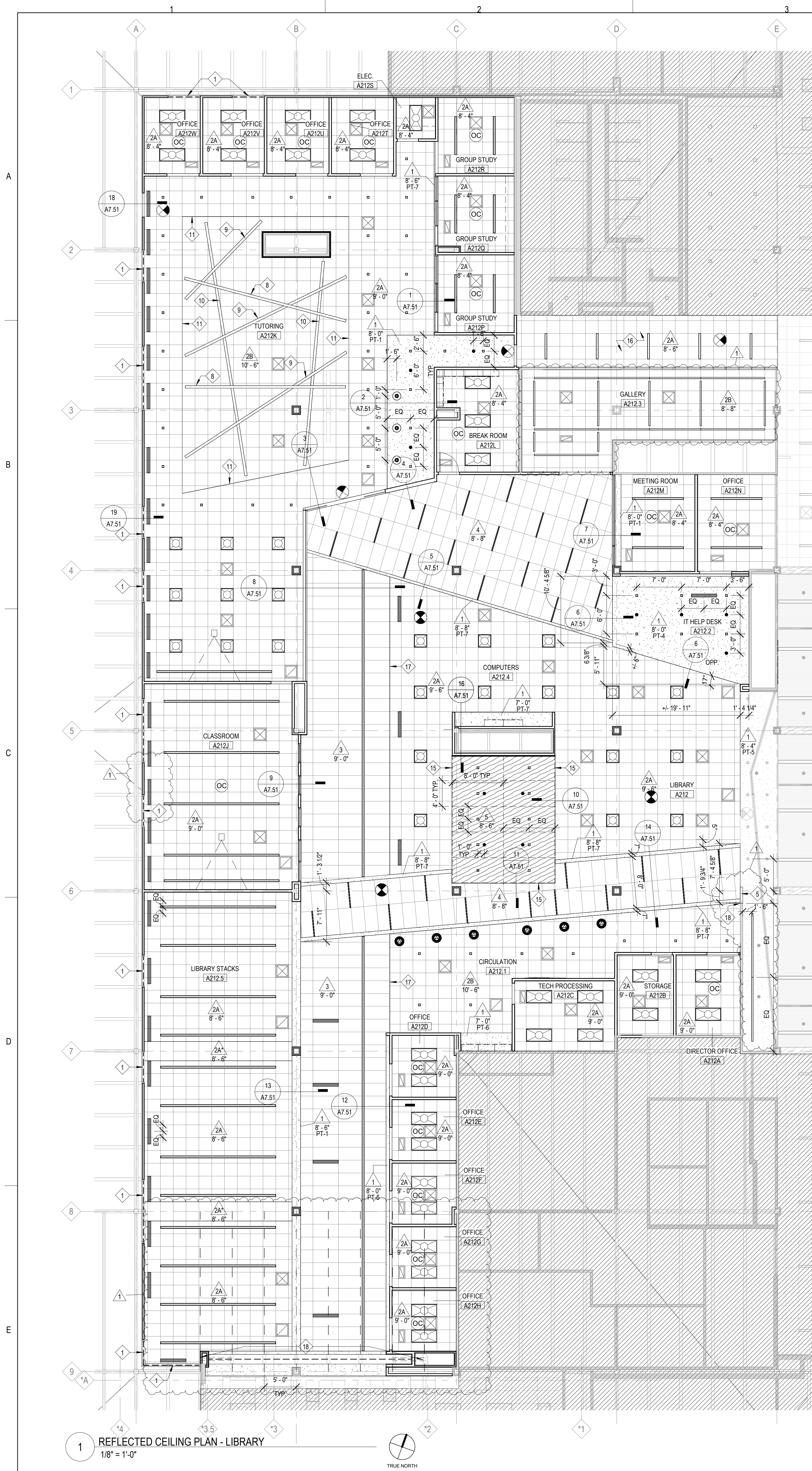
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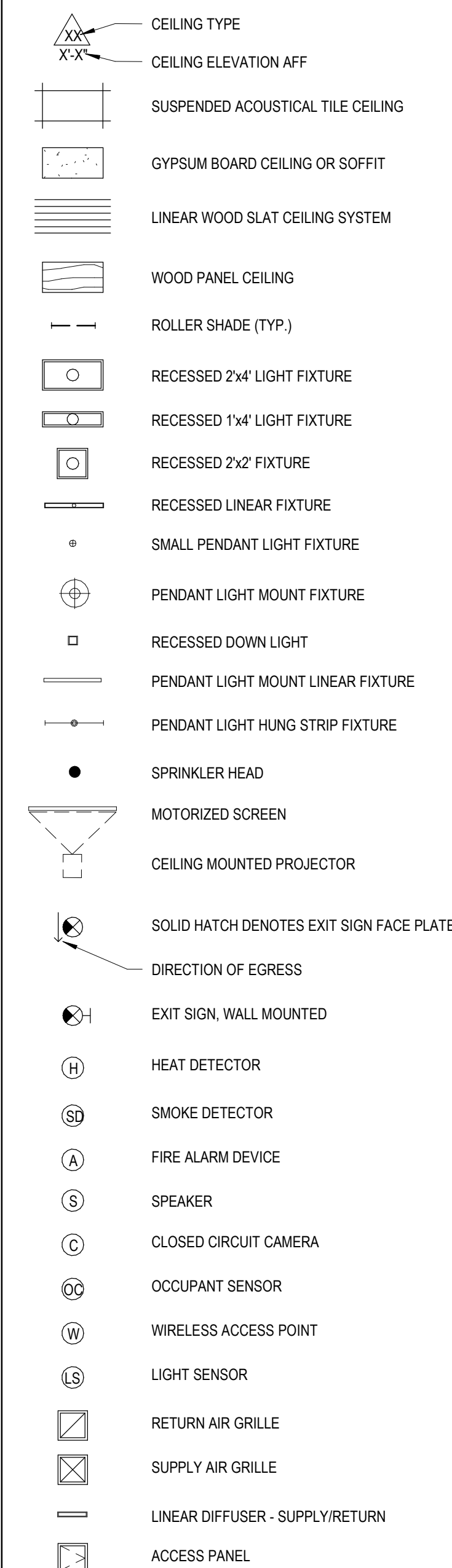
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RCP SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS



RCP GENERAL NOTES:

- ALL HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS FOR REFERENCE AND COORDINATION ONLY. REFER TO HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ACTUAL QUANTITIES. IN CASE OF CONFLICT THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF THESE ITEMS.
- IN AREAS THAT DO NOT HAVE ARCHITECTURAL REFLECTED CEILING PLANS YET REQUIRE NEW ITEMS TO BE INSTALLED IN OR ABOVE THE CEILING PLANE, CONTRACTOR SHALL REMOVE AND REINSTALL, REPLACE OR MODIFY EXISTING CEILING CONSTRUCTION TO ACCOMMODATE NEW WORK. ANY NEW CEILING AREAS SHALL MATCH EXISTING ADJACENT FINISHES.
- CENTER ALL FIXTURES IN CEILING TILES AND FIELD VERIFY GRID LAYOUT FOR PROPER FIXTURE LOCATION. ALIGN ALL FIXTURES IN BOTH DIRECTIONS OF CEILING TILE (UNO).
- CENTER ALL SPRINKLER HEADS IN CEILING TILES.
- ALL GYP. BD. CEILINGS TO BE PAINTED PT-1 UNLESS OTHERWISE NOTED ON PLANS.
- EXTEND FACE OF ALL GYP. BD. SOFFITS AND HEADERS 6" MIN. BEYOND FINISHED CEILING ABOVE U.N.O.

RCP REFERENCED NOTES:

- PROVIDE NEW ROLLER SHADE. INSTALL AT TOP OF EXISTING WINDOW FRAME - FIELD VERIFY WIDTH PRIOR TO PROCUREMENT AND INSTALLATION (REFER TO SPECS).
- EXISTING RADIANT HEATING TILE TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING CEILING TO REMAIN - PULL BACK GRID AND REMOVE TILES AS NEEDED FOR NEW WALL CONSTRUCTION. RE-INSTALL GRID TO NEW WALL AND CUT TILES AS REQUIRED FOR NEW WALL LAYOUT.
- TIE-IN NEW CEILING SYSTEM TO EXISTING CEILING SYSTEM. ALIGN NEW GRIDS WITH EXISTING LAYOUT.
- PROVIDE NEW GYP. BOARD ON METAL STUD CEILING AND SOFFIT SYSTEM TO MATCH EXISTING. PAINT GYP. PT-5 TO MATCH EXISTING SOFFIT TO REMAIN.
- PROVIDE CONTROL JOINT BETWEEN EXISTING SOFFIT AND ADJACENT WALL. KROPPY TRACK LIGHTING AS REQUIRED FOR REDUCED OVERALL LENGTH (REFER TO ELEC. CUT AND PATCH CEILING AS REQUIRED. TURN OVER ANY EXTRA LIGHT FIXTURES TO THE OWNER).
- MOUNT CONTINUOUS PENDANT AT 9'-0" AFF TO BOTTOM OF PENDANT.
- MOUNT CONTINUOUS PENDANT AT 9'-4" AFF TO BOTTOM OF PENDANT.
- MOUNT CONTINUOUS PENDANT AT 9'-8" AFF TO BOTTOM OF PENDANT.
- PAINT BULKHEAD PT-7.
- PROVIDE NEW CEILING TILES, LIGHTING, GRILLES AND DIFFUSERS IN EXISTING GRID AS INDICATED. RE-INSTALL EXISTING SPRINKLER HEADS AS REQUIRED. RE-INSTALL SALVAGED DEVICES IN NEW CEILING AS INDICATED ON ELECTRICAL DRAWINGS (REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE).
- PROVIDE NEW SUSPENDED CEILING GRID SYSTEM, CEILING TILES, GRILLES, AND REGISTERS AS INDICATED. RE-INSTALL EXISTING SPRINKLER HEAD COVERPLATES IN NEW CEILING TILES. RE-INSTALL EXISTING LIGHT FIXTURES AND SALVAGED DEVICES IN NEW CEILING AS INDICATED ON ELECTRICAL DRAWINGS (REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE).
- PROVIDE AXIOM TRIM AT CEILING TRANSITION (REFER TO RCP AND DETAILS FOR HEIGHT OF AXIOM TRIM REQUIRED).
- PROVIDE 3/4" THICK X 2" W SOLID WOOD EDGE TRIM TO MATCH PERFORATED WOOD PANELS (PWP-1). TRIM TO BE FLUSH WITH PANELS.
- INSTALL NEW CEILING GRID AND REINSTALL EXISTING TILES, LIGHTING, AND DEVICES SALVAGED DURING DEMOLITION. REPLACE ANY DAMAGED CEILING TILES WITH NEW AND PROVIDE NEW CEILING TILES AS REQUIRED FOR ADDITIONAL EXTENTS OF CEILING. COORDINATE SCHEDULING OF WORK WITH OWNER PRIOR TO COMMENCEMENT.
- PROVIDE PERIMETER TRIM AT CEILING TRANSITION (REFER TO RCP AND DETAILS FOR HEIGHT OF TRIM REQUIRED).
- 10' H FIRE-RATED FOLDING DOOR. SUSPEND FIRE DOOR TRACK FROM EXISTING STRUCTURE ABOVE (W16X31, B.S.T.L. @ +/- 11'-8" WITH 1/2" HANGING RODS FROM (2) BEAM CLAMPS @ EA. EXISTING BEAM AND FROM NEW CHANNELS SPANNING BETWEEN THE EXISTING BEAMS @ EA. END. PATCH AND REPAIR EXISTING AT ALL STRUCTURE OVERHEAD AS REQUIRED FOR NEW WORK. REFER TO STRUCTURAL REF SHEET FOR MORE DETAILS.
- PROVIDE 2-HOUR GYP. WALL FROM T/FIRE DOOR TO DECK ABOVE ON EACH SIDE OF FIRE-RATED FOLDING DOOR.

CEILING TYPES:

TYPE	DESCRIPTION
0A	EXPOSED STRUCTURE - NO PAINTED FINISH REQUIRED
0B	EXPOSED STRUCTURE - PAINT ALL STRUCTURE AND MEP SYSTEMS ABOVE
1	1/2" PAINTED GYP BOARD ON METAL FRAMING
2A	2X2 WHITE ACOUSTICAL PANEL SYSTEM (2x3 @ SIM LOCATIONS INDICATED)
2B	2X2 BLACK ACOUSTICAL PANEL SYSTEM
3	2X4 SCORED ACOUSTICAL PANEL SYSTEM
4	2X4 PET ACOUSTICAL PANEL SYSTEM
5	4X10 PERFORATED WOOD PANEL CEILING SYSTEM



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McHenry County College 2024 RENOVATIONS - BID PACKAGE 2

