

MCHENRY COUNTY COLLEGE

FOODSERVICE RENO

8900 U.S. Highway 14
Crystal Lake, IL 60012

DKA PROJECT NO: 21-042

ISSUED FOR BID

10/25/2021



ARCHITECT:

DEMONICA KEMPER ARCHITECTS
125 N. HALSTED ST., SUITE 301
CHICAGO, IL 60661
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