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

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**REFLECTED CEILING
PLANS**

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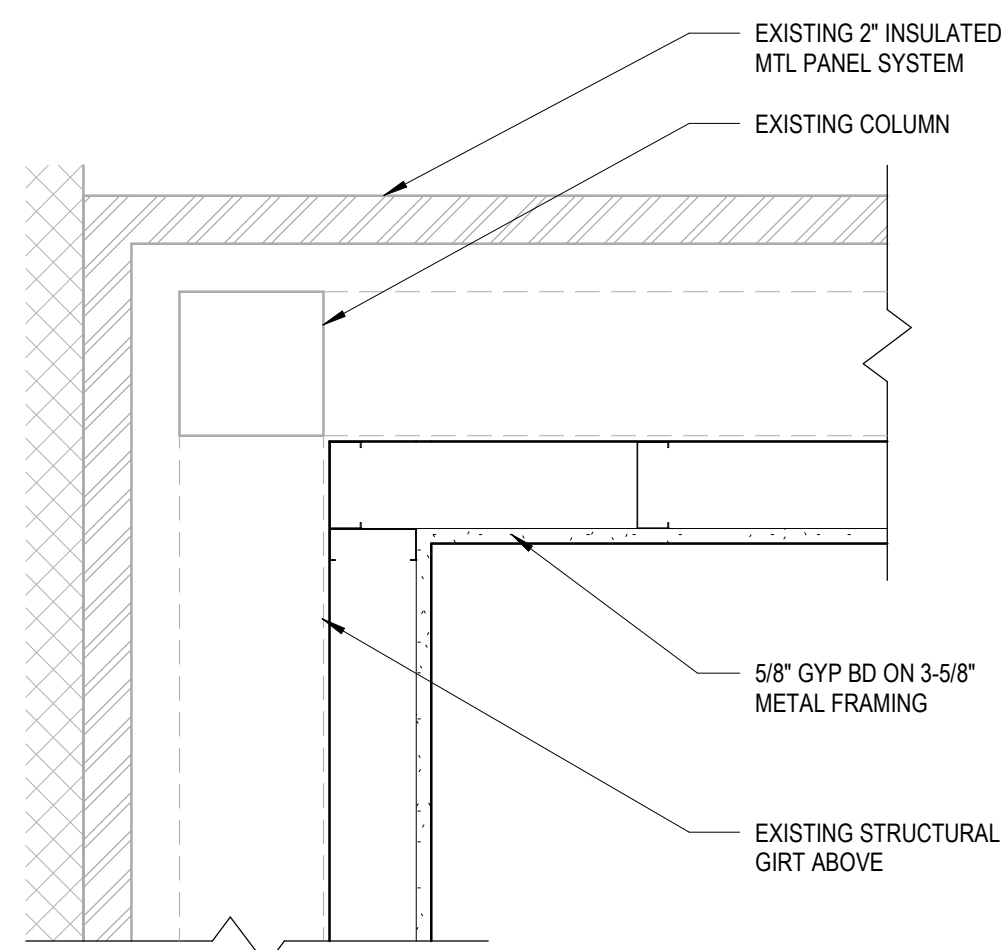
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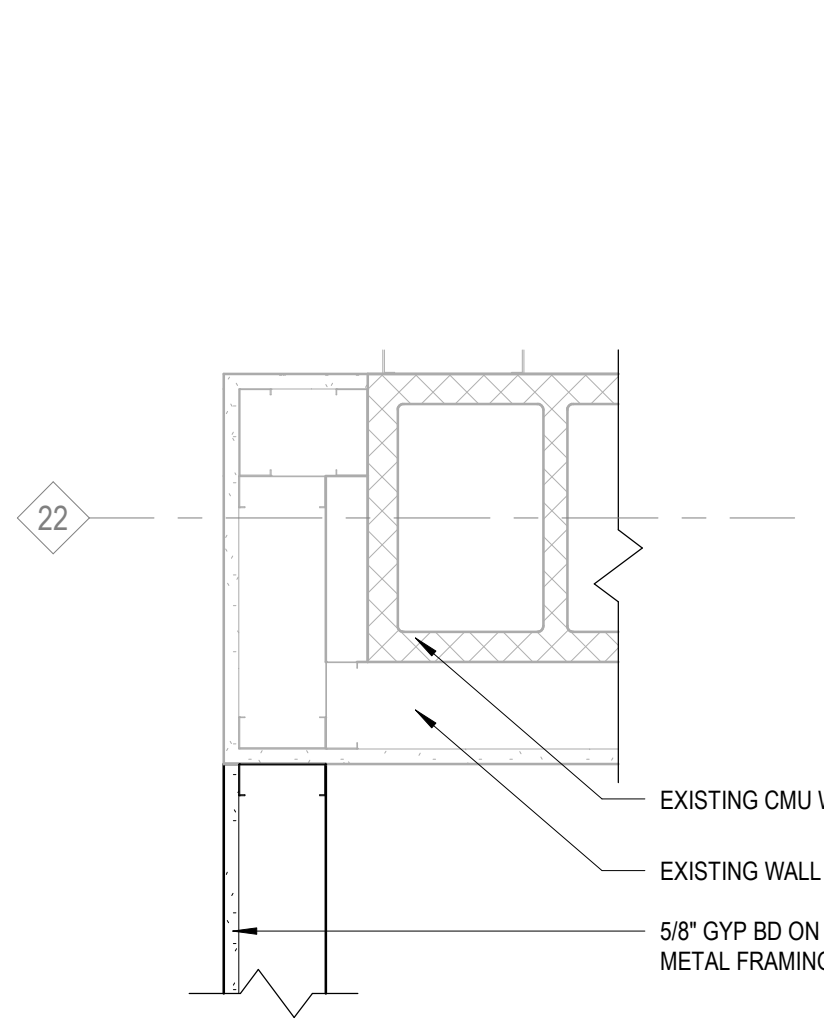
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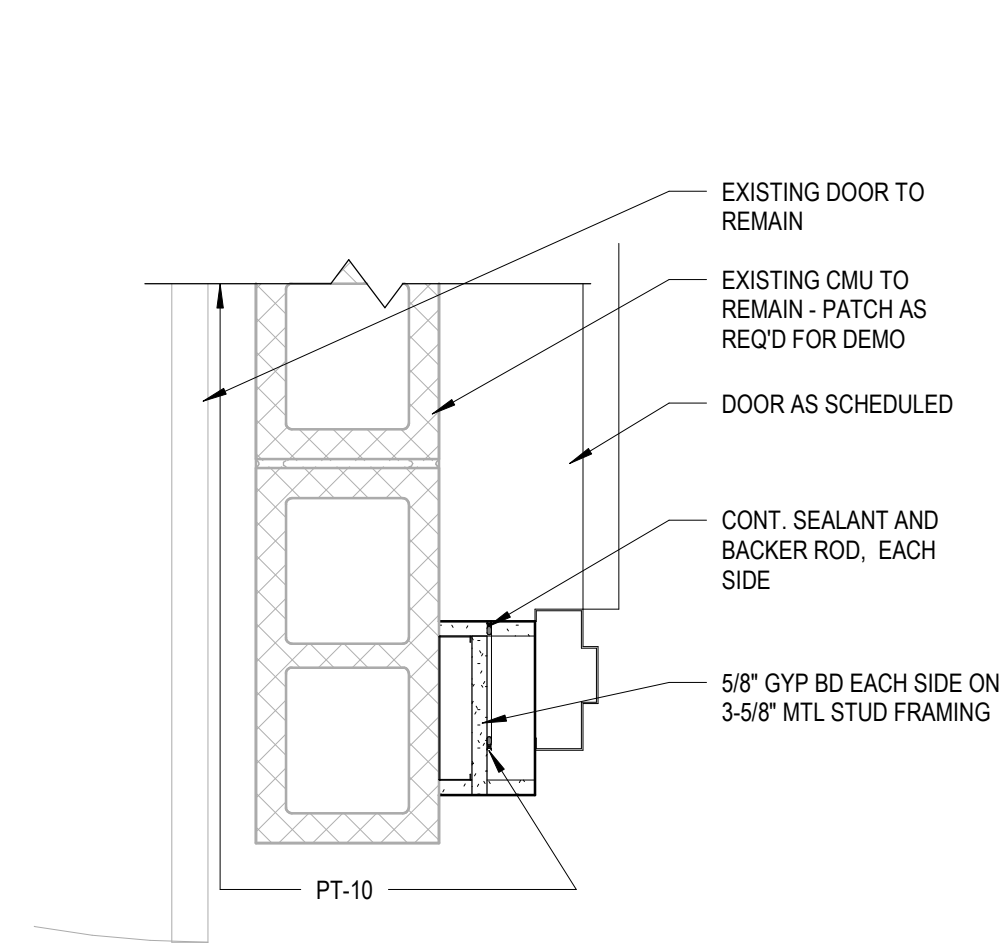
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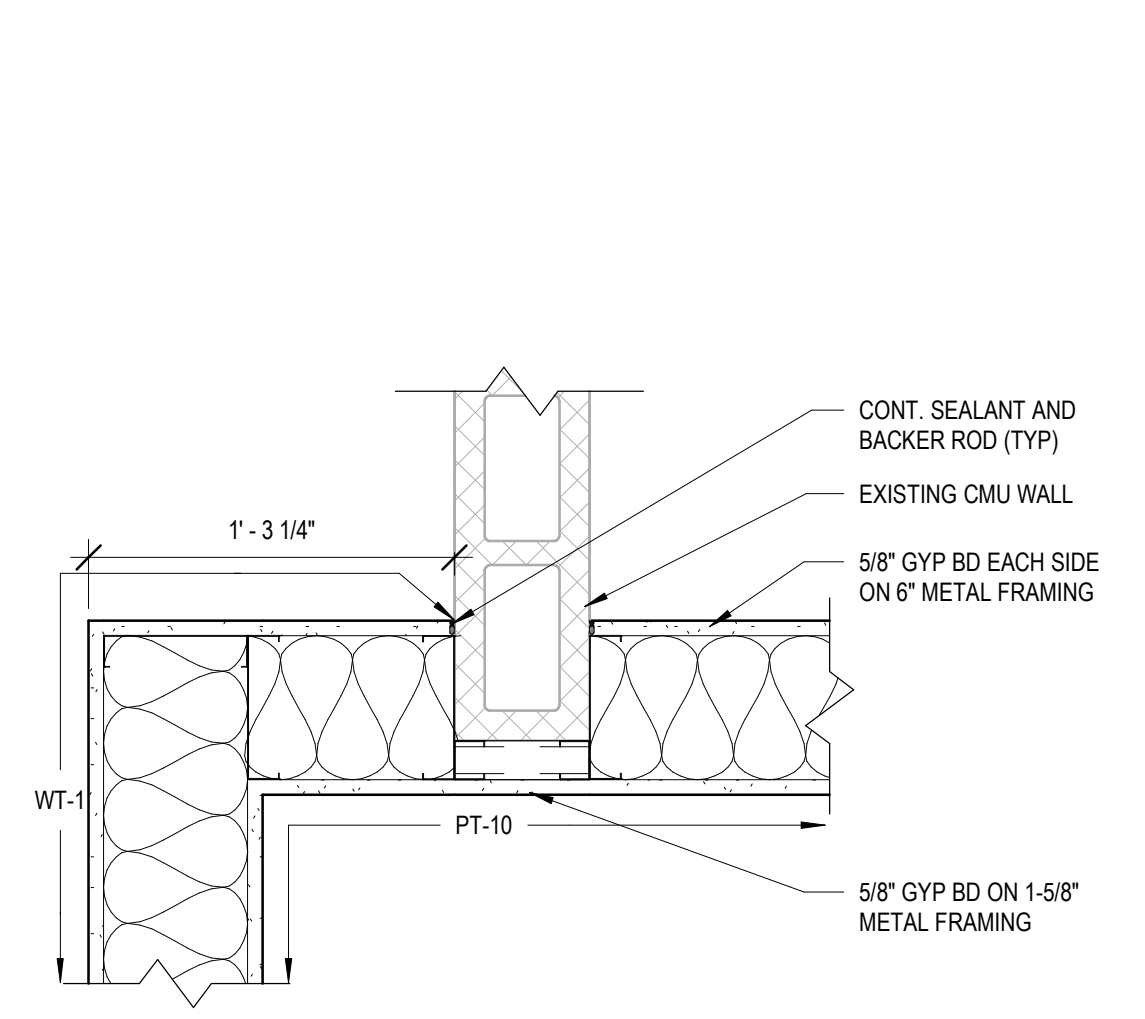
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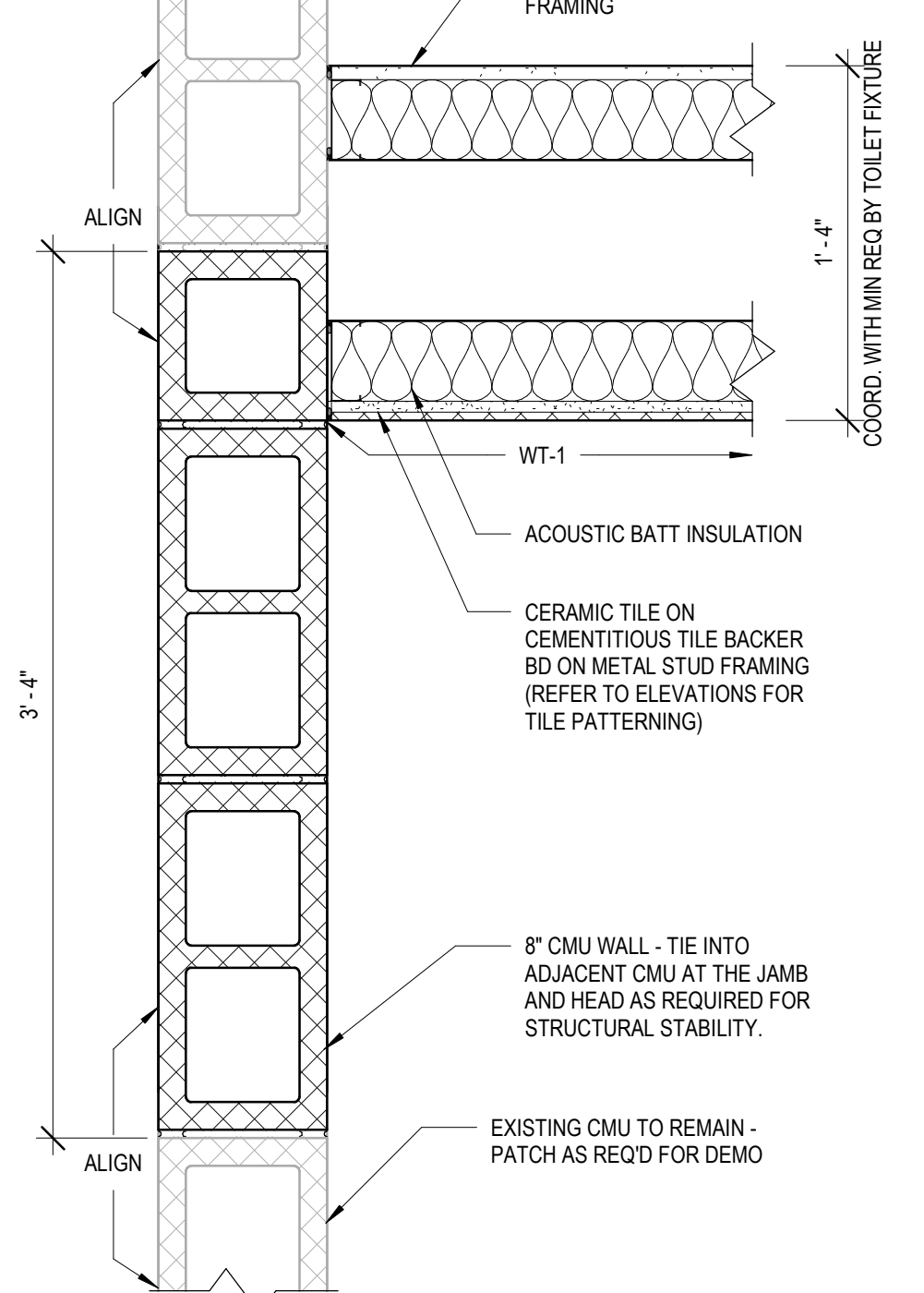
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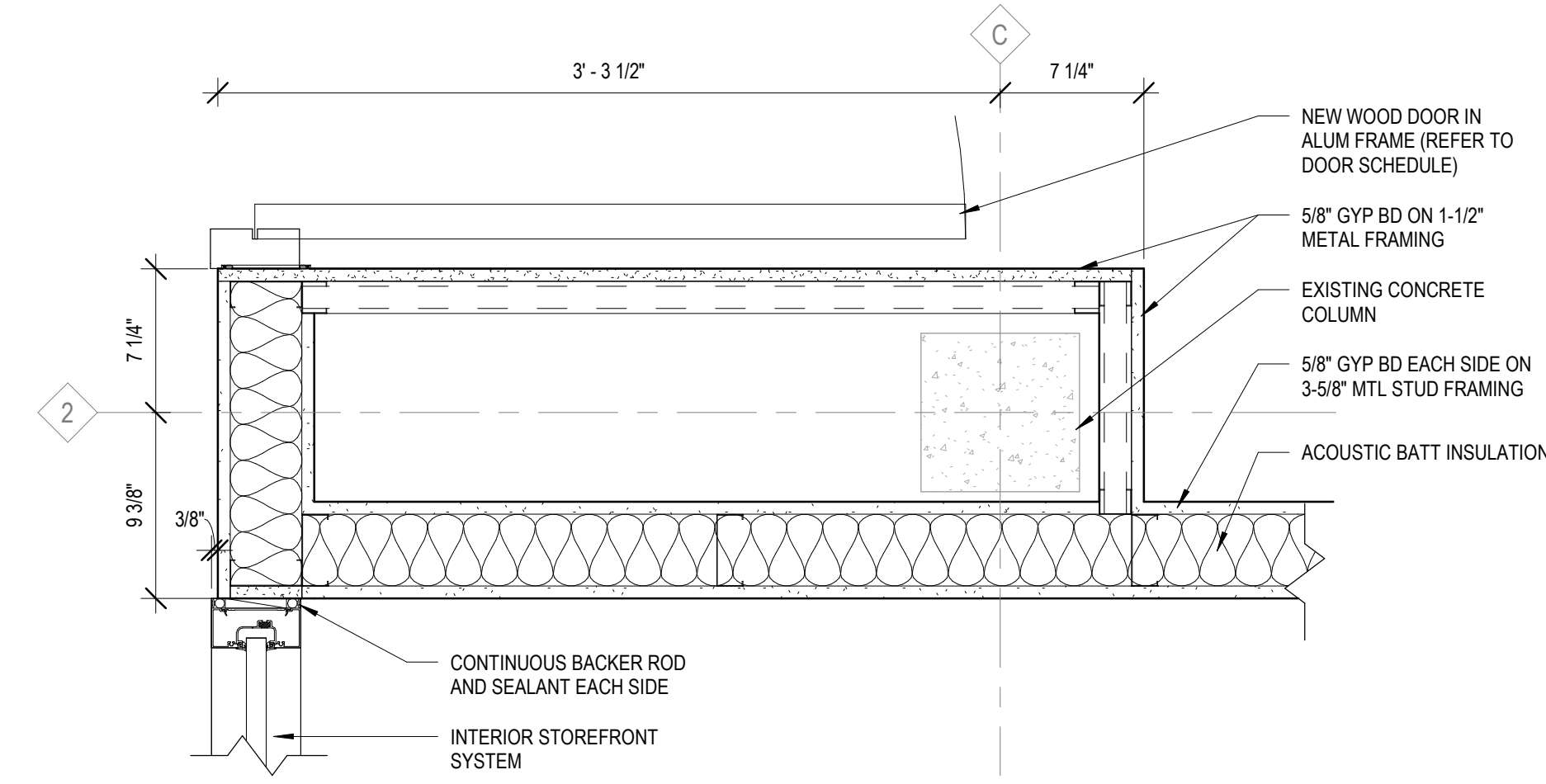
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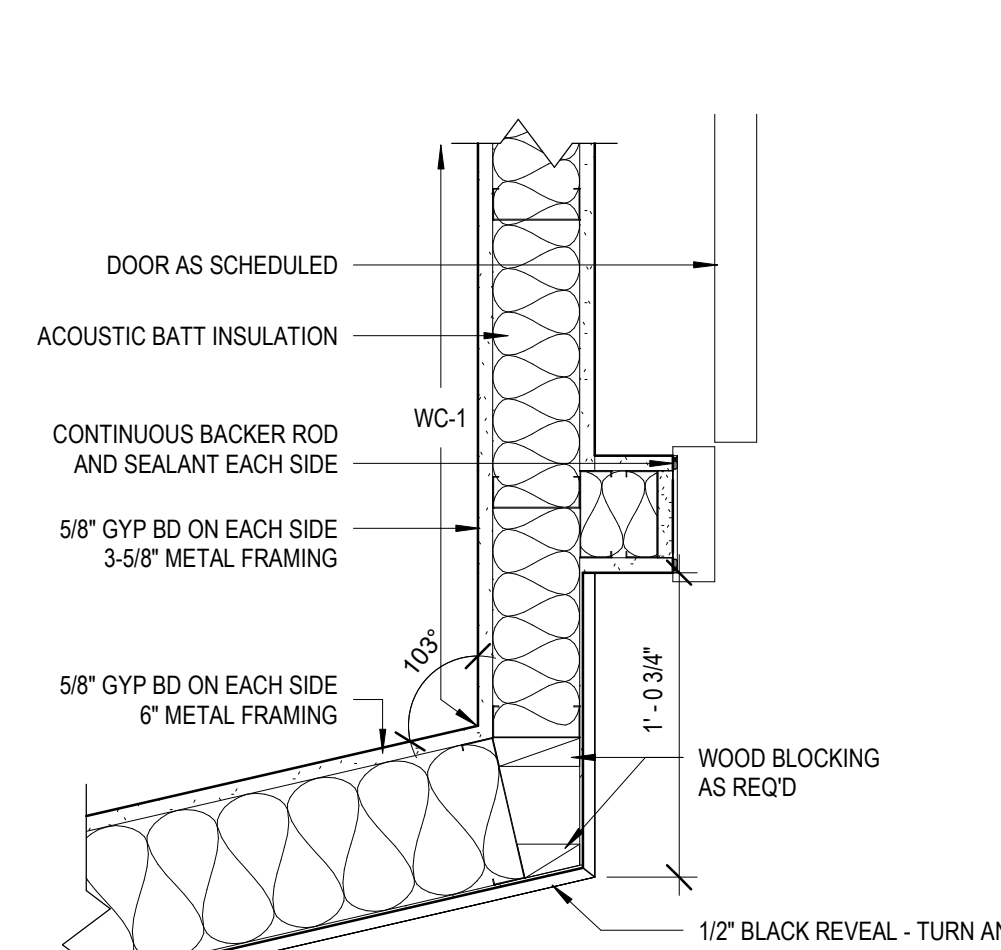
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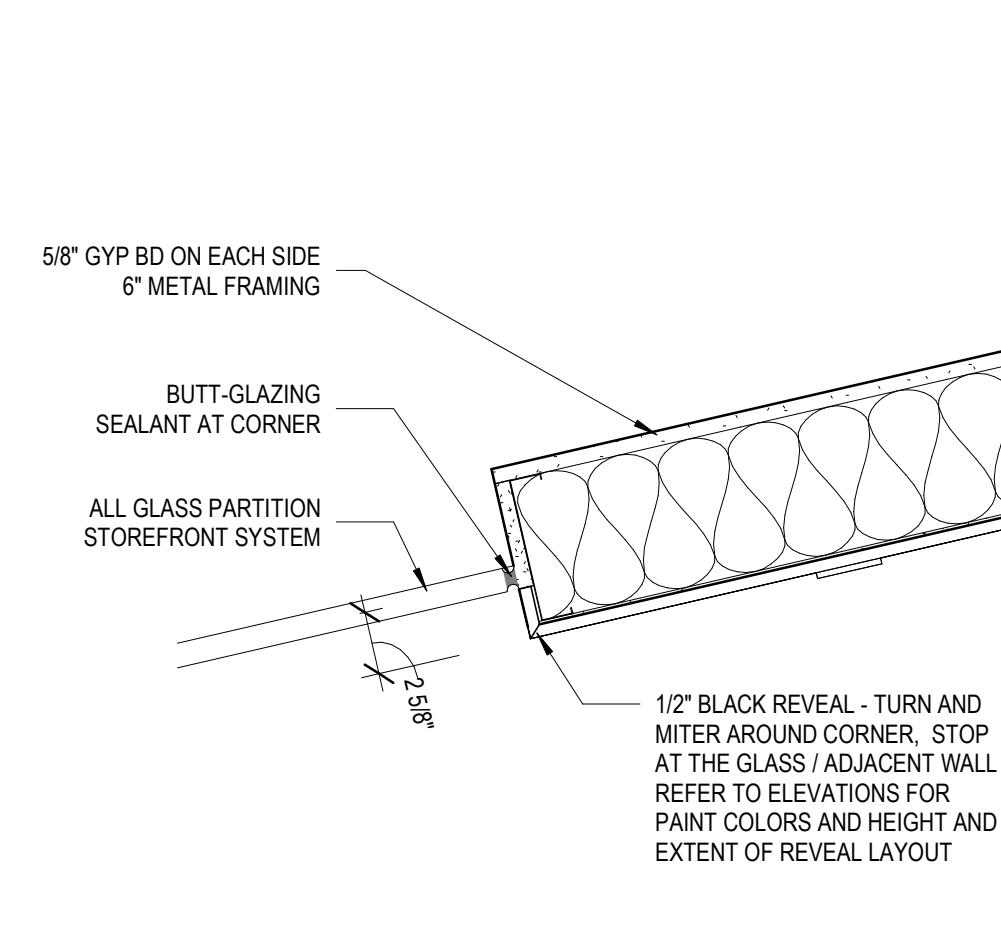
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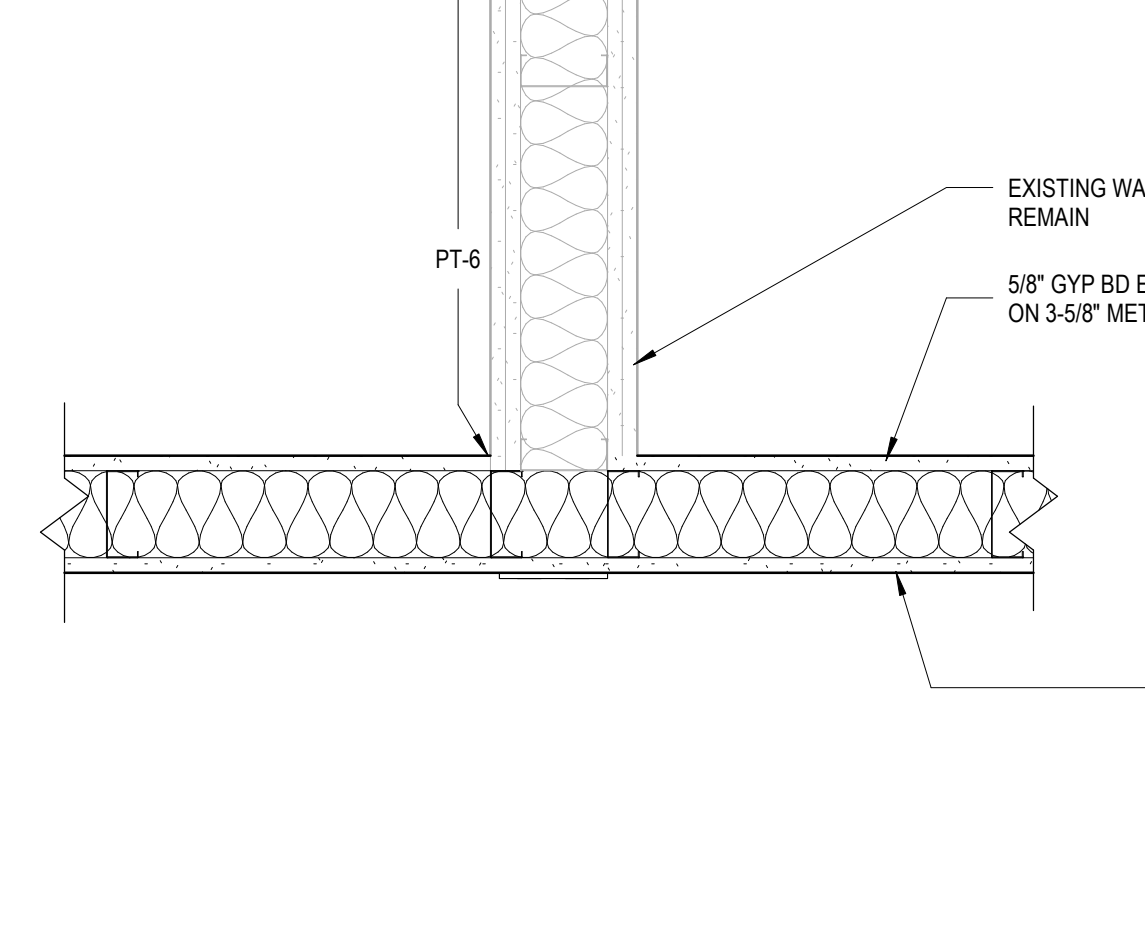
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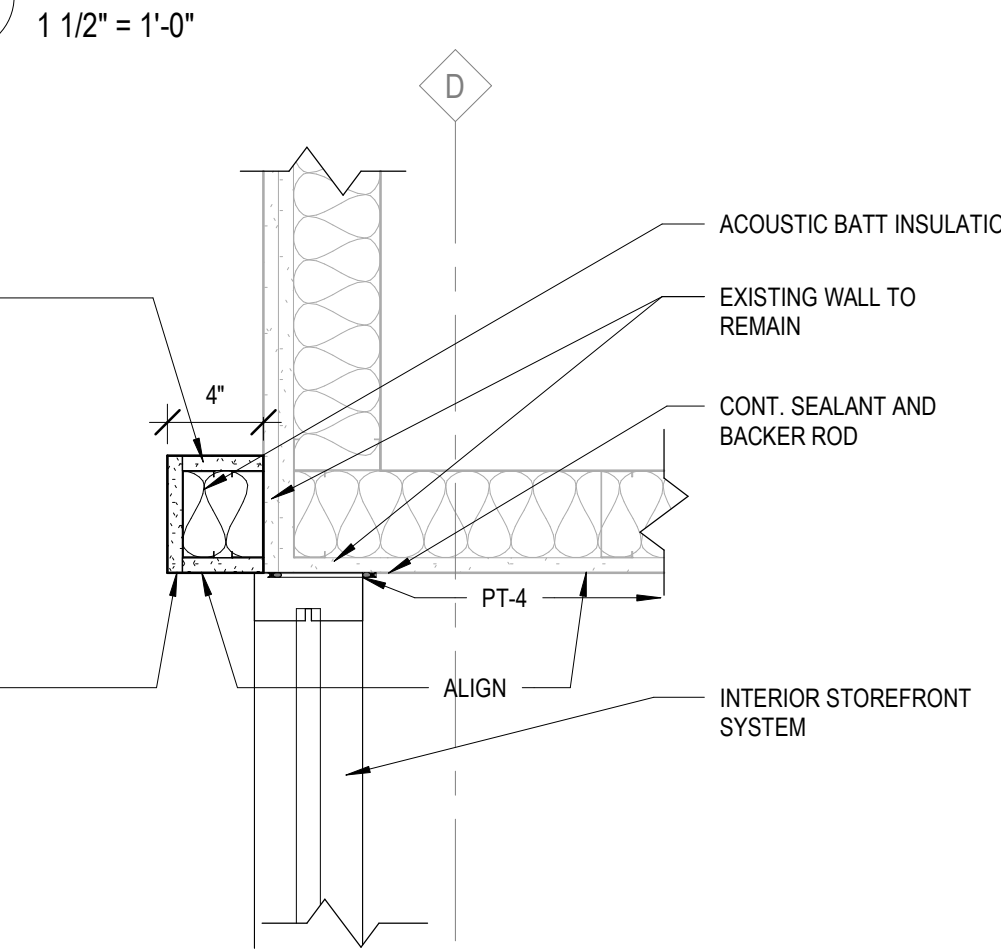
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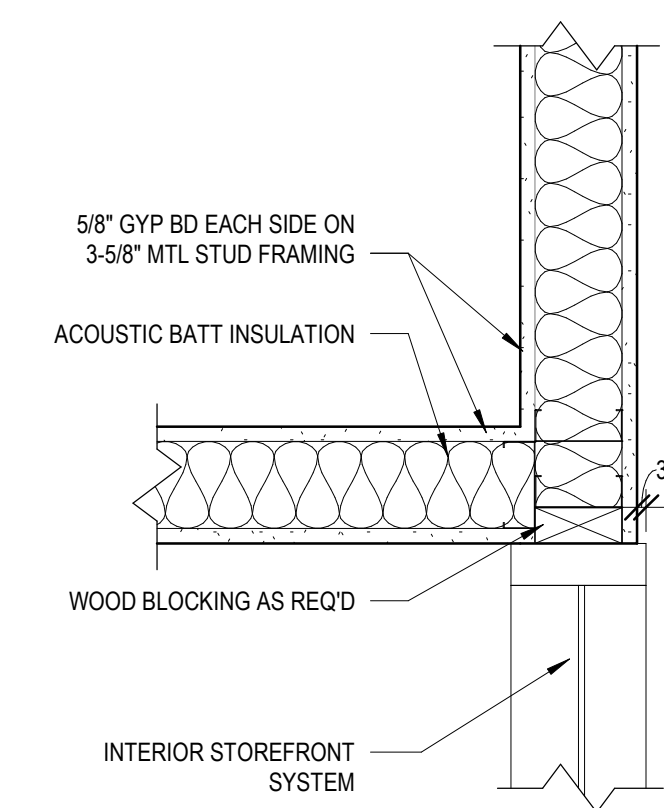
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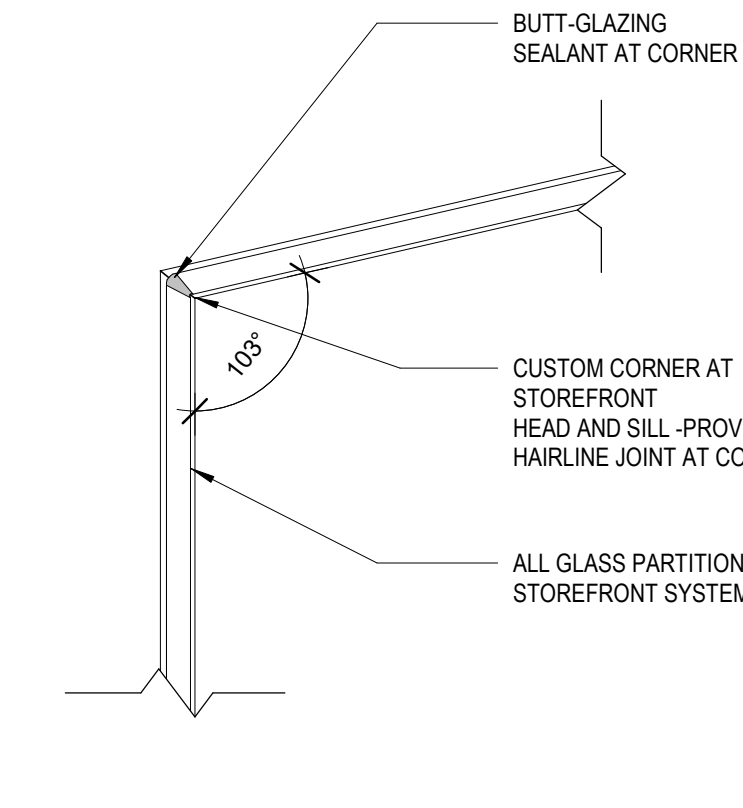
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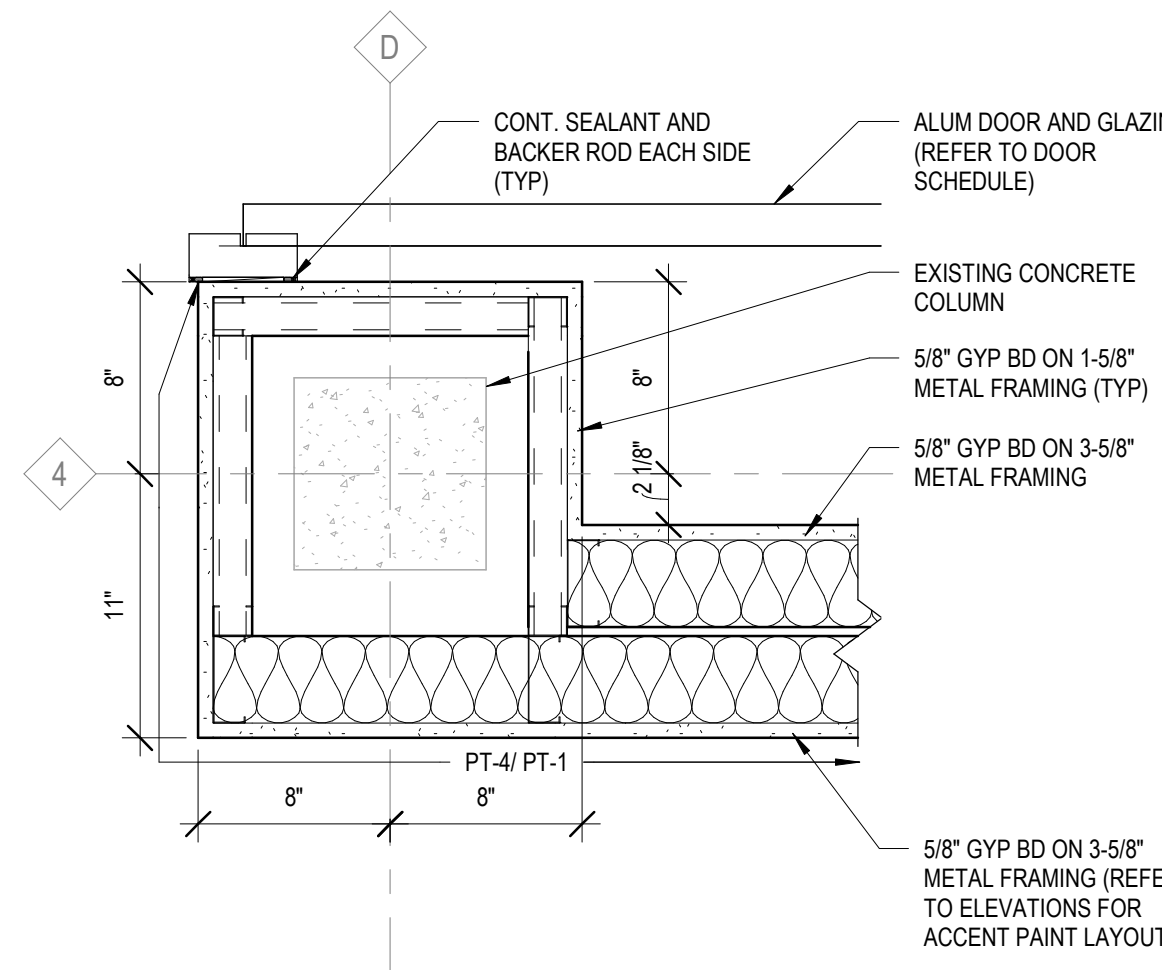
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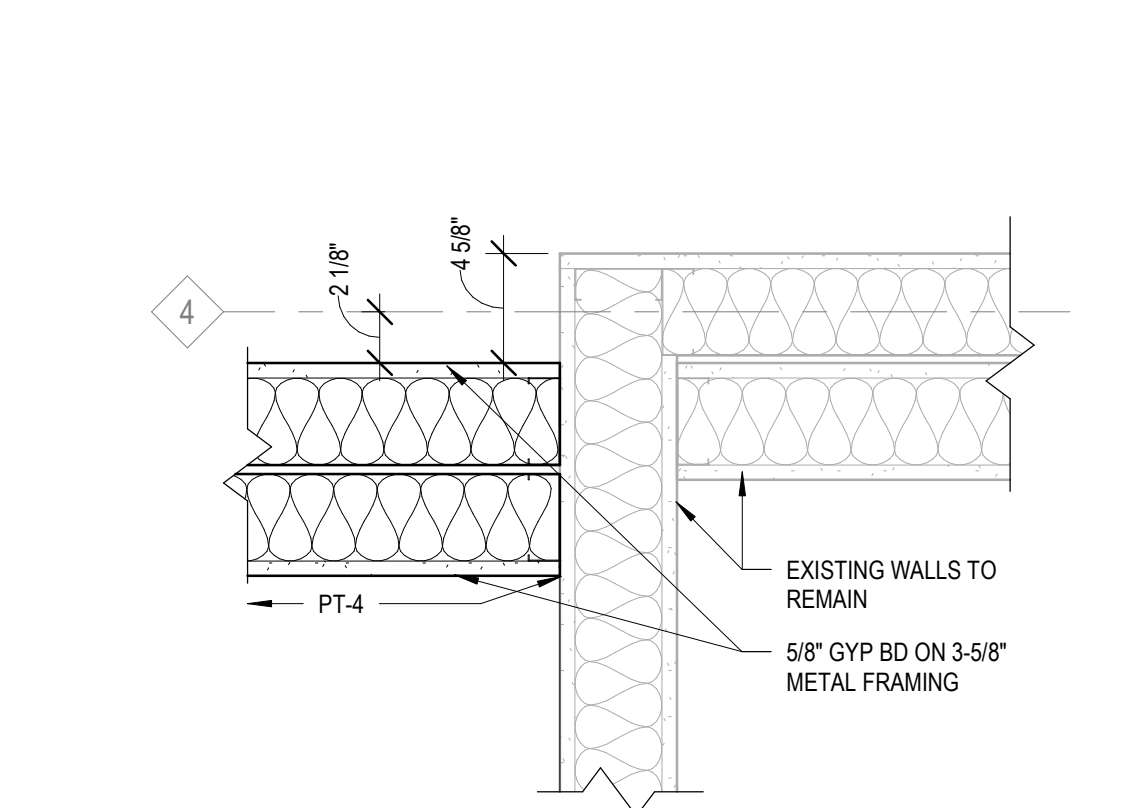
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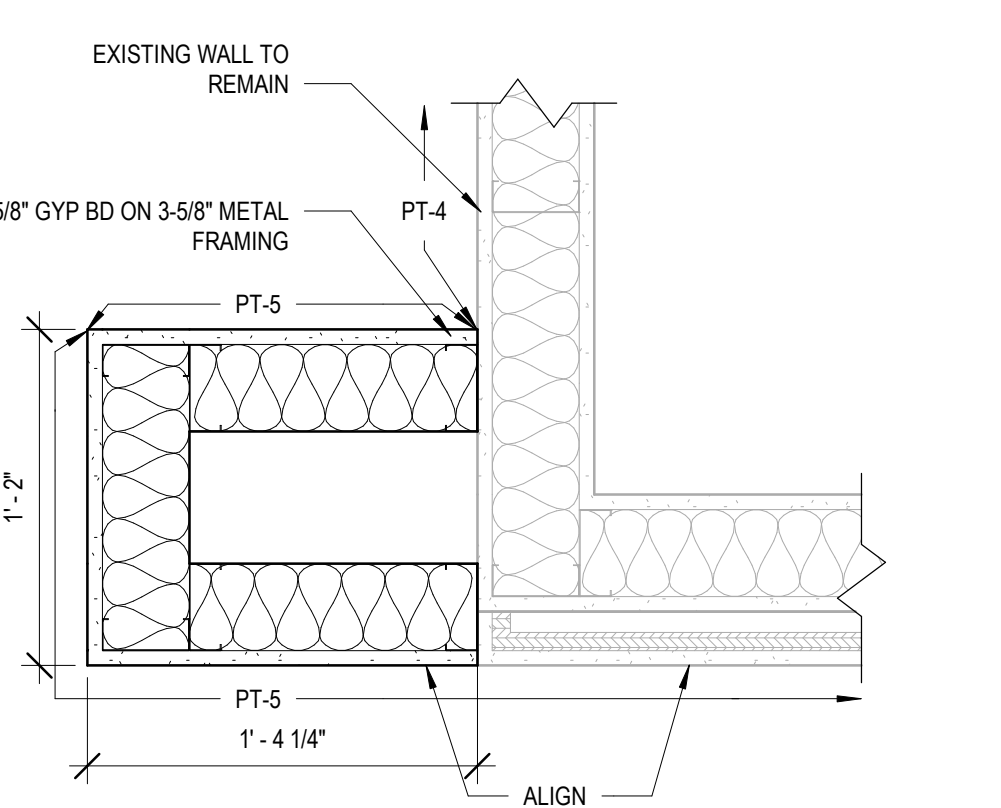
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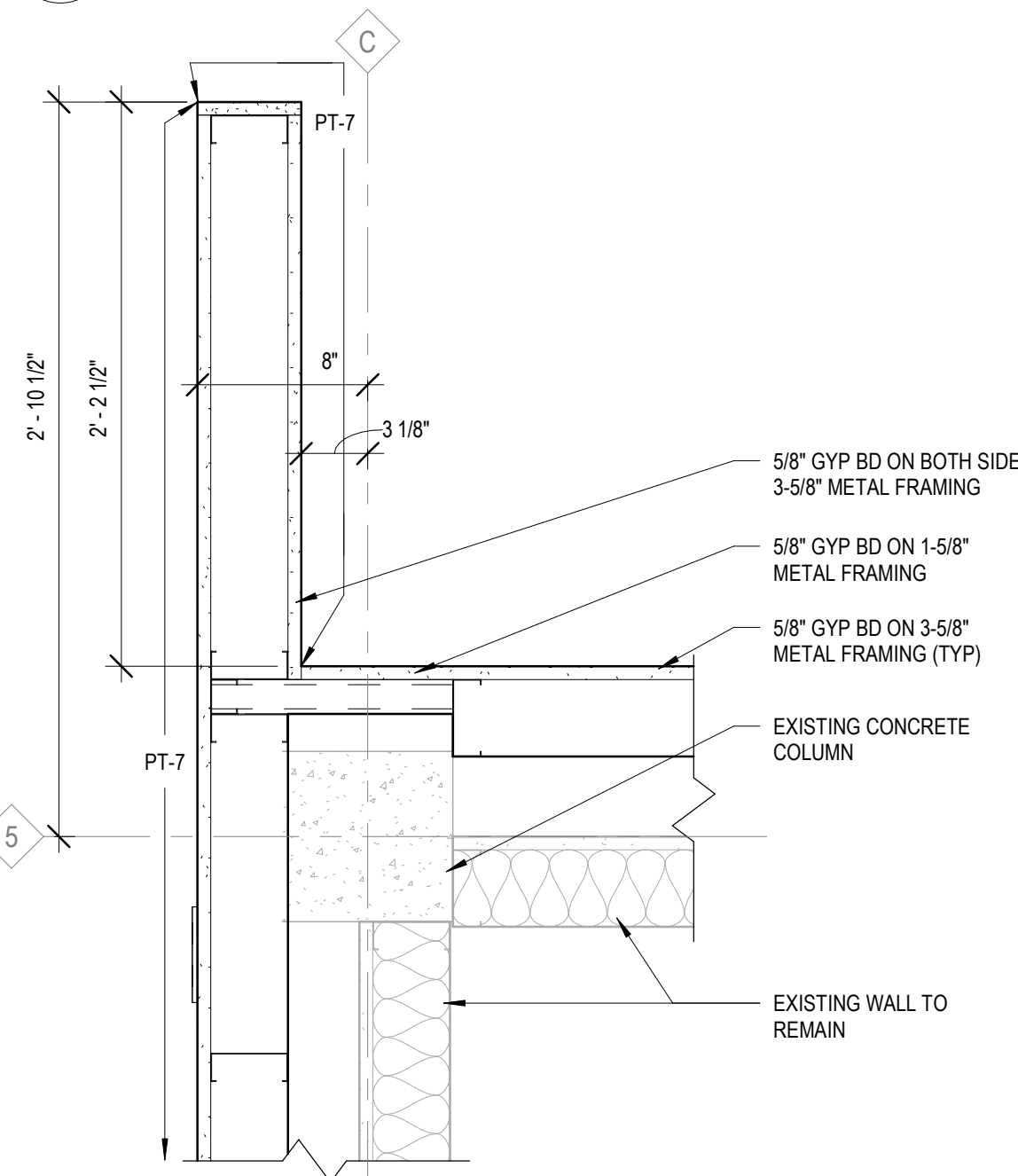
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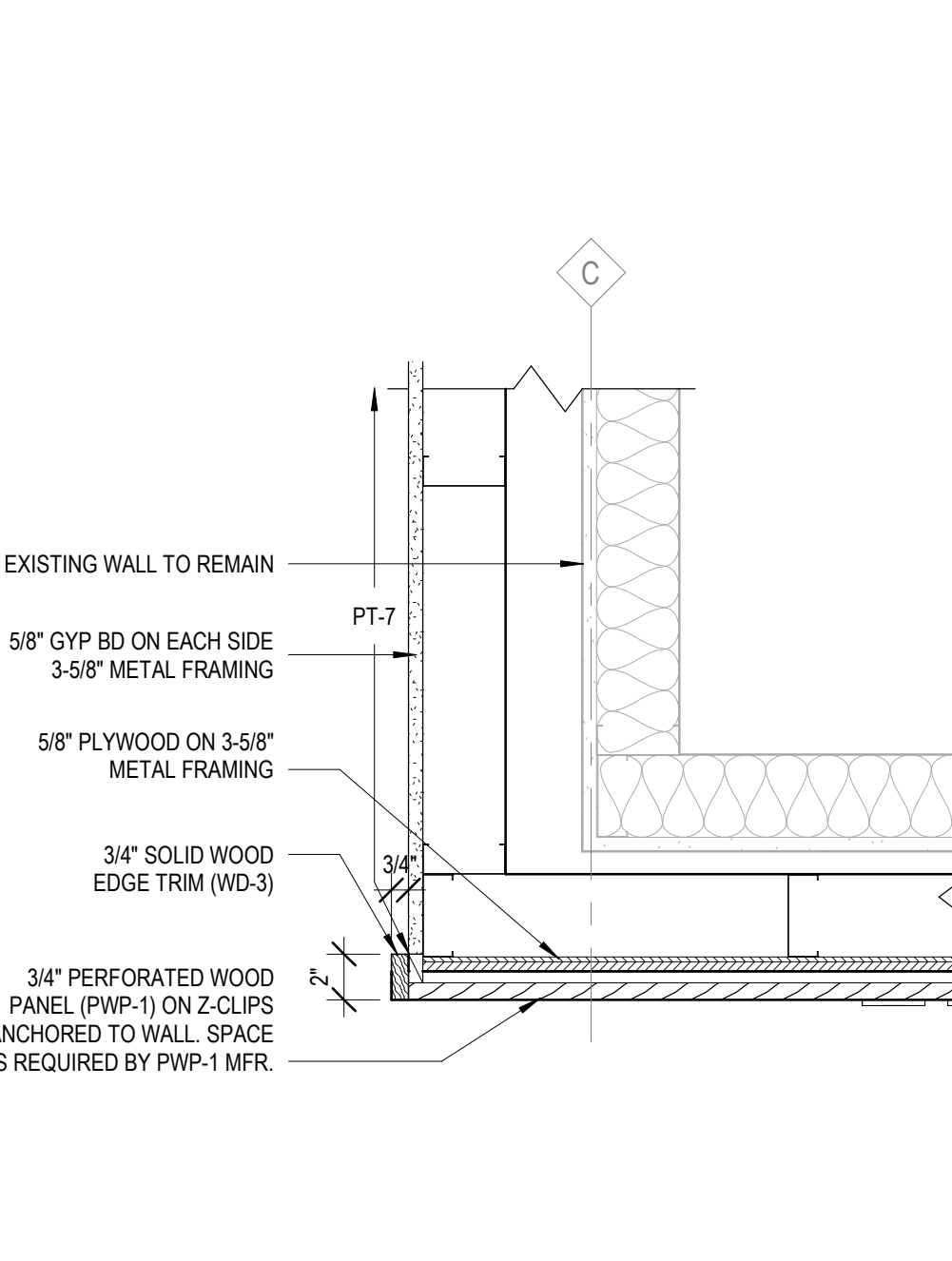
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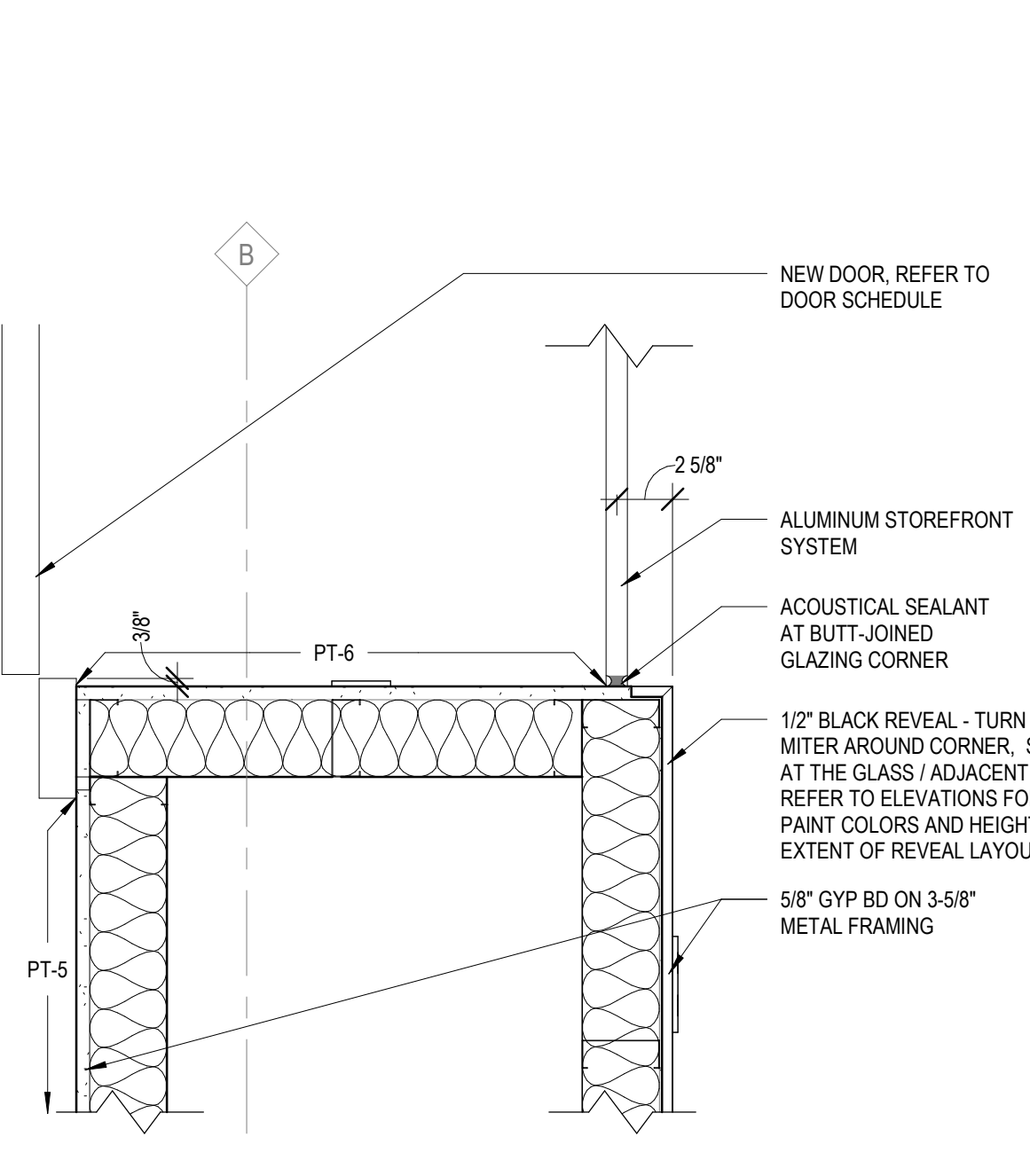
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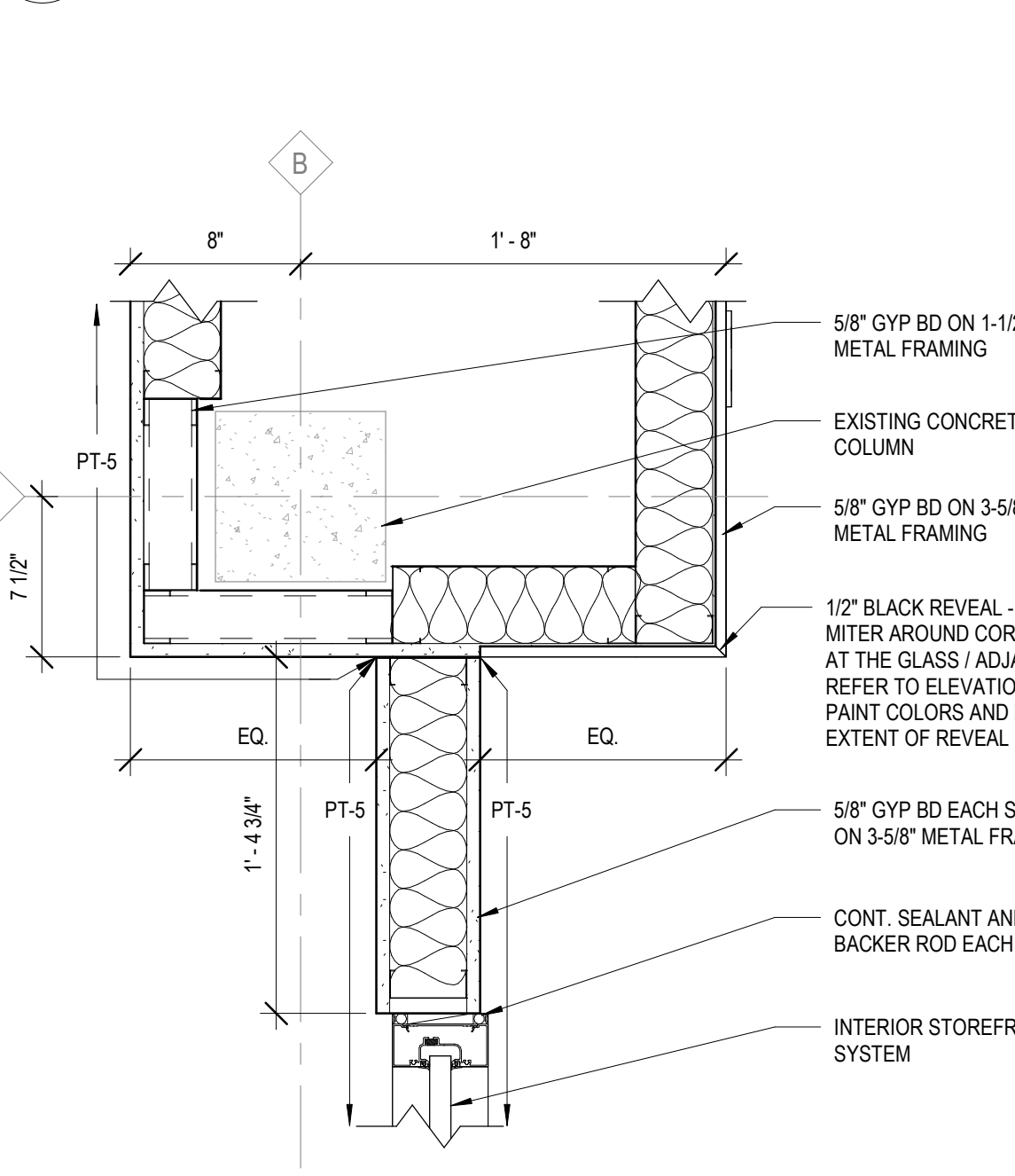
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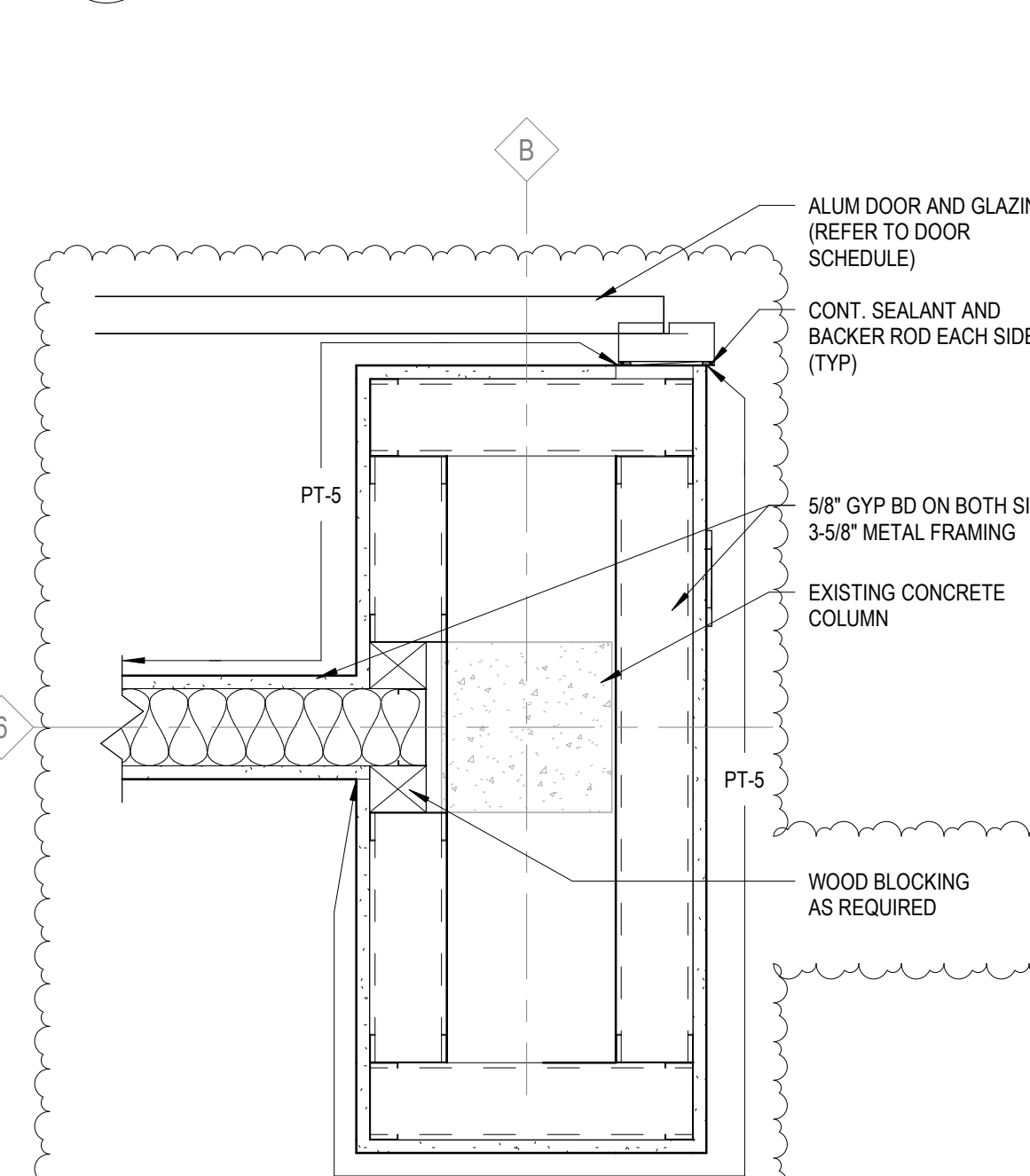
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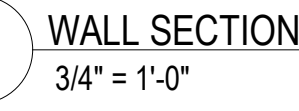
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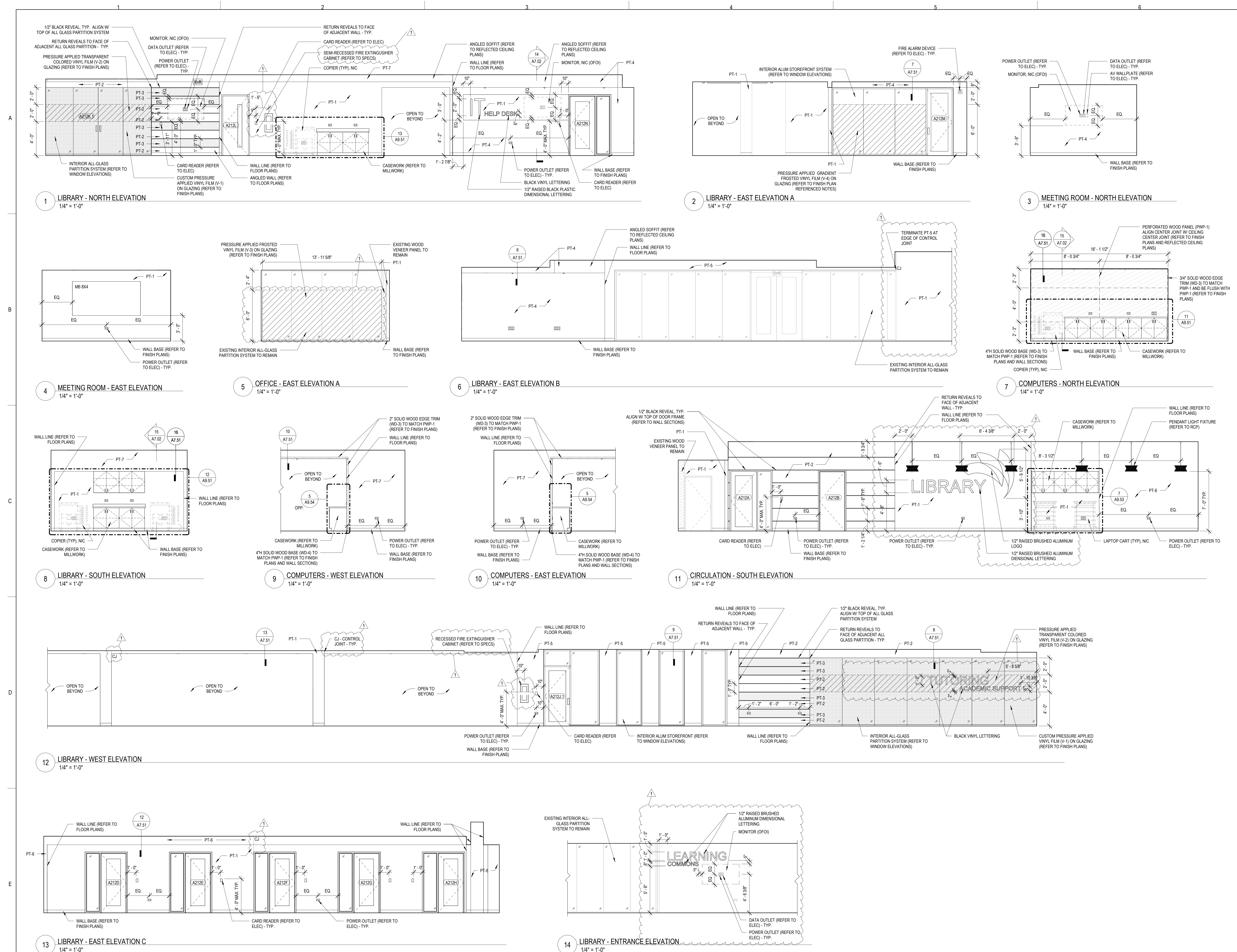
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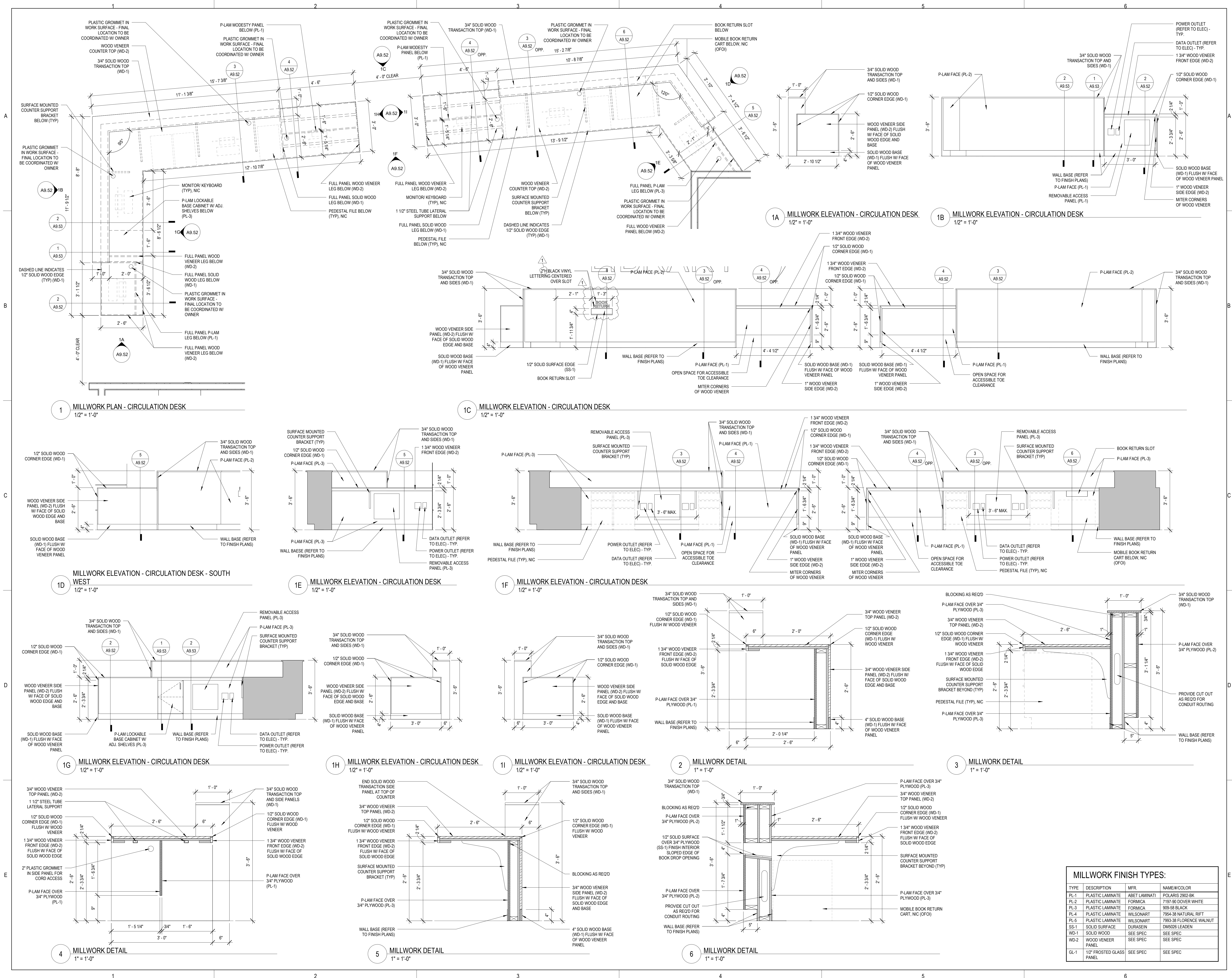
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AND DETAILS**

SHEET NUMBER:

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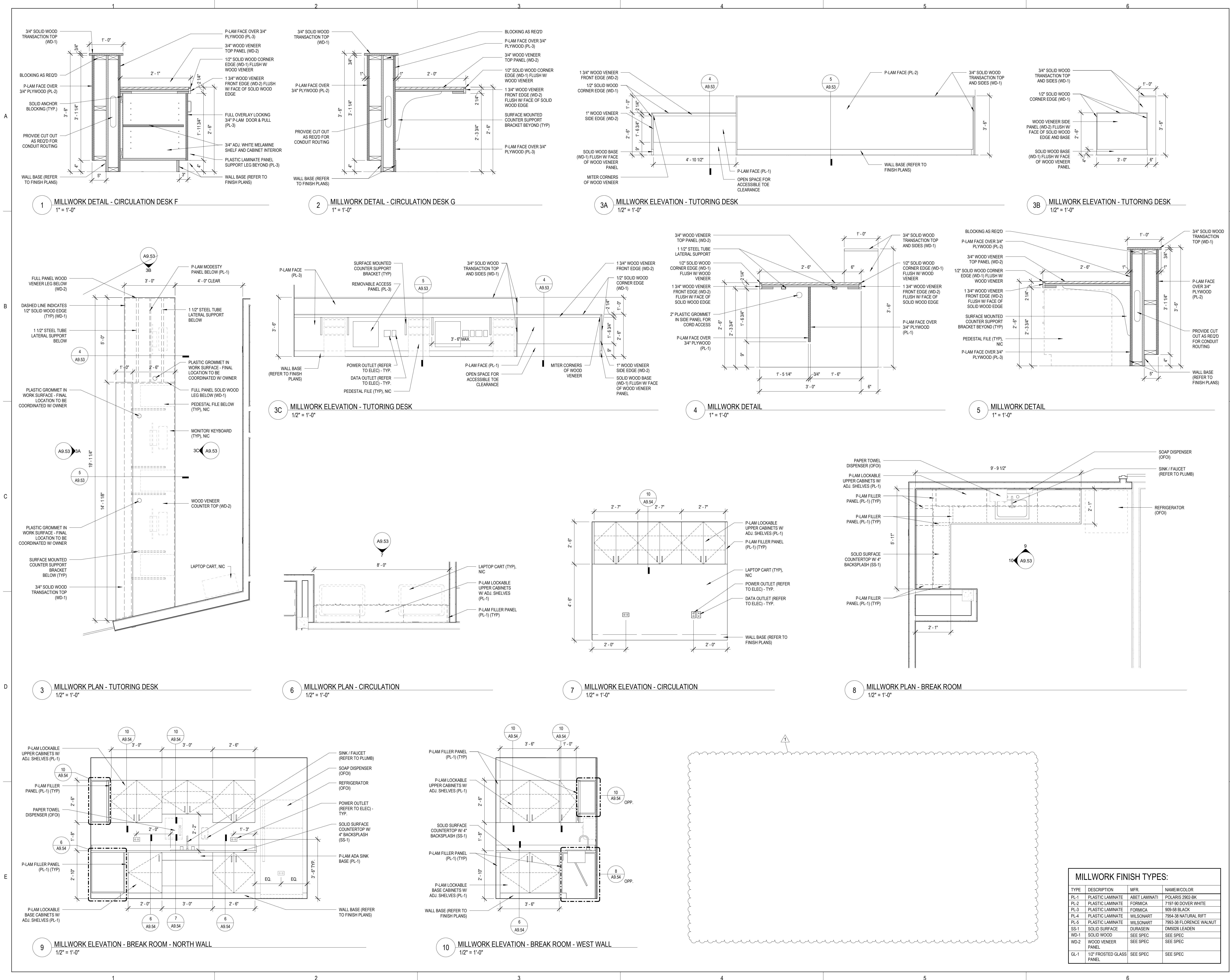
NO. DESCRIPTION: DATE:
1 ADDENDUM #2 11/1/2024

SHEET TITLE:
**MILLWORK PLANS
AND DETAILS**

SHEET NUMBER:

A9.53

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McHenry County College
2024 RENOVATIONS - BID PACKAGE 2
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 10/17/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

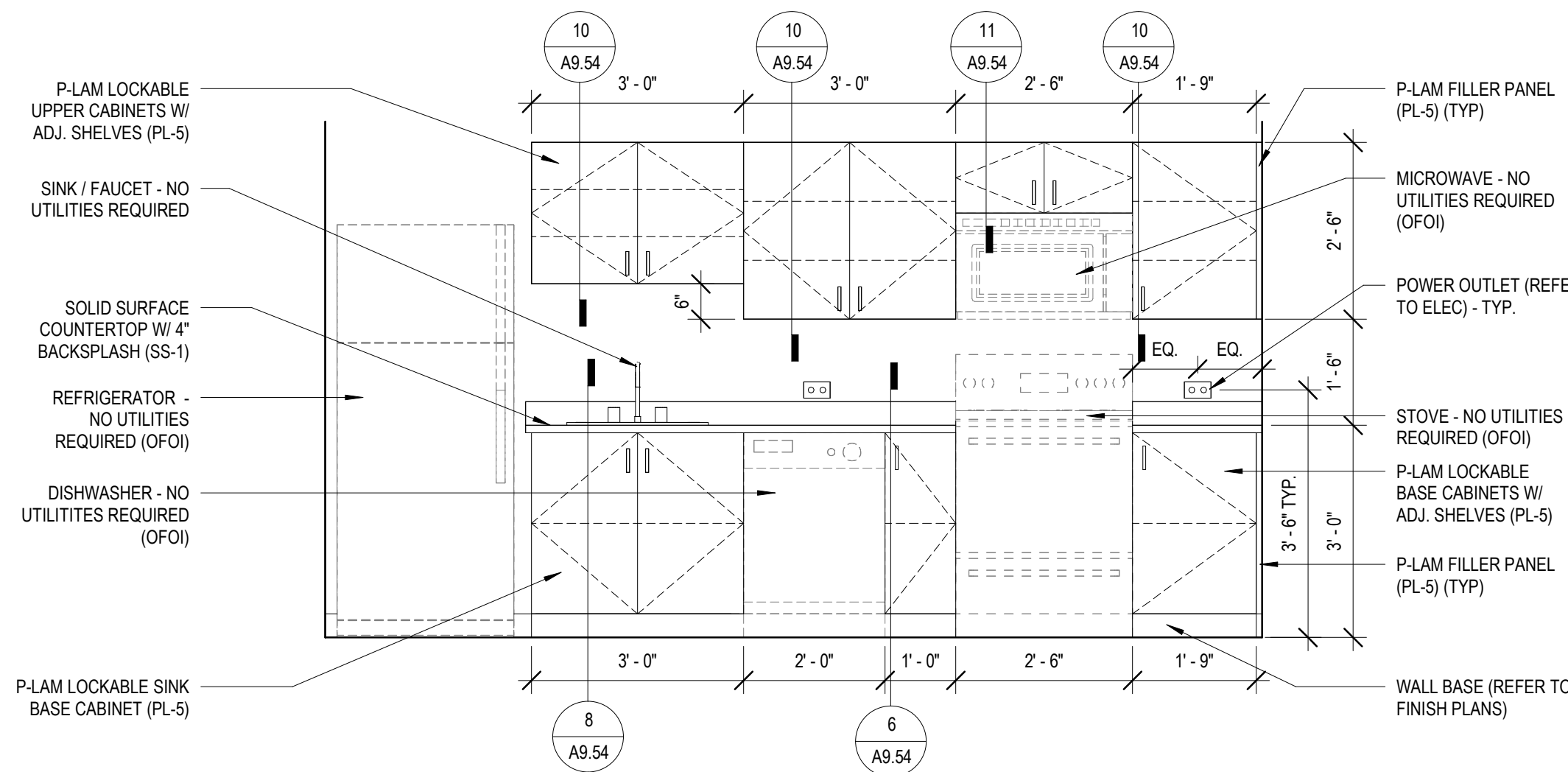
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1	ADDENDUM #2	11/1/2024

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MILLWORK PLANS AND DETAILS

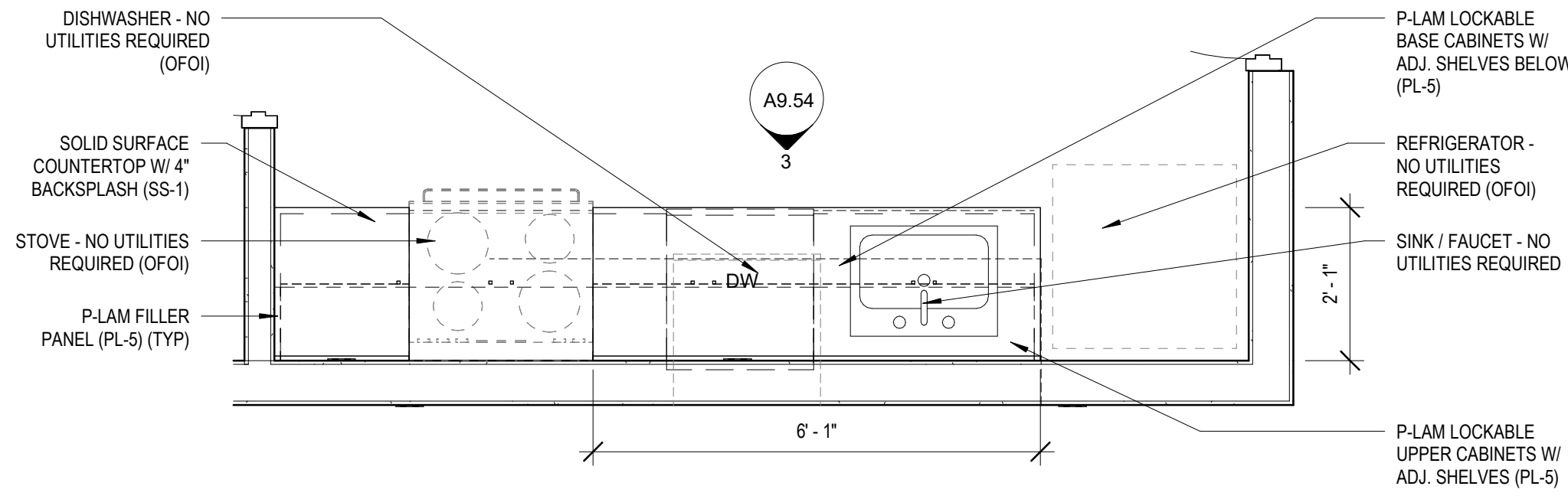
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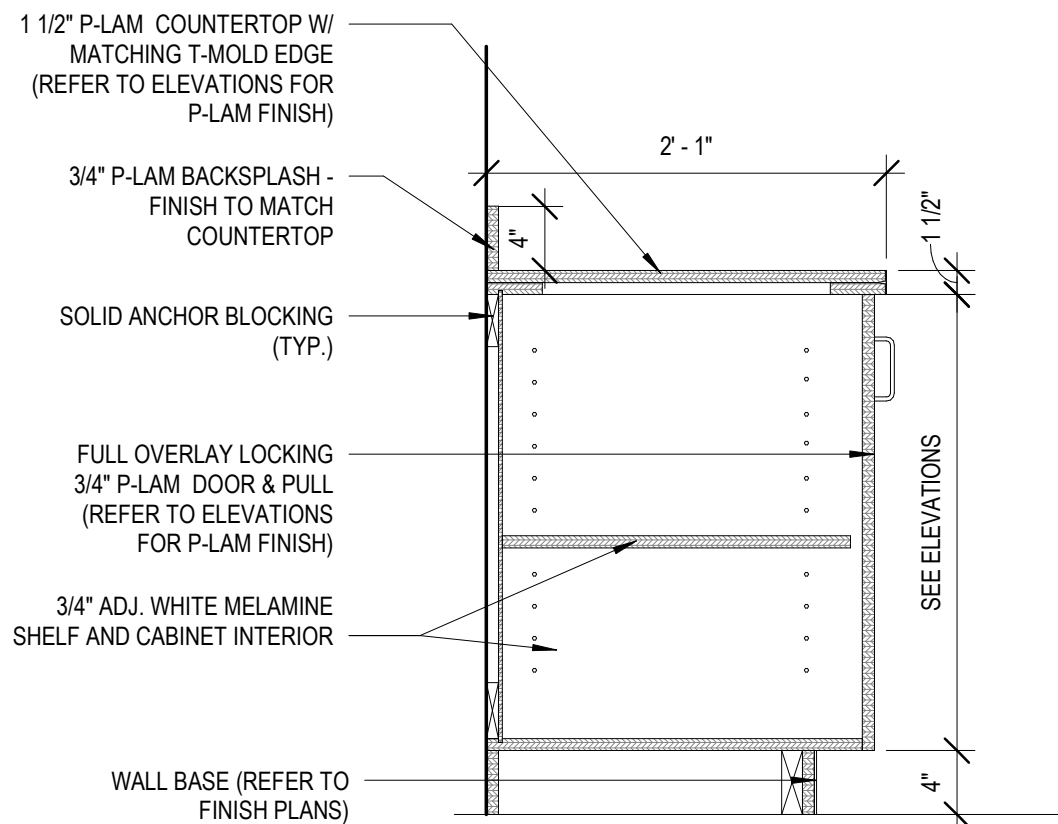
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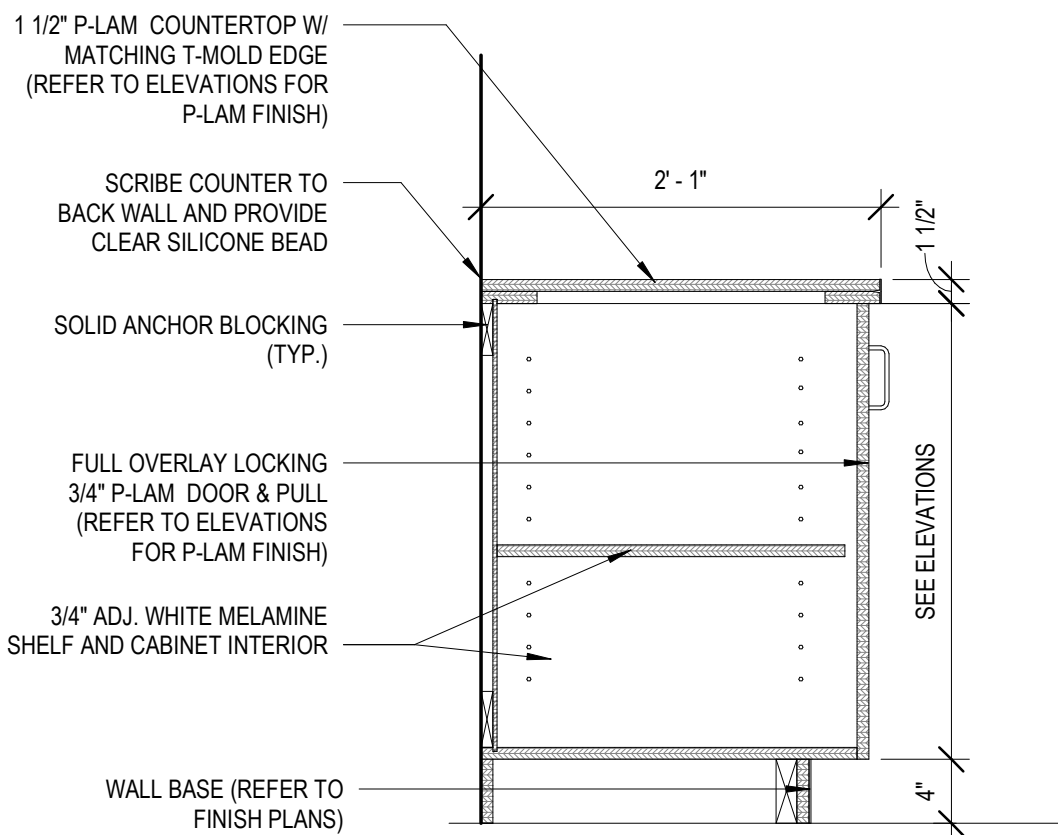
3 MILLWORK ELEVATION - MOCK APARTMENT
1/2" = 1'-0"



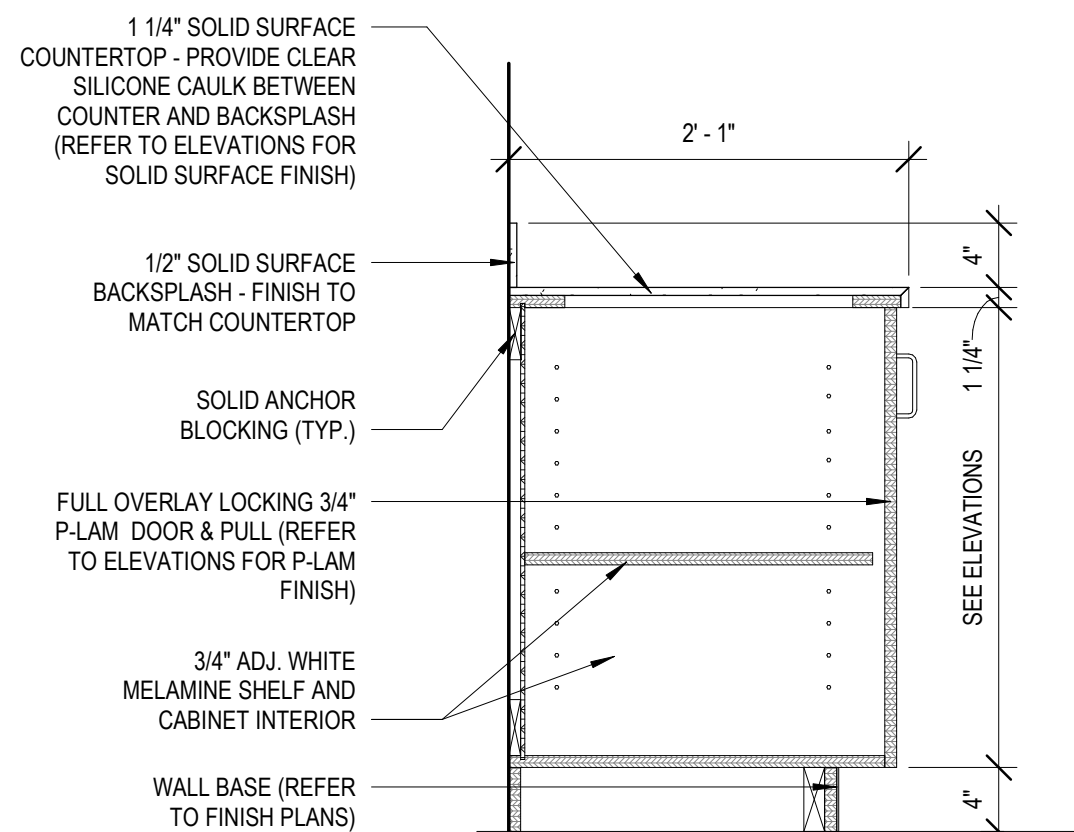
2 MILLWORK PLAN - MOCK APARTMENT
1/2" = 1'-0"



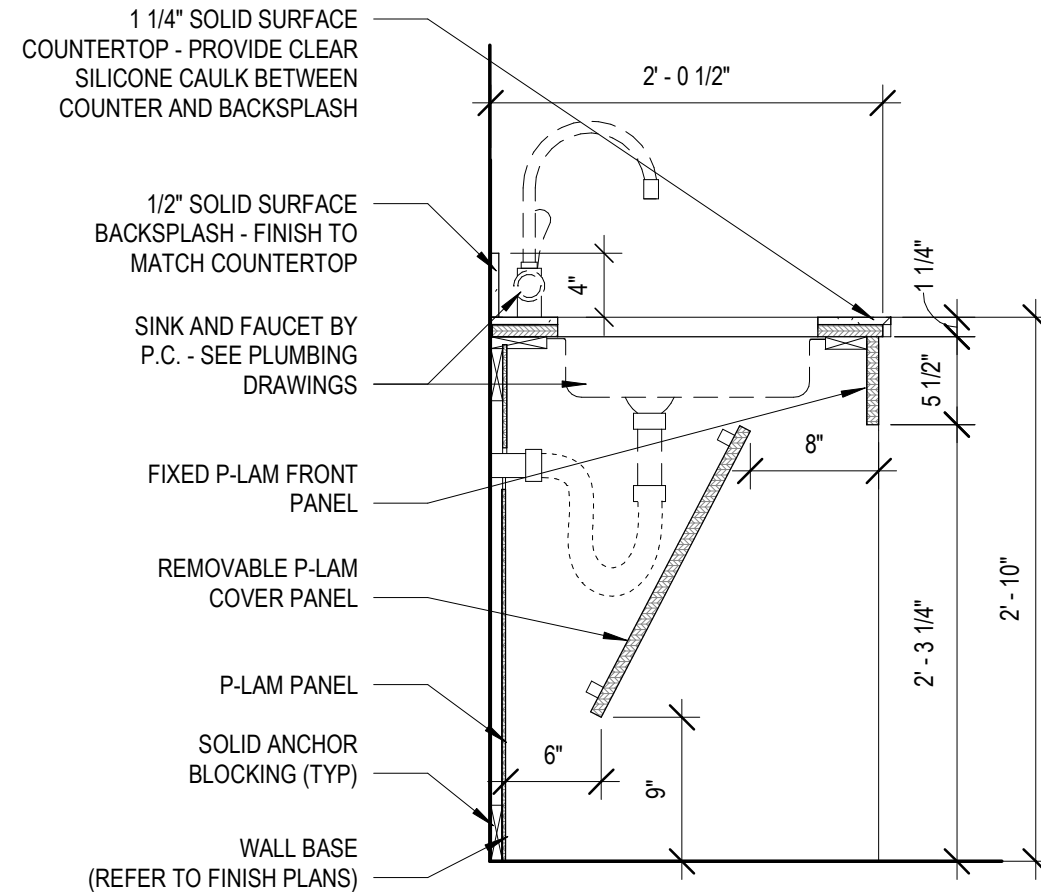
4 MILLWORK DETAIL
1" = 1'-0"



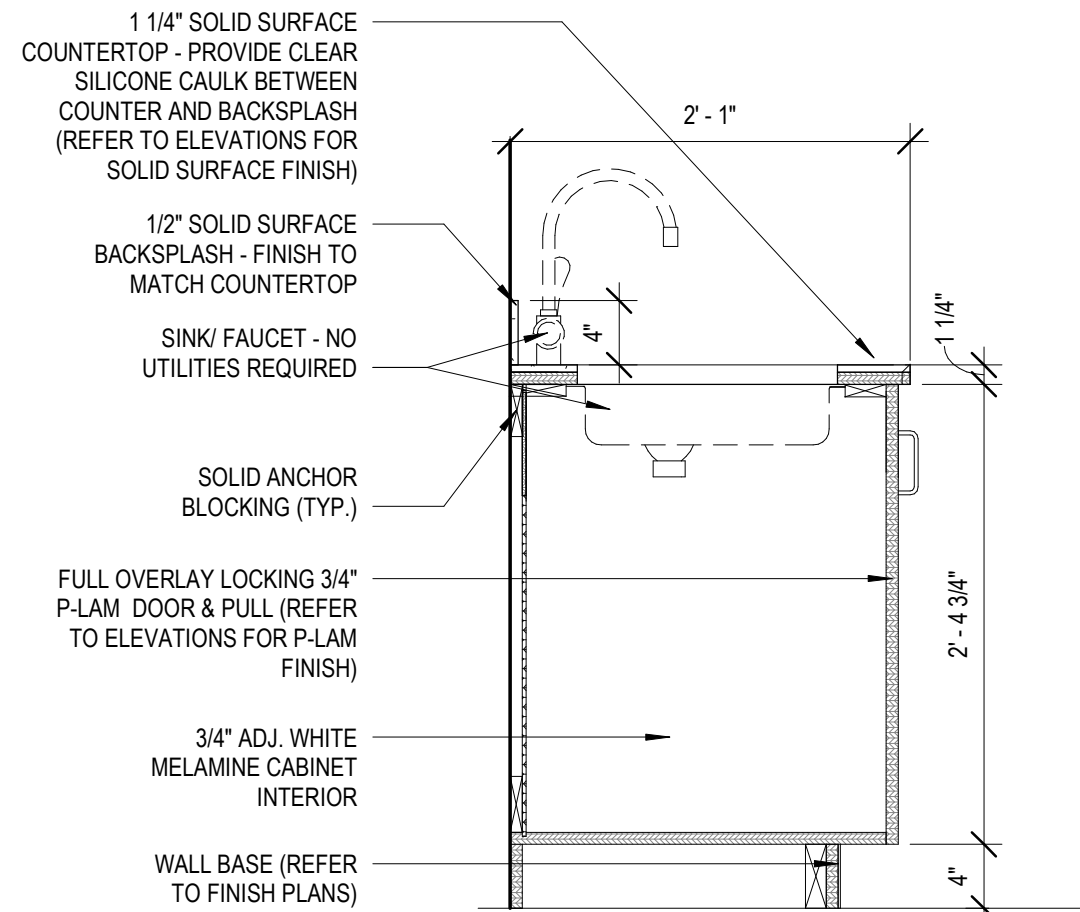
5 MILLWORK DETAIL
1" = 1'-0"



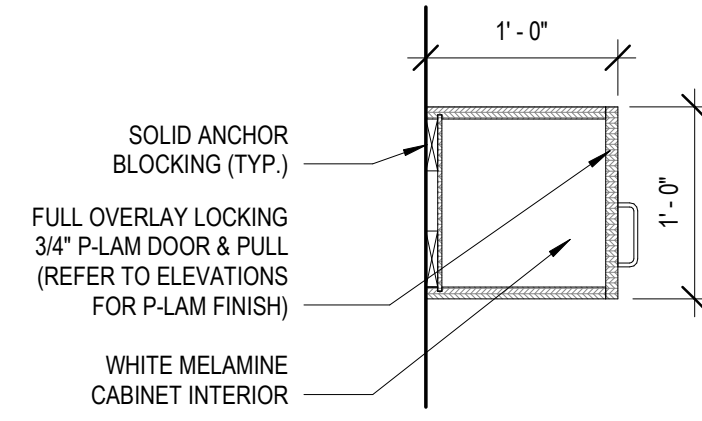
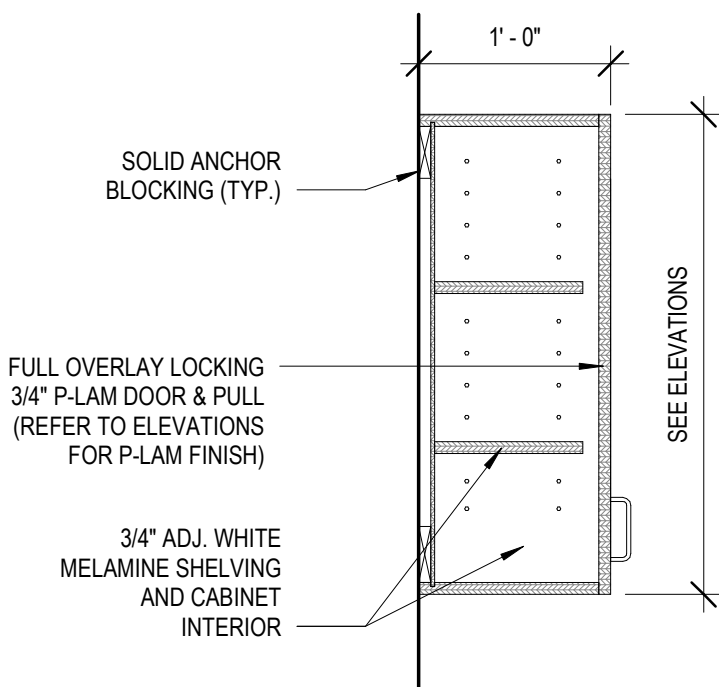
6 MILLWORK DETAIL
1" = 1'-0"



7 MILLWORK DETAIL
1" = 1'-0"

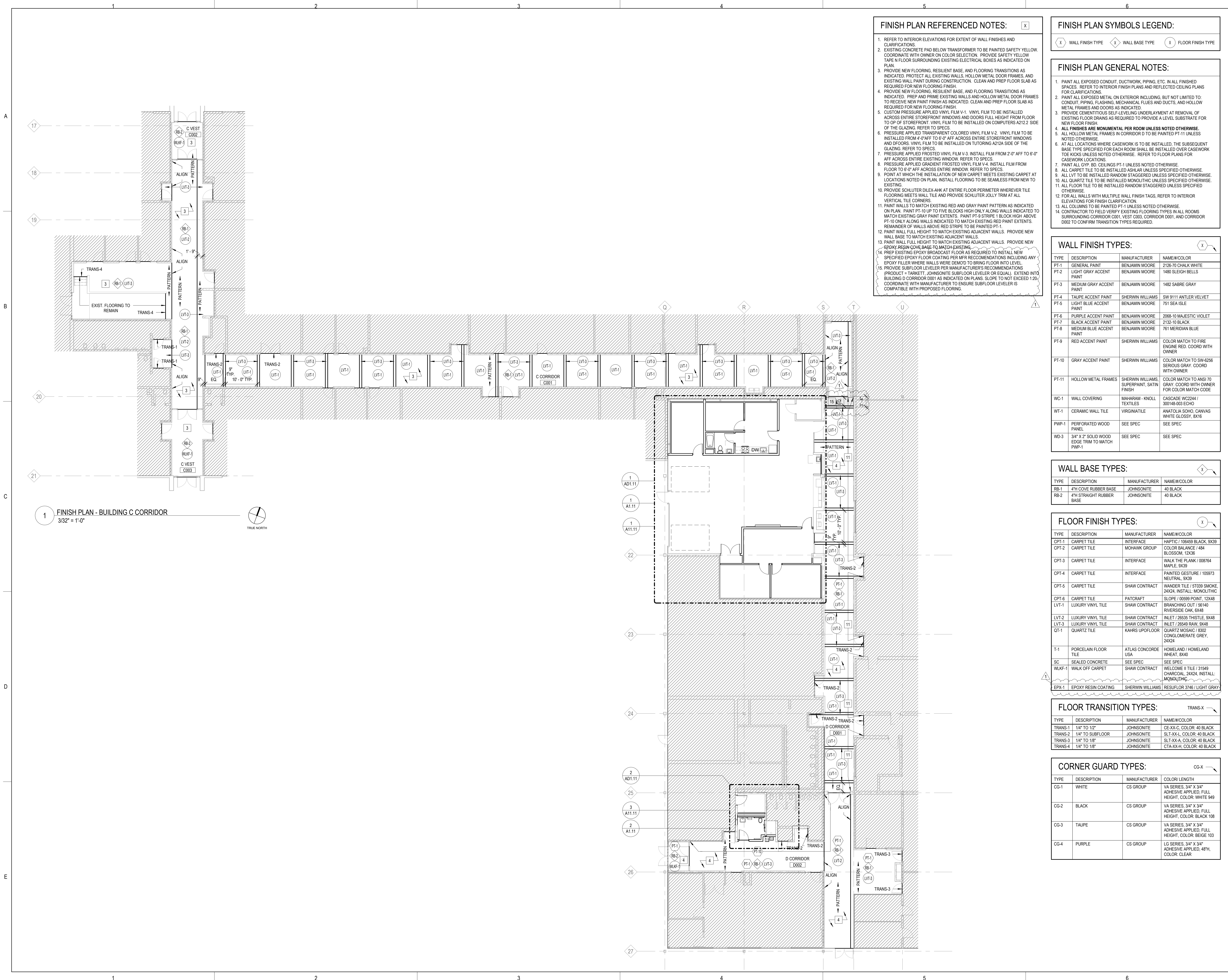


8 MILLWORK DETAIL
1" = 1'-0"



11 MILLWORK DETAIL
1" = 1'-0"

MILLWORK FINISH TYPES:			
TYPE	DESCRIPTION	MFR.	NAME#/COLOR
PL-1	PLASTIC LAMINATE	ABET LAMINATI	POLARIS 2002-BK
PL-2	PLASTIC LAMINATE	FORMICA	7187-90 DOVER WHITE
PL-3	PLASTIC LAMINATE	FORMICA	909-58 BLACK
PL-4	PLASTIC LAMINATE	WILSONART	7954-38 NATURAL RIFT
PL-5	PLASTIC LAMINATE	WILSONART	7993-38 FLORENCE WALNUT
SS-1	SOLID SURFACE	DURASIN	DM8026 LEADEN
WD-1	SOLID WOOD	SEE SPEC	SEE SPEC
WD-2	WOOD VENEER PANEL	SEE SPEC	SEE SPEC
GL-1	1/2" FROSTED GLASS PANEL	SEE SPEC	SEE SPEC



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 2
8900 NORTHWEST HWY #14
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DKA PROJECT NO: 24-031

KEY PLAN:

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NO.	DESCRIPTION:	DATE:
1	ADDENDUM #2	11/1/2024

SHEET TITLE:
FINISH PLANS

SHEET NUMBER:

A11.10

11/4/2024 12:35:32 PM



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DKA PROJECT NO: 24-031

KEY PLAN:

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NO: DESCRIPTION: DATE:
1 ADDENDUM #2 11/1/2024

SHEET TITLE:
FINISH PLANS

SHEET NUMBER:

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FINISH PLAN REFERENCED NOTES:

1. REFER TO INTERIOR ELEVATIONS FOR EXTENT OF WALL FINISHES AND CLARIFICATIONS.
2. EXISTING CONCRETE PAD BELOW TRANSFORMER TO BE PAINTED SAFETY YELLOW. COORDINATE WITH OWNER ON COLOR SELECTION. PROVIDE SAFETY YELLOW TAPE 1" FLOOR SURROUNDING EXISTING ELECTRICAL BOXES AS INDICATED ON PLAN.
3. PROVIDE NEW FLOORING, RESILIENT BASE, AND FLOORING TRANSITIONS AS INDICATED. PROTECT ALL EXISTING WALLS, HOLLOW METAL DOOR FRAMES, AND EXISTING WALL PAINT DURING CONSTRUCTION. CLEAN AND PREP FLOOR SLAB AS REQUIRED FOR NEW FLOORING FINISH.
4. PROVIDE NEW FLOORING, RESILIENT BASE, AND FLOORING TRANSITIONS AS INDICATED. PREP AND PRIME EXISTING WALLS AND HOLLOW METAL DOOR FRAMES TO RECEIVE NEW PAINT FINISH AS INDICATED. CLEAN AND PREP FLOOR SLAB AS REQUIRED FOR NEW FLOORING FINISH.
5. CUSTOM PRESSURE APPLIED VINYL FILM V-1. VINYL FILM TO BE INSTALLED ACROSS ENTIRE STOREFRONT WINDOWS AND DOORS FULL HEIGHT FROM FLOOR TO TOP OF STOREFRONT. VINYL FILM TO BE INSTALLED ON COMPUTERS A212.2 SIDE OF THE GLAZING. REFER TO SPECS.
6. PRESSURE APPLIED TRANSPARENT COLORED VINYL FILM V-2. VINYL FILM TO BE INSTALLED FROM 4'-0" AFF TO 6'-0" AFF ACROSS ENTIRE STOREFRONT WINDOWS AND DOORS. VINYL FILM TO BE INSTALLED ON TUTORING A212A SIDE OF THE GLAZING. REFER TO SPECS.
7. PRESSURE APPLIED FROSTED VINYL FILM V-3. INSTALL FILM FROM 2'-0" AFF TO 6'-0" AFF ACROSS ENTIRE EXISTING WINDOW. REFER TO SPECS.
8. PRESSURE APPLIED GRADIENT FROSTED VINYL FILM V-4. INSTALL FILM FROM FLOOR TO 6'-0" AFF ACROSS ENTIRE WINDOW. REFER TO SPECS.
9. POINT AT WHICH THE INSTALLATION OF NEW CARPET MEETS EXISTING CARPET AT LOCATIONS NOTED ON PLAN. INSTALL FLOORING TO BE SEAMLESS FROM NEW TO EXISTING.
10. PROVIDE SCHLUTER DILEX-AHK AT ENTIRE FLOOR PERIMETER WHEREVER TILE FLOORING MEETS WALL TILE AND PROVIDE SCHLUTER JOLLY TRIM AT ALL VERTICAL TILE CORNERS.
11. PAINT WALLS TO MATCH EXISTING RED AND GRAY PAINT PATTERN AS INDICATED ON PLAN. PAINT PT-10 UP TO FIVE BLOCKS HIGH ONLY ALONG WALLS INDICATED TO MATCH EXISTING GRAY PAINT EXTENTS. PAINT PT-9 STRIPE 1 BLOCK HIGH ABOVE PT-10 ONLY ALONG WALLS INDICATED TO MATCH EXISTING RED PAINT EXTENTS. REMAINDER OF WALLS ABOVE RED STRIPE TO BE PAINTED PT-1.
12. PAINT WALL FULL HEIGHT TO MATCH EXISTING ADJACENT WALLS. PROVIDE NEW WALL BASE TO MATCH EXISTING ADJACENT WALLS.
13. PAINT WALL FULL HEIGHT TO MATCH EXISTING ADJACENT WALLS. PROVIDE NEW EPOXY RESIN COVE BASE TO MATCH EXISTING.
14. PREP EXISTING EPOXY BROADCAST FLOOR AS REQUIRED TO INSTALL NEW SPECIFIED EPOXY FLOOR COATING PER MFR RECOMMENDATIONS INCLUDING ANY EPOXY FILLER WHERE WALLS WERE DEMO'D TO BRING FLOOR INTO LEVEL.
15. PROVIDE SUBFLOOR LEVELER PER MANUFACTURER'S RECOMMENDATIONS (PRODUCT - TARKETT, JOHNSONITE SUBFLOOR LEVELER OR EQUAL). EXTEND INTO BUILDING D CORRIDOR D001 AS INDICATED ON PLANS. SLOPE TO NOT EXCEED 1:20. COORDINATE WITH MANUFACTURER TO ENSURE SUBFLOOR LEVELER IS COMPATIBLE WITH PROPOSED FLOORING.

FINISH PLAN SYMBOLS LEGEND:

- (X) WALL FINISH TYPE (X) WALL BASE TYPE (X) FLOOR FINISH TYPE

FINISH PLAN GENERAL NOTES:

1. PAINT ALL EXPOSED CONDUIT, DUCTWORK, PIPING, ETC. IN ALL FINISHED SPACES. REFER TO INTERIOR FINISH PLANS AND REFLECTED CEILING PLANS FOR CLARIFICATIONS.
2. PAINT ALL EXPOSED METAL ON EXTERIOR INCLUDING, BUT NOT LIMITED TO: CONDUIT, PIPING, FLASHING, MECHANICAL FLUES AND DUCTS, AND HOLLOW METAL FRAMES AND DOORS AS INDICATED.
3. PROVIDE GEMANTITOUS SELF-LEVELING UNDERLAYMENT AT REMOVAL OF EXISTING FLOOR DRAINS AS REQUIRED TO PROVIDE A LEVEL SUBSTRATE FOR NEW FLOOR FINISH.
4. **ALL FINISHES ARE MONUMENTAL PER ROOM UNLESS NOTED OTHERWISE.**
5. ALL HOLLOW METAL FRAMES IN CORRIDOR 0 TO BE PAINTED PT-11 UNLESS NOTED OTHERWISE.
6. AT ALL LOCATIONS WHERE CASEWORK IS TO BE INSTALLED, THE SUBSEQUENT BASE TYPE SPECIFIED FOR EACH ROOM SHALL BE INSTALLED OVER CASEWORK TOE KICKS UNLESS NOTED OTHERWISE. REFER TO FLOOR PLANS FOR CASEWORK LOCATIONS.
7. PAINT ALL GYP. BD. CEILINGS PT-1 UNLESS NOTED OTHERWISE.
8. ALL CARPET TILE TO BE INSTALLED ASHLAR UNLESS SPECIFIED OTHERWISE.
9. ALL LVT TO BE INSTALLED RANDOM STAGGERED UNLESS SPECIFIED OTHERWISE.
10. ALL QUARTZ TILE TO BE INSTALLED MONOLITHIC UNLESS SPECIFIED OTHERWISE.
11. ALL FLOOR TILE TO BE INSTALLED RANDOM STAGGERED UNLESS SPECIFIED OTHERWISE.
12. FOR ALL WALLS WITH MULTIPLE WALL FINISH TAGS, REFER TO INTERIOR ELEVATIONS FOR FINISH CLARIFICATION.
13. ALL COLUMNS TO BE PAINTED PT-1 UNLESS NOTED OTHERWISE.
14. CONTRACTOR TO FIELD VERIFY EXISTING FLOORING TYPES IN ALL ROOMS SURROUNDING CORRIDOR D001, VEST C003, CORRIDOR D001, AND CORRIDOR D002 TO CONFIRM TRANSITION TYPES REQUIRED.

WALL FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
PT-1	GENERAL PAINT	BENJAMIN MOORE	2126-70 CHALK WHITE
PT-2	LIGHT GRAY ACCENT PAINT	BENJAMIN MOORE	1480 SLEIGH BELLS
PT-3	MEDIUM GRAY ACCENT PAINT	BENJAMIN MOORE	1482 SABRE GRAY
PT-4	TAUPE ACCENT PAINT	SHERWIN WILLIAMS	SW 9111 ANTLER VELVET
PT-5	LIGHT BLUE ACCENT PAINT	BENJAMIN MOORE	751 SEA ISLE
PT-6	PURPLE ACCENT PAINT	BENJAMIN MOORE	2088-10 MAJESTIC VIOLET
PT-7	BLACK ACCENT PAINT	BENJAMIN MOORE	2132-10 BLACK
PT-8	MEDIUM BLUE ACCENT PAINT	BENJAMIN MOORE	761 MERIDIAN BLUE
PT-9	RED ACCENT PAINT	SHERWIN WILLIAMS	COLOR MATCH TO FIRE ENGINE RED. COORD WITH OWNER
PT-10	GRAY ACCENT PAINT	SHERWIN WILLIAMS	COLOR MATCH TO SW-6256 SERIOUS GRAY. COORD WITH OWNER
PT-11	HOLLOW METAL FRAMES	SHERWIN WILLIAMS, SUPERPAINT, SATIN FINISH	COLOR MATCH TO ANSI 70 GRAY. COORD WITH OWNER FOR COLOR MATCH CODE
WC-1	WALL COVERING	MM-HRAM - KNOX TEXTILES	CASCADE WC2241 / 300148-003 ECHO
WT-1	CERAMIC WALL TILE	VIRGINIATILE	ANATOLIA SOHO, CANVAS WHITE GLOSSY, 8X16
PWP-1	PERFORATED WOOD PANEL	SEE SPEC	SEE SPEC
WD-3	3/4" X 2" SOLID WOOD EDGE TRIM TO MATCH PWP-1	SEE SPEC	SEE SPEC

WALL BASE TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
RB-1	4TH COVE RUBBER BASE	JOHNSONITE	40 BLACK
RB-2	4TH STRAIGHT RUBBER BASE	JOHNSONITE	40 BLACK

FLOOR FINISH TYPES:

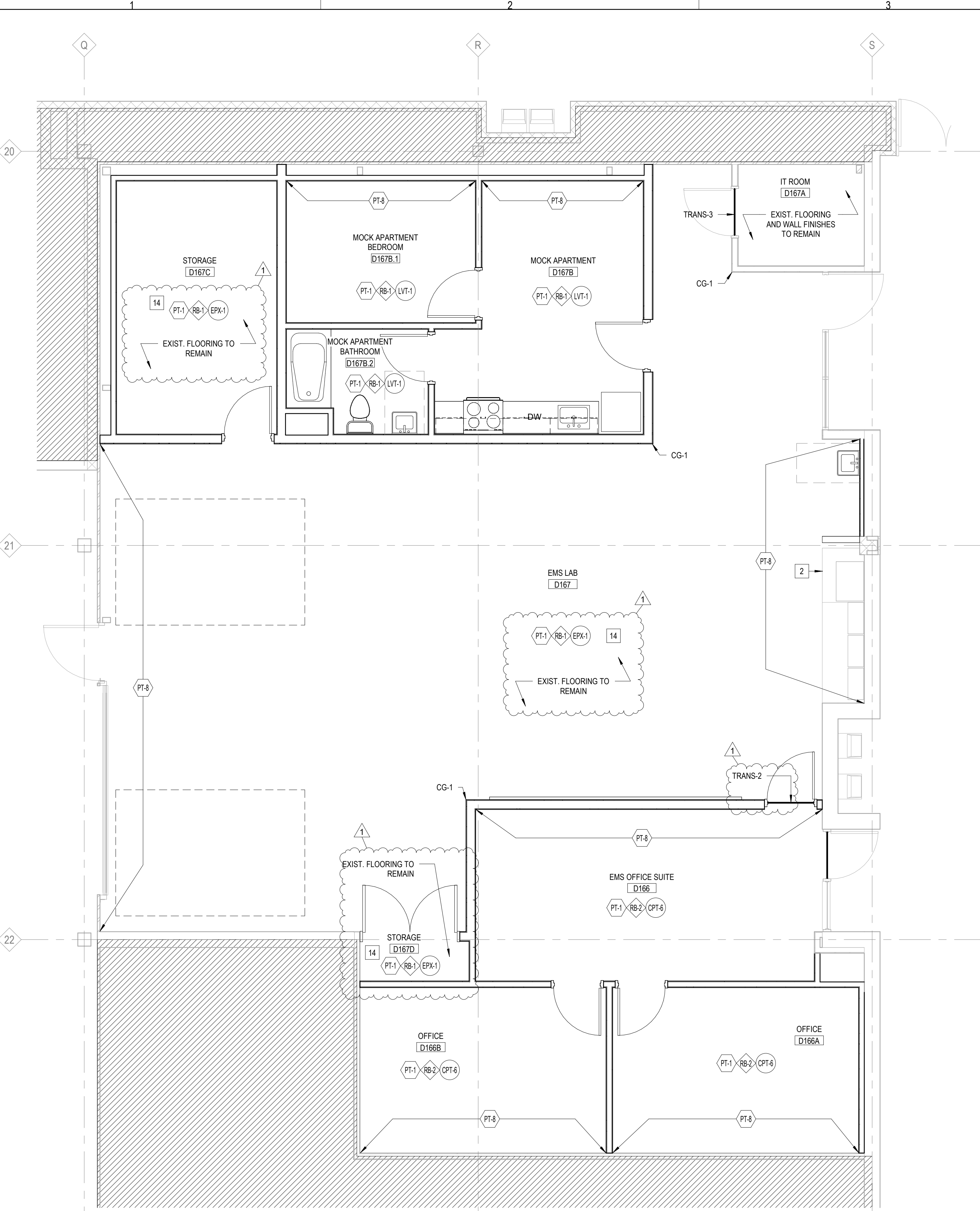
TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
CPT-1	CARPET TILE	INTERFACE	HAPTIC / 10649 BLACK, 9X39
CPT-2	CARPET TILE	MOHAWK GROUP	COLOR BALANCE / 484 BLOSSOM, 12X36
CPT-3	CARPET TILE	INTERFACE	WALK THE PLANK / 008764 MAPLE, 9X39
CPT-4	CARPET TILE	INTERFACE	PAINTED GESTURE / 105973 NEUTRAL, 9X39
CPT-5	CARPET TILE	SHAW CONTRACT	WANDER TILE / 5T039 SMOKE, 24X24, INSTALL MONOLITHIC
CPT-6	CARPET TILE	PATCRAFT	SLOPE / 08599 POINT, 12X48
LVT-1	LUXURY VINYL TILE	SHAW CONTRACT	BRANCHING OUT / 56140 RIVERSIDE OAK, 6X48
LVT-2	LUXURY VINYL TILE	SHAW CONTRACT	INLET / 26535 THISTLE, 9X48
LVT-3	LUXURY VINYL TILE	SHAW CONTRACT	INLET / 26549 RAW, 9X48
QT-1	QUARTZ TILE	KAHRS UPFLOOR	QUARTZ MOSAIC / 8302 CONGLOMERATE GREY, 24X24
T-1	PORCELAIN FLOOR TILE	ATLAS CONCORDE USA	HOMELAND / HOMELAND WHEAT, 8X40
SC	SEALED CONCRETE	SEE SPEC	SEE SPEC
WLKF-1	WALK OFF CARPET	SHAW CONTRACT	WELCOME II TILE / 31549 CHARCOAL, 24X24, INSTALL MONOLITHIC
EPX-1	EPOXY RESIN COATING	SHERWIN WILLIAMS	RESUFLO 3746 / LIGHT GRAY

FLOOR TRANSITION TYPES:

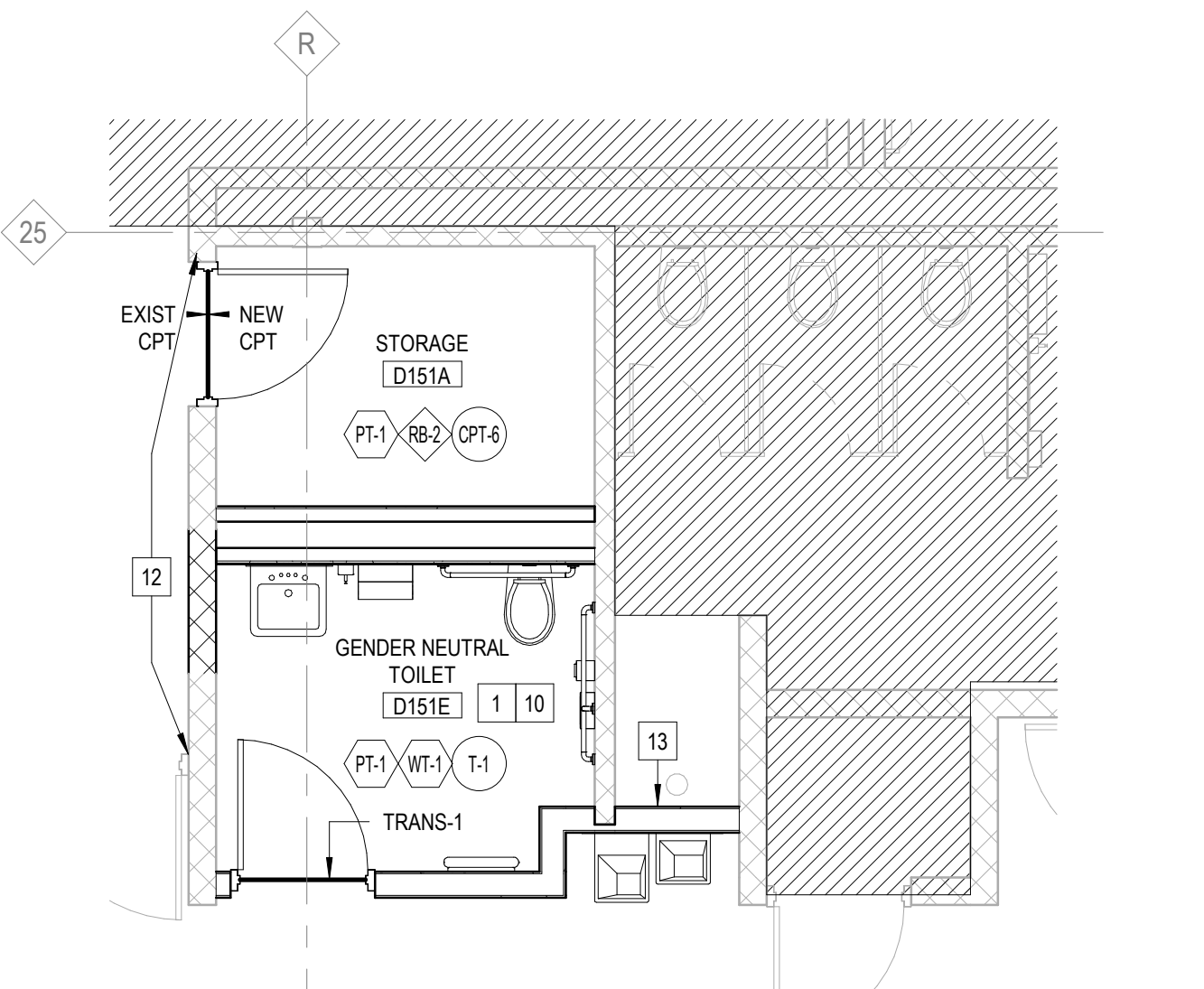
TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
TRANS-1	1/4" TO 1/2"	JOHNSONITE	CE-XX-C, COLOR: 40 BLACK
TRANS-2	1/4" TO SUBFLOOR	JOHNSONITE	SLT-XX-L, COLOR: 40 BLACK
TRANS-3	1/4" TO 1/8"	JOHNSONITE	SLT-XX-A, COLOR: 40 BLACK
TRANS-4	1/4" TO 1/8"	JOHNSONITE	CTA-XX-H, COLOR: 40 BLACK

CORNER GUARD TYPES:

TYPE	DESCRIPTION	MANUFACTURER	COLOR/ LENGTH
CG-1	WHITE	CS GROUP	VA SERIES, 3/4" X 3/4" ADHESIVE APPLIED, FULL HEIGHT, COLOR: WHITE 949
CG-2	BLACK	CS GROUP	VA SERIES, 3/4" X 3/4" ADHESIVE APPLIED, FULL HEIGHT, COLOR: BLACK 108
CG-3	TAUPE	CS GROUP	VA SERIES, 3/4" X 3/4" ADHESIVE APPLIED, FULL HEIGHT, COLOR: BEIGE 103
CG-4	PURPLE	CS GROUP	LG SERIES, 3/4" X 3/4" ADHESIVE APPLIED, 48TH, COLOR: CLEAR



1 FINISH PLAN - EMS
1/4" = 1'-0"

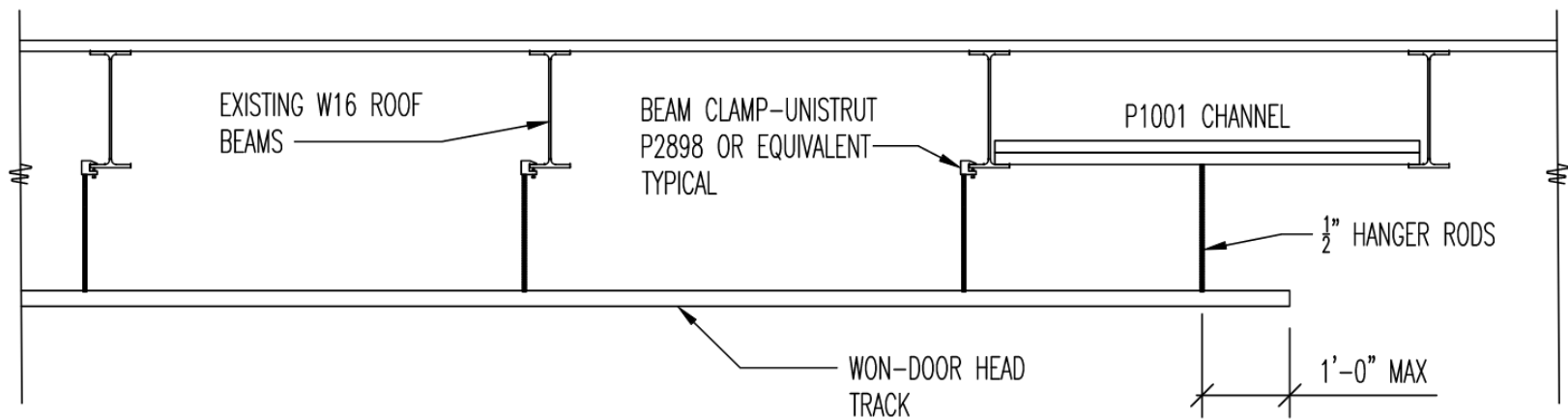


3 FINISH PLAN - TOILET
1/4" = 1'-0"

MCC 2024 RENOVATIONS - BID PACKAGE 2

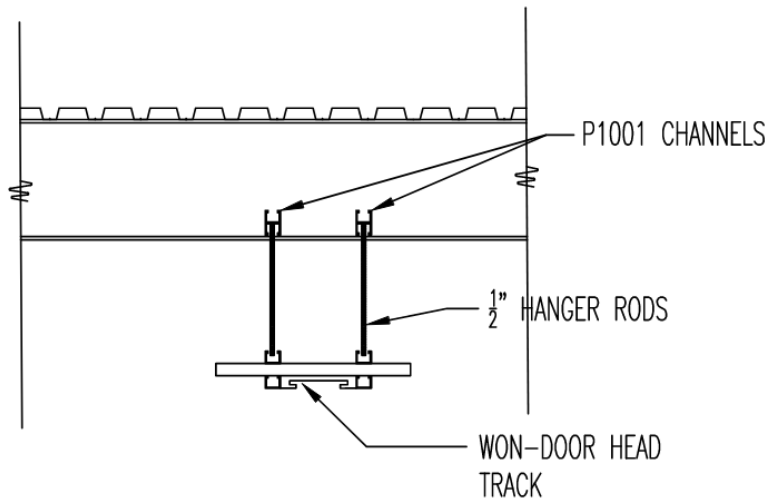
STRUCTURAL REFERENCE SHEET

11/4/2024 - ADDENDUM #2



1 TYPICAL WON DOOR SUSPENSION SECTION

REF-1 NOT TO SCALE



2 WON DOOR SUSPENSION SECTION AT ENDS OF TRACK

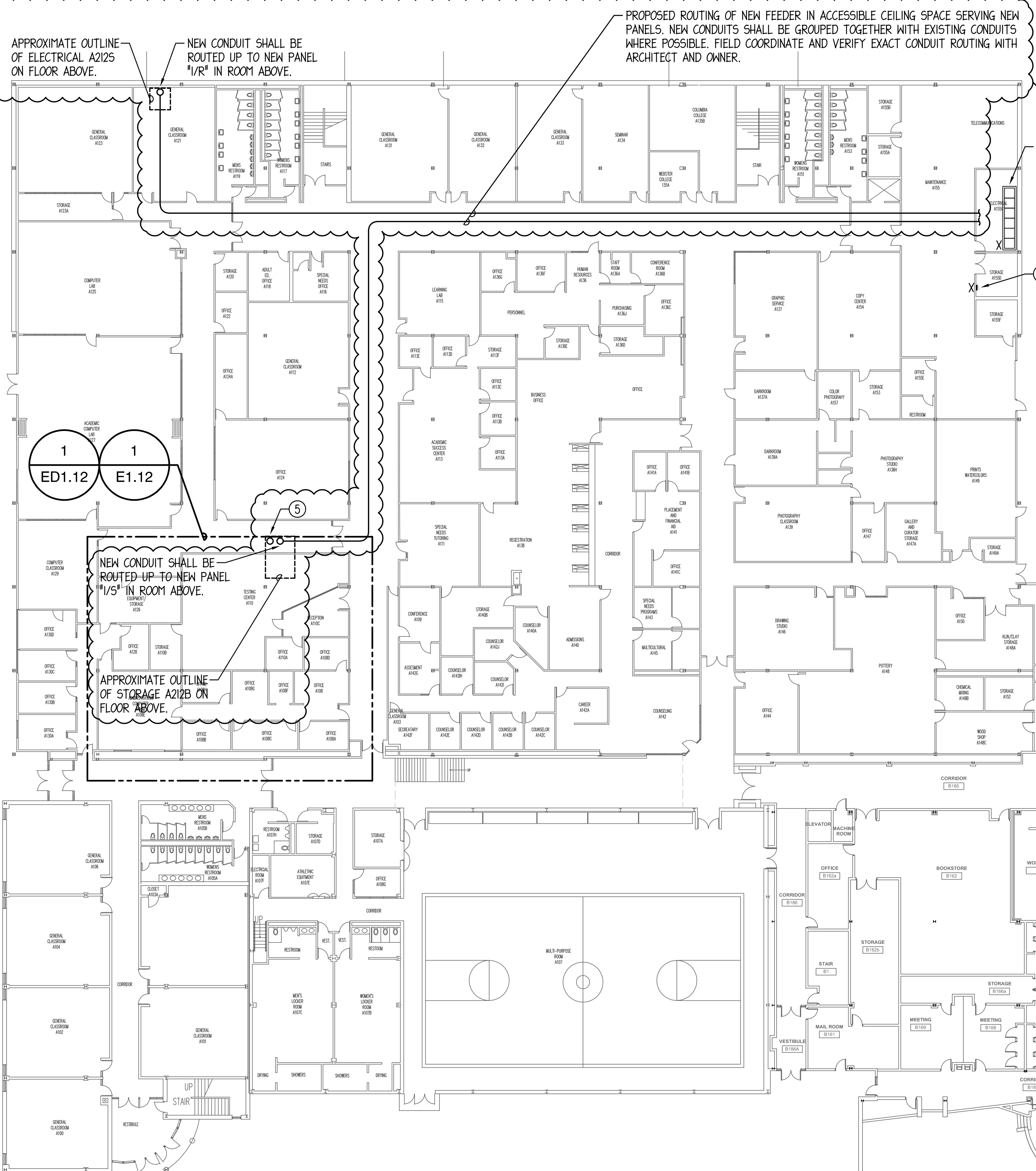
REF-2 NOT TO SCALE

GENERAL NOTES:

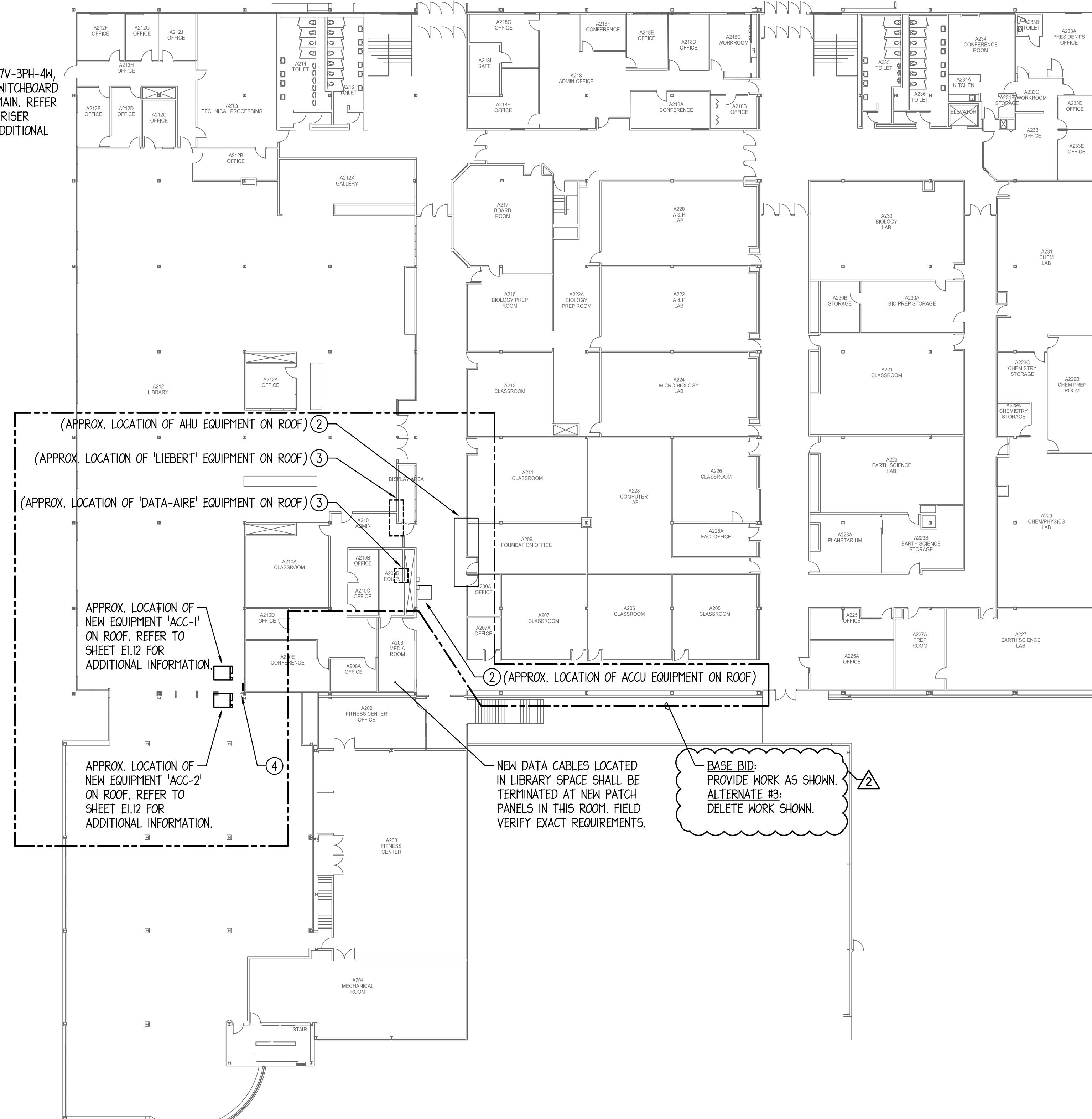
1. CONTRACTOR SHALL CONFIRM EXACT FLOOR BOX LOCATION WITH THE ARCHITECT AND LOCATE/MARK ANY EXISTING UTILITIES IN AREA BY EMPLOYING SERVICE TO SCAN THE FLOOR SLAB. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGES TO EXISTING UTILITIES DUE TO SAWCUTTING OR FLOOR CORING.
2. OPEN THE EXISTING CEILINGS TO THE EXTENT REQUIRED TO FACILITATE FLOOR CORING AND DEVICE INSTALLATION. PROVIDE NEW MATERIALS MATCHING EXISTING CEILING MATERIALS. FINISHES AND ASSEMBLIES TO COVER ALL NEW OPENINGS TO THE SATISFACTION OF THE ARCHITECT AND OWNER. FIELD VERIFY EXACT REQUIREMENTS.
3. NEW CONDUITS SHALL BE GROUPED TOGETHER WITH EXISTING CONDUITS WHERE POSSIBLE. FIELD COORDINATE AND VERIFY EXACT CONDUIT ROUTING WITH ARCHITECT AND OWNER.
4. NEW LOW VOLTAGE CABLES SHALL BE BUNDLED TOGETHER AND ROUTED WITH EXISTING CABLE BUNDLES WHERE POSSIBLE. UTILIZE EXISTING CABLE TRAY WHERE APPLICABLE. FIELD COORDINATE AND VERIFY EXACT CABLE ROUTING WITH ARCHITECT AND OWNER.

DRAWING NOTES: (TYPICAL FOR THIS DRAWING ONLY.)

1. APPROXIMATE LOCATION OF EXISTING 480/277V-3PH-4W, 300MCM PANEL "DP-BIT" MANUFACTURED BY "SQUARE D". DISCONNECT AND REMOVE (1) 10A-3P & (1) 70A-3P CIRCUIT BREAKERS CURRENTLY SERVING COMPUTER ROOM COOLING UNITS SCHEDULED TO BE DEMOLISHED. REMOVED CIRCUIT BREAKERS SHALL BE TURNED OVER TO OWNER FOR ATTIC STOCK. REPLACE WITH (2) NEW 50A-3P CIRCUIT BREAKERS TO SERVE REPLACEMENT EQUIPMENT "CRCU-1" & "CRCU-2". NEW CIRCUIT BREAKERS SHALL BE OF TYPE AND AIC RATING TO MATCH EXISTING PANEL. EXTEND EXISTING CONDUCTORS TO NEW CIRCUIT BREAKERS AS REQUIRED. INCLUDE UPDATED PANELBOARD DIRECTORY TO REFLECT CHANGES. FIELD VERIFY EXACT REQUIREMENTS.
2. EXISTING MECHANICAL EQUIPMENT TO REMAIN. PROTECT CONDUITS AND CONDUCTORS SERVING EQUIPMENT TO MAINTAIN PROPER OPERATION.
3. ELECTRICALLY DISCONNECT EXISTING EQUIPMENT FOR REMOVAL. REMOVE ANY ASSOCIATED FIRE ALARM DEVICES, DISCONNECT SWITCHES, STARTERS, AND ALL CONDUITS AND CONDUCTORS BETWEEN EQUIPMENT AND PANEL. LEAVE CIRCUIT BREAKER AT "OFF" POSITION AND INDICATE CIRCUIT AS "SPARE" IN PANELBOARD DIRECTORY.
4. FOLLOW PATH FOR MECHANICAL SYSTEM PIPING AND ROUTE NEW CONDUITS IN PIPE CHASE FROM FLOOR BELOW TO ROOF TO SERVE NEW EQUIPMENT "ACC-1" & "ACC-2". UTILIZE SAME ROOF CURB AS MECHANICAL PIPING FOR ROUTING OF CONDUITS UP TO ROOF. SEE DETAIL ON SHEET ME1.0 FOR ROOF CURB AND ROOF SUPPORT REQUIREMENTS. FIELD COORDINATE AND VERIFY EXACT CONDUIT ROUTING.
5. LOW VOLTAGE CABLING SERVING FLOOR BOXES SHALL BE ROUTED THROUGH NEW UTILITY CHASE ON FLOOR ABOVE. PROVIDE (1) NEW 4" CONDUIT SLEEVE ROUTED FROM ACCESSIBLE CEILING SPACE ON THIS FLOOR TO ACCESSIBLE CEILING SPACE ON FLOOR ABOVE FOR ROUTING OF NEW CABLES.



1 LOWER LEVEL - OVERALL ELECTRICAL PLAN
1" = 20'-0"



2 UPPER LEVEL - OVERALL ELECTRICAL PLAN
1" = 20'-0"



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NO.	DESCRIPTION:	DATE:
2	Addendum #2	11/01/24

SHEET TITLE:
OVERALL ELECTRICAL
PLANS

SHEET NUMBER:

E0.12



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DRAWING NOTES

- CONFIRM EXACT LOCATION OF DEVICES SERVING WORKSTATIONS PRIOR TO ROUGH-IN WITH ARCHITECT AND/OR GENERAL CONTRACTOR.
- FOR WALL-MOUNTED SHORT-THROW PROJECTOR, CONFIRM EXACT LOCATION PRIOR TO ROUGH-IN WITH ARCHITECT AND/OR GENERAL CONTRACTOR.
- INSTALL RECEPTACLE FOR ELECTRIC WATER COOLER (EWC) WITHIN EWC CABINET AS RECOMMENDED BY MANUFACTURER.

McHenry County College 2024 RENOVATIONS - BID PACKAGE 2

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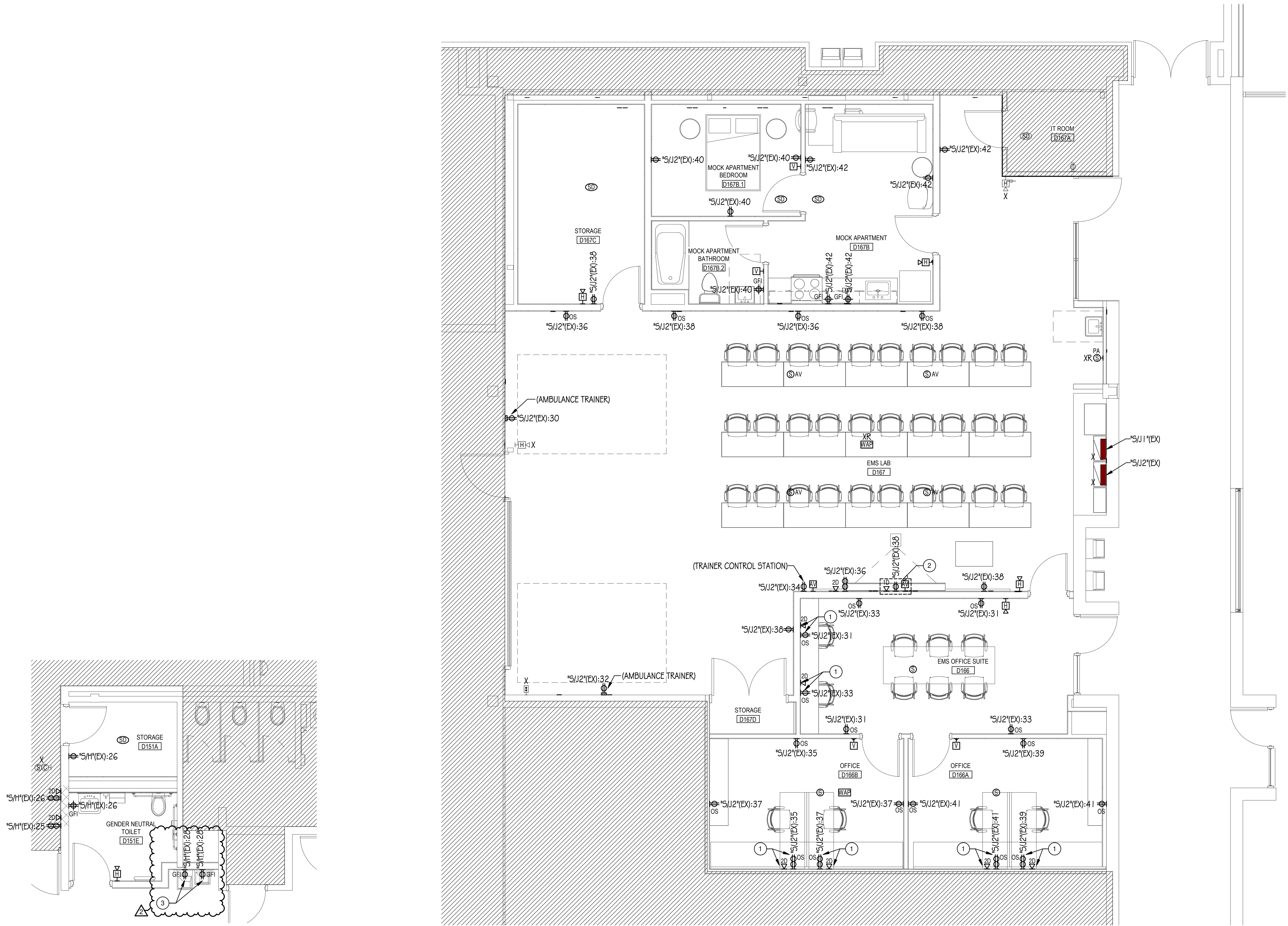
NO.	DESCRIPTION:	DATE:
2	Addendum #2	11/01/24

SHEET TITLE:
ELECTRICAL PLANS

SHEET NUMBER:

E1.11

11/1/2024 2:14:04 PM



ELECTRICAL PLAN - GENDER NEUTRAL TOILET
(ALTERNATE #2)

1/4" = 1'-0"



ELECTRICAL PLAN - EMS

1/4" = 1'-0"





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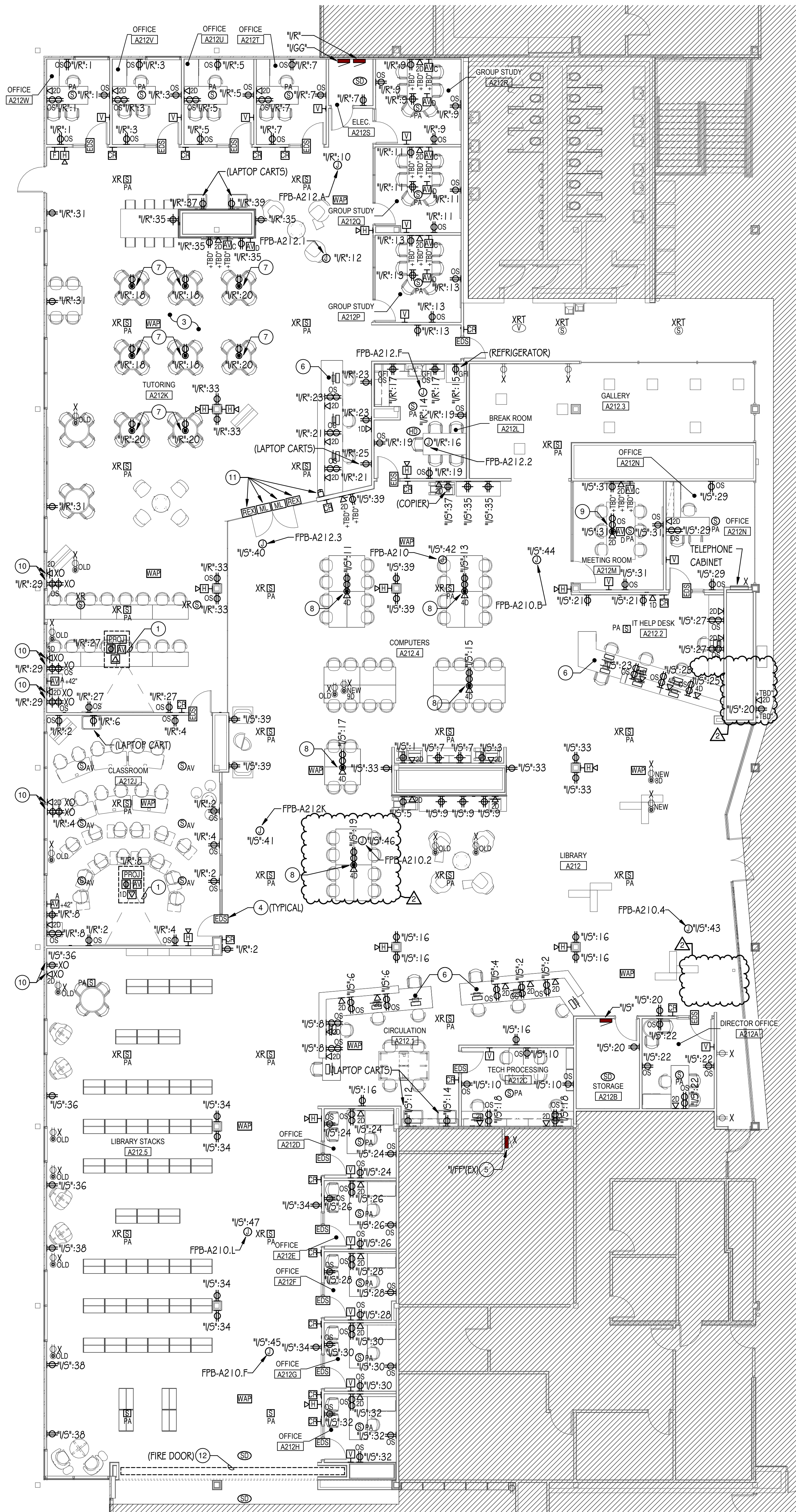
MEP-FP-T-ENGINEERS
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P: 847.882.201F: 847.882.2201

DRAWING NOTES

1. DEVICES SHALL BE LOCATED INSIDE CEILING MOUNTED ENCLOSURE / PROJECTOR MOUNT. REFER TO ELECTRICAL DETAILS SHEET FOR ADDITIONAL INFORMATION.
2. NOT USED.
3. CONFIRM FINAL LAYOUT OF POKE-THROUGH FLOOR BOXES WITH OWNER PRIOR TO INSTALLATION.
4. PROVIDE 120VAC CONNECTION TO LOW VOLTAGE TRANSFORMER FOR ELECTRIC STRIKE TO NEAREST RECEPTACLE BRANCH CIRCUIT. INSTALL AND WIRE PER DOOR MANUFACTURER'S INSTRUCTIONS FOR A COMPLETE AND OPERABLE SYSTEM.
5. CONTRACTOR SHALL VERIFY THAT NO BRANCH CIRCUITS IN EXISTING PANEL 1/FFP1 IS SERVING THE LIBRARY AT THE END OF THE PROJECT. ANY EXISTING BRANCH CIRCUITS SERVING LIBRARY THAT IS SCHEDULED TO REMAIN SHALL BE EXTENDED TO NEW PANEL 1/VS1. FIELD VERIFY EXACT REQUIREMENTS.
6. DEVICES SHOWN SHALL BE RECESSED IN MILLWORK KNEEWALL. PROVIDE MINIMUM 3/4" CONDUITS FOR POWER, MINIMUM 1 1/4" CONDUITS FOR LOW VOLTAGE. CONDUITS SHALL BE ROUTED INSIDE UTILITY CHASE. REFER TO ARCHITECTURAL SHEETS FOR ADDITIONAL INFORMATION. COORDINATE INSTALLATION WITH MILLWORK CONTRACTOR AND FIELD VERIFY FINAL DEVICE LOCATION PRIOR TO ROUGH-IN.
7. PROVIDE 4" ROUND RECESSED POKE-THRU DEVICE AS MANUFACTURED BY LEGRAND WIREMOLD EVOLUTION SERIES #4ATC000. INCLUDE SURFACE STYLE COVER #4CTC000, AND RECEPTACLE DEVICE PLATE #4REC. COVER FINISH COLOR TO BE SELECTED BY THE ARCHITECT. COORDINATE WITH FLOOR CONTRACTOR SUCH THAT COVER IS FLUSH WITH THE FLOOR FINISH MATERIAL.
8. PROVIDE 6" ROUND RECESSED POKE-THRU DEVICE AS MANUFACTURED BY LEGRAND WIREMOLD EVOLUTION SERIES #6ATC2000. INCLUDE SURFACE STYLE COVER #6CTC2000, RECEPTACLE DEVICE PLATE #68REC, AND COMMUNICATION DEVICE PLATE #6ACT8A. COVER FINISH COLOR TO BE SELECTED BY THE ARCHITECT. COORDINATE WITH FLOOR CONTRACTOR SUCH THAT COVER IS FLUSH WITH THE FLOOR FINISH MATERIAL. VERIFY FINAL LOCATION PRIOR TO INSTALLATION.
9. PROVIDE 8" ROUND RECESSED POKE-THRU DEVICE AS MANUFACTURED BY LEGRAND WIREMOLD EVOLUTION SERIES #8ATC2(FINISH). INCLUDE SURFACE STYLE COVER #8ACTC2(FINISH), RECEPTACLE DEVICE PLATE #88REC, COMMUNICATION DEVICE PLATE #8ACT6A, AND DECORA STYLE DEVICE PLATES #8DEC. COVER FINISH COLOR TO BE SELECTED BY THE ARCHITECT. COORDINATE WITH FLOOR CONTRACTOR SUCH THAT COVER IS FLUSH WITH THE FLOOR FINISH MATERIAL.
10. INSTALL NEW EXTENSION RING OVER EXISTING RECESSED JUNCTION BOX TO ACCOMMODATE NEW WALL FURRING. PROVIDE NEW WALLPLATES AND EXTEND CONDUCTORS/CABLES AS REQUIRED TO MAINTAIN DEVICE OPERATION. FIELD VERIFY EXACT REQUIREMENTS.
11. PROVIDE ELECTRICAL CONNECTION AND JUNCTION BOXES FOR MAGNETIC LOCK, EMERGENCY RELEASE BUTTON, REQUEST-TO-EXIT DEVICE AND ASSOCIATED WIRING PER MANUFACTURER'S INSTRUCTIONS FOR A COMPLETE AND OPERABLE SYSTEM. INCLUDE INTERCONNECTION TO FIRE ALARM SYSTEM AS REQUIRED SUCH THAT MAGNETIC LOCK IS DEACTIVATED UPON ACTIVATION OF THE FIRE ALARM SYSTEM. COORDINATE EXACT REQUIREMENTS WITH OTHER TRADES.
12. PROVIDE FIRE ALARM CONTROL MODULES AS REQUIRED TO COMMUNICATE WITH FIRE DOOR SUCH THAT DOOR CLOSURES UPON ACTIVATION OF ASSOCIATED SMOKE DETECTORS LOCATED ON EITHER SIDE OF OPENING. FIELD VERIFY EXACT REQUIREMENTS.

GENERAL NOTES:

1. UNLESS INDICATED OTHERWISE, CONTRACTOR SHALL CHANNEL EXISTING DRYWALL AS REQUIRED TO CONCEAL CONDUITS AND RECESS MOUNTED JUNCTION BOXES FOR ELECTRICAL DEVICES. COORDINATE WALL PATCHING REQUIREMENTS WITH GENERAL TRADES CONTRACTOR. WHERE RECESS MOUNTING IS NOT FEASIBLE, INFORM ARCHITECT AND/OR GENERAL CONTRACTOR PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL CONFIRM EXACT FLOOR BOX LOCATION WITH THE ARCHITECT AND LOCATE/MARK ANY EXISTING UTILITIES IN AREA BY EMPLOYING SERVICE TO SCAN THE FLOOR SLAB. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGES TO EXISTING UTILITIES DUE TO SAWCUTTING.
3. REFER TO MECHANICAL PLANS FOR EXACT LOCATIONS OF THERMOSTAT/CARBON DIOXIDE DETECTORS. PROVIDE SINGLE GANG BACKBOX AND EMPTY 3/4" CONDUIT WITH PULL STRING STUBBED INTO AN ACCESSIBLE CEILING SPACE FOR INSTALLATION OF THERMOSTAT/CARBON DIOXIDE DETECTORS.



1 ELECTRICAL PLAN - LIBRARY
1/8" = 1'-0"



McHenry County College
2024 RENOVATIONS - BID PACKAGE 2
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 10/17/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:
1	Addendum #1	10/29/24
2	Addendum #2	11/01/24

SHEET TITLE:
ELECTRICAL PLANS

SHEET NUMBER:

E1.20

11/1/2024 2:14:09 PM



ARCHITECT OF RECORD
DEMONICA KEMPER ARCHITECTS
125 N. HALSTED STREET, SUITE 301
CHICAGO, IL 60661
P: 312.496.0000

MEP-FP-T-ENGINEERS
2010 ENGINEERING GROUP, LLC
1216 TOWER ROAD
SCHAUMBURG, IL 60173
P: 847.882.201F: 847.882.2201

McHenry County College
2024 RENOVATIONS - BID PACKAGE 2
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

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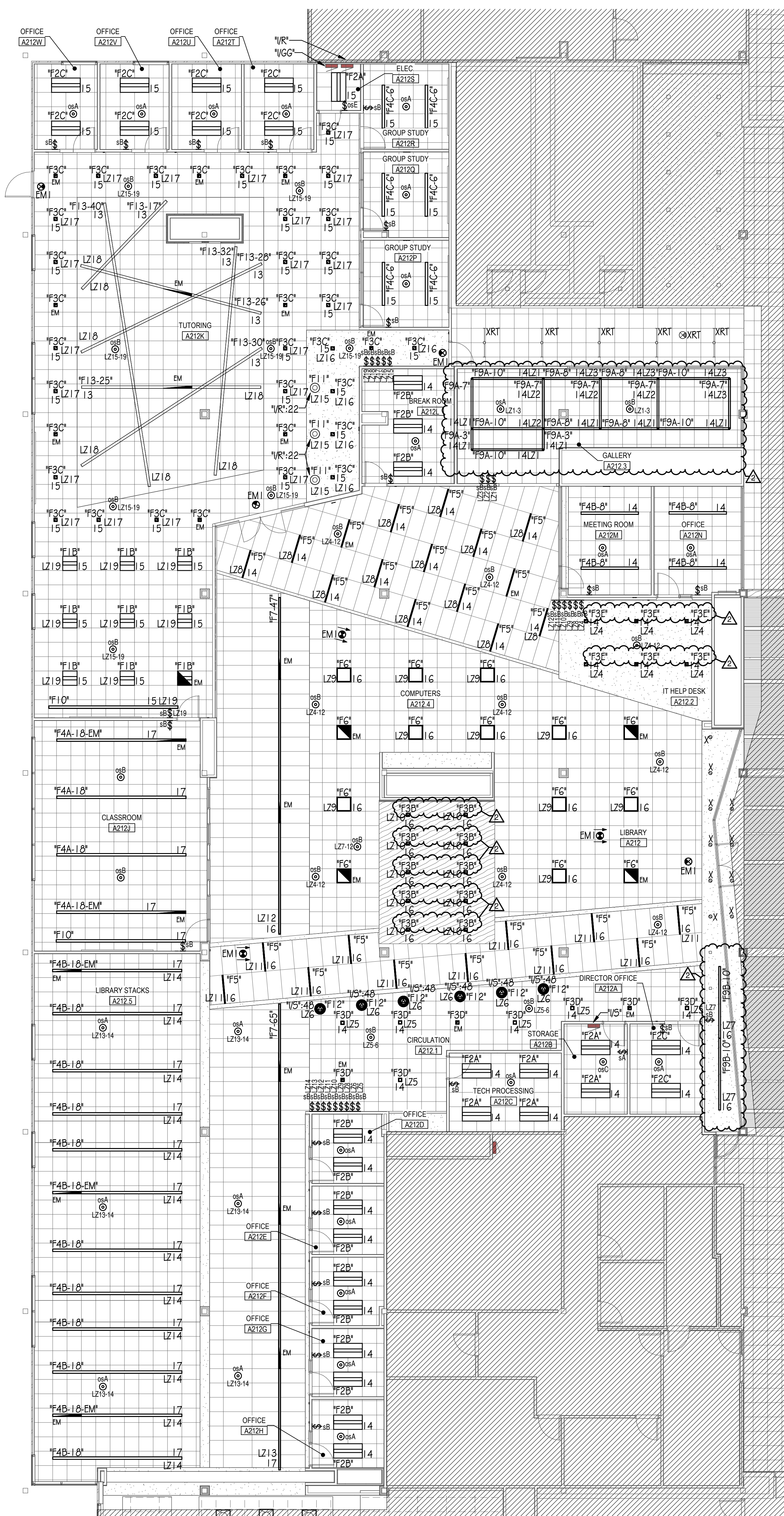
NO.	DESCRIPTION:	DATE:
1	Addendum #1	10/29/24
2	Addendum #2	11/01/24

SHEET TITLE:
LIGHTING PLANS

SHEET NUMBER:

E2.20

11/1/2024 2:14:13 PM



1 LIGHTING PLAN - LIBRARY
1/8" = 1'-0"



EXIT SIGN AND EMERGENCY LIGHTING NOTE:
EXIT SIGNS AND LUMINAIRES DESIGNATED AS "EM" SHALL BE WIRED TO EXISTING EMERGENCY LIGHTING BRANCH CIRCUIT CURRENTLY SERVING AREA. "EM" LUMINAIRES SHALL OPERATE AT ALL TIMES AND SHALL NOT BE CONNECTED TO ANY LIGHTING CONTROL SYSTEM UNLESS INDICATED OTHERWISE. FIELD VERIFY EXACT CIRCUIT NUMBERS AND REQUIREMENTS.

CIRCUITING NOTE:
ALL BRANCH CIRCUITS SHOWN SHALL BE WIRED TO EXISTING PANEL "1/GG" UNLESS NOTED OTHERWISE. CIRCUIT NUMBERS ARE TO INDICATE QUANTITY OF CIRCUITS REQUIRED. VERIFY EXACT CIRCUIT NUMBER TO BE UTILIZED IN FIELD.



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20/10 ENGINEERING GROUP, LLC
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 DENOTES DEMOLITION.

 DENOTES EXISTING TO REMAIN AND/OR BE REUSED.

 DENOTES NEW.

SCHEDULE ELECTRIC SERVICE OUTAGE WITH CONSTRUCTION MANAGER AND NOTIFY OWNER, AND ARCHITECT (10) DAYS IN ADVANCE. CONTRACTOR SHALL SEQUENCE WORK TO LIMIT ELECTRICAL DOWNTIME. ALL OUTAGES SHALL BE SCHEDULED WHEN THE BUILDING IS UNOCCUPIED. RESET AND RESTART ALL SYSTEMS INCLUDING, BUT NOT LIMITED TO, FIRE ALARM, SECURITY AND TELECOMMUNICATIONS AFTER RESTORING BUILDING POWER.

EXISTING CONDITIONS WERE OBTAINED FROM EXISTING AS-BUILT DRAWINGS AND CURSORY FIELD OBSERVATION. THIS CONTRACTOR SHALL IDENTIFY ANY DISCREPANCIES IN THE FIELD AND REPORT THEM TO THE ENGINEER.

1. WORK SHALL COMPLY WITH 2020 NATIONAL ELECTRICAL CODE.

2. RISER DIAGRAM IS DIAGRAMMATIC ONLY. COORDINATE EXACT ROUTING OF FEEDERS IN FIELD. PROVIDE PULLBOXES AS REQUIRED PER NEC REQUIREMENTS.
3. ALL ELECTRICAL EQUIPMENT SHOWN IS NEW UNLESS NOTED OTHERWISE.
4. PROVIDE 4" HOUSEKEEPING CONCRETE PAD FOR ALL FLOOR MOUNTED EQUIPMENT.
5. ALL PENETRATIONS THROUGH BUILDING SHALL BE SEALED WATER TIGHT PER ARCHITECTS REQUIREMENTS.

① DISCONNECT AND PULL BACK EXISTING 200AMP FEEDER. PROTECT DURING CONSTRUCTION FOR EXTENSION AND RECONNECTION TO EXISTING PANEL AT NEW LOCATION. FIELD VERIFY EXACT REQUIREMENTS.

- ③ DISCONNECT, 1 BLACK CONDUCTORS AND CONDUITS FOR ALL EXISTING BRANCH CIRCUITS TO REMAIN. PROTECT DURING CONSTRUCTION FOR EXTENSION AND RECONNECTION TO NEW REPLACEMENT PANEL AT SAME LOCATION.
- ③ INTERCEPT EXISTING 1/00AMP FEEDER AND EXTEND TO NEW REPLACEMENT PANEL AT NEW LOCATION. PROVIDE NEW JUNCTION BOX AND SPLICE CONDUCTORS OF MATCHING GAUGE FOR FINAL CONNECTIONS. CONDUCTOR SHALL BE MINIMUM SIZE OF #14WG. INFORM ARCHITECT/ENGINEER IF OTHERWISE. FIELD VERIFY EXACT REQUIREMENTS.
- ④ EXTEND EXISTING BRANCH CIRCUITS FROM AN ACCESSIBLE JUNCTION BOX TO NEW REPLACEMENT PANEL AT SAME LOCATION AS NEEDED TO MAINTAIN FUNCTIONALITY OF EXISTING CIRCUITS TO REMAIN. TERMINATE BRANCH CIRCUITS TO NEW CIRCUIT BREAKERS OF SAME SIZE AND QUANTITY AS PREVIOUSLY INSTALLED. FIELD VERIFY EXACT REQUIREMENTS.
- ⑤ EXISTING 800A-3P CIRCUIT BREAKER SERVING EXISTING PANEL SCHEDULED TO BE DEMOLISHED SHALL BE LEFT AT "OFF" POSITION. PROVIDE NEW MICARTIA PLACARD WITH WHITE LETTERS ON BLACK BACKGROUND TO INDICATE "SPARE". FIELD VERIFY EXACT REQUIREMENTS.
- ⑥ UTILIZE EXISTING SPARE 125A-3P CIRCUIT BREAKER TO SERVE NEW LOAD INDICATED. PROVIDE MICARTIA PLACARDS WITH WHITE LETTERS ON BLACK BACKGROUND TO INDICATE LOAD SERVED. FIELD VERIFY EXACT REQUIREMENTS.
- ⑦ UTILIZE EXISTING SPARE 100A-3P CIRCUIT BREAKER TO SERVE NEW LOAD INDICATED. PROVIDE MICARTIA PLACARDS WITH WHITE LETTERS ON BLACK BACKGROUND TO INDICATE LOAD SERVED. FIELD VERIFY EXACT REQUIREMENTS.



NO SCALE

NOTES:

1. REFER TO PLANS FOR LOCATIONS OF EQUIPMENT

McHenry County College
2024 RENOVATIONS - BID PACKAGE 2

KEY PLAN:

SHEET STATUS: 10/17/2024

ISSUED FOR BID - NOT
FOR CONSTRUCTION

[illegible]

SHEET TITLE:

**ELECTRICAL RISER
DIAGRAM**

SHEET NUMBER:

E3.00




A

B

C

D

E

EXIT SIGN & EMERGENCY LIGHTING SCHEDULE								
SYMBOL	TAG	DESCRIPTION	MOUNTING	LAMPS	VOLTAGE	MANUFACTURER & CATALOG NUMBER	ALTERNATIVE MANUFACTURER	NOTES
	EM1	SELF POWERED EMERGENCY EXIT SIGN, SINGLE FACE, DIE CAST ALUMINUM HOUSING WITH WHITE FINISH AND RED LETTERS, FIELD KNOCKOUT ARROWS AS REQUIRED	TOP OR END MOUNT	LED	UNV	LITHONIA LIGHTING #LQC-W-1-R-ELN	HU DUAL-LITE, SIGNIFY CHLORIDE	I
	EM2	SELF POWERED EMERGENCY EXIT SIGN, SINGLE FACE, DIE CAST ALUMINUM HOUSING WITH WHITE FINISH AND RED LETTERS, FIELD KNOCKOUT ARROWS AS REQUIRED	WALL	LED	UNV	LITHONIA LIGHTING #LQC-W-1-R-ELN	HU DUAL-LITE, SIGNIFY CHLORIDE	I
	EM3	DUAL HEAD EMERGENCY LIGHTING UNIT WITH WHITE CONTEMPORARY THERMOPLASTIC ENCLOSURE	SURFACE/ WALL	LED	UNV	LITHONIA LIGHTING #ELM4L-UVOLT-LTP-SDRT	HU DUAL-LITE, SIGNIFY CHLORIDE	I
NOTES: 1. CONNECT ALL BATTERY LIGHT FIXTURES TO LOCAL UNSWITCHED NORMAL LIGHTING CIRCUIT. GENERAL NOTES: a. CONTRACTOR TO PROVIDE ALL NECESSARY MOUNTING HARDWARE AND LABOR FOR ALL DEVICES. b. BATTERIES SHALL BE CAPABLE OF PROVIDING ILLUMINATION FOR A MINIMUM OF 90 MINUTES. c. NOT ALL SYMBOLS WILL BE ACCOMPANIED BY TAGS ON THE FLOOR PLANS FOR CLARITY PURPOSES.								

- GENERAL NOTES:
- ALL SENSOR LOCATIONS ARE APPROXIMATE, REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS PRIOR TO INSTALLATION.
 - ULTRASONIC CEILING MOUNT SENSORS SHOULD BE LOCATED A MINIMUM OF SIX FEET FROM HVAC SUPPLY/RETURN VENTS.
 - CONTRACTOR IS RESPONSIBLE FOR: PROPER SENSITIVITY & TIME DELAY SETTINGS (FOR NON-ADAPTIVE PRODUCTS) RECOMMENDED PLACEMENT, AND FIELD VERIFICATION OF CIRCUITS WITH IN RESPECT TO POWER PLACEMENT.
 - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF REQUIRED NUMBER OF POWER PACKS:
 - ONE POWER PACK IS REQUIRED FOR EACH CIRCUIT TO BE CONTROLLED.
 - ONE POWER PACK IS REQUIRED FOR EACH ZONE.
 - IF MULTIPLE CIRCUITS ARE TO BE CONTROLLED BY A SENSOR, AN AUXILIARY RELAY CAN BE USED IN CONJUNCTION WITH THE POWER PACK.
 - THE MAXIMUM NUMBER OF SENSORS THAT CAN BE PUT ON A POWER PACK IS TO BE REDUCED BY ONE FOR EACH SLAVE PACK USED.
 - MOUNT CONTROL UNITS WITHIN JUNCTION BOXES INSTALLED PER ALL CODE REQUIREMENTS.
 - CONTROL WIRING BETWEEN SENSORS AND CONTROLS UNITS SHALL BE CLASS II, 18-24 AWG, STRANDED UL CLASSIFIED. ALL CONTROL WIRING/CABLING SHALL BE PLENUM-RATED.
 - SENSORS MOUNTED OVER THE DOOR MUST BE PLACED ONE FOOT INSIDE THE THRESHOLD.
 - SENSOR PLACEMENT ON PLANS IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ENGAGING A MANUFACTURER TO PRODUCE A MOTION SENSOR LAYOUT THAT IS COMPLIANT WITH THE GOVERNING ENERGY CODE.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING MOTION CONTROL OF ALL LOCATIONS SHOWN ON PLAN.
 - CONTRACTOR IS RESPONSIBLE FOR INSTALLING EQUIPMENT IN COMPLIANCE WITH LOCAL CODE.
 - PRODUCTS FROM SPECIFIED AND ACCEPTABLE MANUFACTURERS SHALL PROVIDE SAME LEVEL OF CONTROL.

LIGHTING CONTROL DEVICE SCHEDULE					
SYMBOL	TYPE	DESCRIPTION	MOUNTING	MANUFACTURER & CATALOG NUMBER	ACCEPTABLE MANUFACTURERS
	osA	STANDARD RANGE 360°, LOW VOLTAGE, DUAL TECHNOLOGY	CEILING	ACUTY nLIGHT #nCM-PDT-9-RJB	HUBBELL LIGHTING CONTROLS, WATTSTOPPER
	osB	EXTENDED RANGE 360°, LOW VOLTAGE, DUAL TECHNOLOGY	CEILING	ACUTY nLIGHT #nCM-PDT-10-RJB	HUBBELL LIGHTING CONTROLS, WATTSTOPPER
	osC	STANDARD RANGE 360°, LOW VOLTAGE, PASSIVE INFRARED	CEILING	ACUTY nLIGHT #nCM-9-RJB	HUBBELL LIGHTING CONTROLS, WATTSTOPPER
	osD	EXTENDED RANGE 360°, LOW VOLTAGE, PASSIVE INFRARED	CEILING	ACUTY nLIGHT #nCM-10-RJB	HUBBELL LIGHTING CONTROLS, WATTSTOPPER
	osE	WALL SWITCH SENSOR, LOW VOLTAGE, PASSIVE INFRARED	WALL	ACUTY nLIGHT #nWSXA-LV	HUBBELL LIGHTING CONTROLS, WATTSTOPPER
	osF	WALL SWITCH SENSOR, LOW VOLTAGE, PASSIVE INFRARED	WALL	ACUTY nLIGHT #nWSXA-PDT-LV	HUBBELL LIGHTING CONTROLS, WATTSTOPPER
	sA	ON/OFF SINGLE ZONE PUSH-BUTTON CONTROL STATION	WALL	ACUTY nLIGHT #nFODMA	HUBBELL LIGHTING CONTROLS, WATTSTOPPER
	sB	ON/OFF/DIM, SINGLE ZONE PUSH-BUTTON CONTROL STATION	WALL	ACUTY nLIGHT #nFODMA-DX	HUBBELL LIGHTING CONTROLS, WATTSTOPPER
	sC	ON/OFF/DIM KEY SWITCH CONTROL STATION	WALL	ACUTY nLIGHT #nFODA-KEY	HUBBELL LIGHTING CONTROLS, WATTSTOPPER

LIGHTING CONTROL SEQUENCE OF OPERATION

	VACANCY MODE	OCCUPANCY SENSOR		PHOTOSENSOR		SWITCH TYPE		TIME CLOCK		NOTES
		SENSOR TIMED OUT PERIOD (MINUTES)	OCCUPIED LEVEL %	UNOCCUPIED LEVEL %	SWITCHING (ON/OFF)	DIMMING	TARGET LIGHT LEVEL (FC)	MANUAL (ON/OFF)	MANUAL (ON/OFF/DIM)	
TYPICAL CLASSROOM	X	20 MIN							X	
TYPICAL OFFICE	X	20 MIN							X	
TYPICAL STORAGE / MECHANICAL / ELECTRICAL	X	20 MIN						X		
TYPICAL RESTROOMS	X	20 MIN	100	0				X		
CORRIDOR	X	20 MIN	100	0				X		
CORRIDOR - NIGHT LIGHTS	X	20 MIN	100	50				X		

LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	MOUNTING	LAMPS	VOLTAGE	INPUT WATTS	MANUFACTURER & CATALOG NUMBER	ALTERNATE MANUFACTURER	NOTES
"F1A"	2X2' LED RECESSED VOLUMETRIC TROFFER, CURVED LINEAR PRISMS DIFFUSER, 3300 NOMINAL LUMENS	RECESSED	LED	277 V	26.5	LITHONIA LIGHTING #2BLT2-33L-ADP-G210-LP840	HU COLUMBIA LIGHTING, SIGNIFY DAY-BRITE	I
"F1B"	2X2' LED RECESSED VOLUMETRIC TROFFER, CURVED LINEAR PRISMS DIFFUSER, 4000 NOMINAL LUMENS	RECESSED	LED	277 V	31	LITHONIA LIGHTING #2BLT2-40L-ADP-G210-LP840	HU COLUMBIA LIGHTING, SIGNIFY DAY-BRITE	I
"F2A"	2X4' LED RECESSED VOLUMETRIC TROFFER, CURVED LINEAR PRISMS DIFFUSER, 4,000 NOMINAL LUMENS	RECESSED	LED	277 V	30.5	LITHONIA LIGHTING #2BLT4-40L-ADP-G210-LP840	HU COLUMBIA LIGHTING, SIGNIFY DAY-BRITE	I
"F2B"	2X4' LED RECESSED VOLUMETRIC TROFFER, CURVED LINEAR PRISMS DIFFUSER, 4,800 NOMINAL LUMENS	RECESSED	LED	277 V	39.3	LITHONIA LIGHTING #2BLT4-48L-ADP-G210-LP840	HU COLUMBIA LIGHTING, SIGNIFY DAY-BRITE	I
"F2C"	2X4' LED RECESSED VOLUMETRIC TROFFER, CURVED LINEAR PRISMS DIFFUSER, 6,000 NOMINAL LUMENS	RECESSED	LED	277 V	46.6	LITHONIA LIGHTING #2BLT4-60L-ADP-G210-LP840	HU COLUMBIA LIGHTING, SIGNIFY DAY-BRITE	I
"F3A"	4' SQUARE LED DOWNLIGHT 1150 NOMINAL LUMENS	RECESSED	LED	277 V	9	USAI LIGHTING #B45DF-09C3-40KS-50-S-WH-NC-UNV-DGE	HU PRESCOLITE, SIGNIFY LIGHTOLIER	I
"F3B"	4' SQUARE LED DOWNLIGHT 1150 NOMINAL LUMENS	RECESSED	LED	277 V	9	USAI LIGHTING #B45DM-09C3-40KS-50-S-NC-UNV-DGE	HU PRESCOLITE, SIGNIFY LIGHTOLIER	I
"F3C"	4' SQUARE LED DOWNLIGHT 2400 NOMINAL LUMENS	RECESSED	LED	277 V	24	USAI LIGHTING #B45DF-24C3-40KS-50-S-WH-NC-UNV-DGE	HU PRESCOLITE, SIGNIFY LIGHTOLIER	I
"F3D"	4' SQUARE LED DOWNLIGHT 3025 NOMINAL LUMENS	RECESSED	LED	277 V	33	USAI LIGHTING #B45DF-33C3-40KS-50-S-WH-NC-UNV-DGE	HU PRESCOLITE, SIGNIFY LIGHTOLIER	I
"F3E"	4' SQUARE LED DOWNLIGHT 2400 NOMINAL LUMENS	RECESSED	LED	277 V	24	USAI LIGHTING #B45DL-24C3-40KS-50-S-NC-UNV-DGE	HU PRESCOLITE, SIGNIFY LIGHTOLIER	I
"F4A-1B"	18'-0" LONG LINEAR LED 600 LUMENS/FT	RECESSED	LED	277 V	88.2	AXIS LIGHTING #BBRLD-600-80-40-0.5G-5(18)-W-UNV-DP-1-TB15	FOCAL POINT, LUMENWERX	1,3
"F4A-1B-EM"	18'-0" LONG LINEAR LED WITH EMERGENCY LIGHT SECTION 600 LUMENS/FT	RECESSED	LED	277 V	88.2	AXIS LIGHTING #BBRLD-600-80-40-0.5G-5(18)-W-UNV-DP-1+E(1)-TB15	FOCAL POINT, LUMENWERX	1,3,4
"F4B-4"	4'-0" LONG LINEAR LED 800 LUMENS/FT	RECESSED	LED	277 V	26.2	AXIS LIGHTING #BBRLD-800-80-40-0.5G-4-W-UNV-DP-1-TB15	FOCAL POINT, LUMENWERX	1,3
"F4B-8"	8'-0" LONG LINEAR LED 800 LUMENS/FT	RECESSED	LED	277 V	52.2	AXIS LIGHTING #BBRLD-800-80-40-0.5G-8-W-UNV-DP-1-TB15	FOCAL POINT, LUMENWERX	1,3
"F4B-16"	16'-0" LONG LINEAR LED 800 LUMENS/FT	RECESSED	LED	277 V	104.4	AXIS LIGHTING #BBRLD-800-80-40-0.5G-5(16)-W-UNV-DP-1-TB15	FOCAL POINT, LUMENWERX	1,3
"F4B-18"	18'-0" LONG LINEAR LED 800 LUMENS/FT	RECESSED	LED	277 V	117.5	AXIS LIGHTING #BBRLD-800-80-40-0.5G-5(18)-W-UNV-DP-1-TB15	FOCAL POINT, LUMENWERX	1,3
"F4B-18-EM"	18'-0" LONG LINEAR LED WITH EMERGENCY LIGHT SECTION 800 LUMENS/FT	RECESSED	LED	277 V	117.5	AXIS LIGHTING #BBRLD-800-80-40-0.5G-5(18)-W-UNV-DP-1+E(1)-TB15	FOCAL POINT, LUMENWERX	1,3,4
"F4B-20"	20'-0" LONG LINEAR LED 800 LUMENS/FT	RECESSED	LED	277 V	130.6	AXIS LIGHTING #BBRLD-800-80-40-0.5G-5(20)-W-UNV-DP-1-TB15	FOCAL POINT, LUMENWERX	1,3
"F4C-6"	6'-0" LONG LINEAR LED 1000 LUMENS/FT	RECESSED	LED	277 V	49	AXIS LIGHTING #BBRLD-1000-80-40-0.5G-6-W-UNV-DP-1-TB15	FOCAL POINT, LUMENWERX	1,3
"F5"	THIN 4'-0" LONG LINEAR LED 750 LUMENS/FT	RECESSED	LED	277 V	33.2	FINNACLE LIGHTING #EV1D-BW-840HO-4-61-U-FSD-1-Q-W	HU LITECONTROL, SIGNIFY LEDALITE	I
"F6"	2X2' FLAT PANEL LED	RECESSED	LED	277 V	41.8	LITHONIA LIGHTING #CPX-2X2-5000LM-80CRI-40K-5WL-MINI-O-ZT-MVOLT	HU COLUMBIA LIGHTING, SIGNIFY DAY-BRITE	I
"F7-47"	47'-0" LONG LINEAR LED WITH PERIMETER ROOM FILL DISTRIBUTION AND EMERGENCY LIGHT SECTION	RECESSED	LED	277 V	263.2	PRUDENTIAL LIGHTING #BPRO3-REC-FLSH-LED4-MO-R47-TMW-PFL-LP-SC-UNV-X1T-DMO1-E-MC	FOCAL POINT, LUMENWERX	1,3,4
"F7-65"	65'-0" LONG LINEAR LED WITH PERIMETER ROOM FILL DISTRIBUTION AND EMERGENCY LIGHT SECTION	RECESSED	LED	277 V	364	PRUDENTIAL LIGHTING #BPRO3-REC-FLSH-LED4-MO-R65-TMW-PFL-LP-SC-UNV-X1T-DMO1-E-MC	FOCAL POINT, LUMENWERX	1,3,4
"F8"	8' LED STRIP LIGHT, 8000 LUMENS	SURFACE	LED	277 V	51.1	LITHONIA LIGHTING #CPX-L8G-8000LM-5000K-50CRI-40K-5WL-MINI-O-ZT-MVOLT	HU COLUMBIA LIGHTING, SIGNIFY DAY-BRITE	-
"F9A-3"	3'-0" LONG LINEAR LED 800 LUMENS/FT	SURFACE	LED	277 V	20.4	AXIS LIGHTING #FRSLED-800-80-35-5-5(3)-(FINISH)-UNV-DP-1-SB15	-	-
"F9A-7"	7'-0" LONG LINEAR LED 800 LUMENS/FT	SURFACE	LED	277 V	47.5	AXIS LIGHTING #FRSLED-800-80-35-5-5(7)-(FINISH)-UNV-DP-1-SB15	-	-
"F9A-8"	8'-0" LONG LINEAR LED 800 LUMENS/FT	SURFACE	LED	277 V	54.3	AXIS LIGHTING #FRSLED-800-80-35-5-8-(FINISH)-UNV-DP-1-SB15	-	-
"F9A-10"	10'-0" LONG LINEAR LED 800 LUMENS/FT	SURFACE	LED	277 V	67.8	AXIS LIGHTING #FRSLED-800-80-35-5-5(10)-(FINISH)-UNV-DP-1-SB15	-	-
"F9B-10"	20'-0" LONG LINEAR LED 1000 LUMENS/FT	SURFACE	LED	277 V	84.8	AXIS LIGHTING #FRSLED-1000-80-35-5-5(10)-(FINISH)-UNV-DP-1-5	-	-
"F10"	18'-0" LONG LINEAR LED WITH WALL WASH DISTRIBUTION 600 LUMENS/FT	RECESSED	LED	277 V	88.2	AXIS LIGHTING #BBRLD-400-80-40-WW-5(18)-W-UNV-DP-1-TB15	FOCAL POINT, LUMENWERX	1,3
"F11"	DECORATIVE LED PENDANT	PENDANT	LED	120 V	20	EUREKA LIGHTING #4269-15-LED-40-80-120V-DV-C-60-(FINISH)-(FINISH)-WH	-	2
"F12"	DECORATIVE LED PENDANT	PENDANT	LED	120 V	24	SECTO DESIGN KONTRO 6000	-	2
"F13-17"	17'-0" LONG SUSPENDED LINEAR LED 400 LUMENS/FT	SUSPENDED	LED	277 V	54.4	AXIS LIGHTING #TB4DLED-400-80-40-50-S(17)-W-UNV-DP-1-CT15(48)	FOCAL POINT, LUMENWERX	1,2,3
"F13-25"	25'-0" LONG SUSPENDED LINEAR LED WITH EMERGENCY LIGHT SECTION 400 LUMENS/FT	SUSPENDED	LED	277 V	83.1	AXIS LIGHTING #TB4DLED-400-80-40-50-S(25)-W-UNV-DP-1+E(1)-CT15(48)	FOCAL POINT, LUMENWERX	1,2,3,4
"F13-26"	26'-0" LONG SUSPENDED LINEAR LED WITH EMERGENCY LIGHT SECTION 400 LUMENS/FT	SUSPENDED	LED	277 V	86.4	AXIS LIGHTING #TB4DLED-400-80-40-50-S(26)-W-UNV-DP-1+E(1)-CT15(48)	FOCAL POINT, LUMENWERX	1,2,3,4
"F13-28"	28'-0" LONG SUSPENDED LINEAR LED 400 LUMENS/FT	SUSPENDED	LED	277 V	93	AXIS LIGHTING #TB4DLED-400-80-40-50-S(28)-W-UNV-DP-1-CT15(48)	FOCAL POINT, LUMENWERX	1,2,3
"F13-30"	30'-0" LONG SUSPENDED LINEAR LED 400 LUMENS/FT	SUSPENDED	LED	277 V	99.6	AXIS LIGHTING #TB4DLED-400-80-40-50-S(30)-W-UNV-DP-1-CT15(48)	FOCAL POINT, LUMENWERX	1,2,3
"F13-32"	32'-0" LONG SUSPENDED LINEAR LED 400 LUMENS/FT	SUSPENDED	LED	277 V	106.3	AXIS LIGHTING #TB4DLED-400-80-40-50-S(32)-W-UNV-DP-1-CT15(48)	FOCAL POINT, LUMENWERX	1,2,3
"F13-40"	40'-0" LONG SUSPENDED LINEAR LED 400 LUMENS/FT	SUSPENDED	LED	277 V	132.9	AXIS LIGHTING #TB4DLED-400-80-40-50-S(40)-W-UNV-DP-1-CT15(48)	FOCAL POINT, LUMENWERX	1,2,3

NOTES:

- CONTRACTOR TO PROVIDE ALL OPTIONS AND ACCESSORIES AS REQUIRED TO INSTALL LUMINAIRE IN VARYING CEILING TYPES AS SHOWN ON THE PLANS.
- REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT SUSPENSION LENGTHS.
- REFER TO ARCHITECTURAL RCP PLANS FOR EXACT LENGTH OF LUMINAIRE REQUIRED.
- LUMINAIRE INCLUDES 4'-0" SECTIONS() WIRED TO EMERGENCY LIGHTING CIRCUIT. PROVIDE OPTIONS FOR SEPARATE ELECTRICAL FEEDS AS REQUIRED. REFER TO PLANS FOR QUANTITIES AND LOCATIONS.

GENERAL NOTES:

- CONTRACTOR TO PROVIDE NECESSARY MOUNTING HARDWARE AND LABOR FOR LUMINAIRES.
- LAY IN CEILING GRID LUMINAIRES SHALL BE FOR USE WITH STANDARD 15/16" GRID SYSTEM.
- CEILING TYPES, FINISHES AND HEIGHTS MAY VARY. SEE ARCHITECTURAL RCP PLANS FOR MORE INFO. CONTRACTOR TO COORDINATE & PROVIDE PROPER MOUNTING HARDWARE, FLANGE, AND ACCESSORIES AS REQUIRED.
- ALL FINISH COLORS AND COLOR TEMPERATURES TO BE CONFIRMED BY THE ARCHITECT.



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 2

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 10/17/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:
1	Addendum #1	10/29/24
2	Addendum #2	11/01/24

SHEET TITLE:

ELECTRICAL SCHEDULES

SHEET NUMBER:

E4.00

11/1/2024 2:18:40 PM



8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

11/1/2024 2:14:13 PM

PANEL SCHEDULE NOTE:
SCHEDULES FOR EXISTING PANELS ARE SHOWN FOR REFERENCE TO INDICATE SIZE AND QUANTITY OF NEW CIRCUIT BREAKERS REQUIRED. CONTRACTOR TO FIELD VERIFY EXISTING PANEL CHARACTERISTICS AND BRANCH CIRCUIT BREAKER LAYOUT.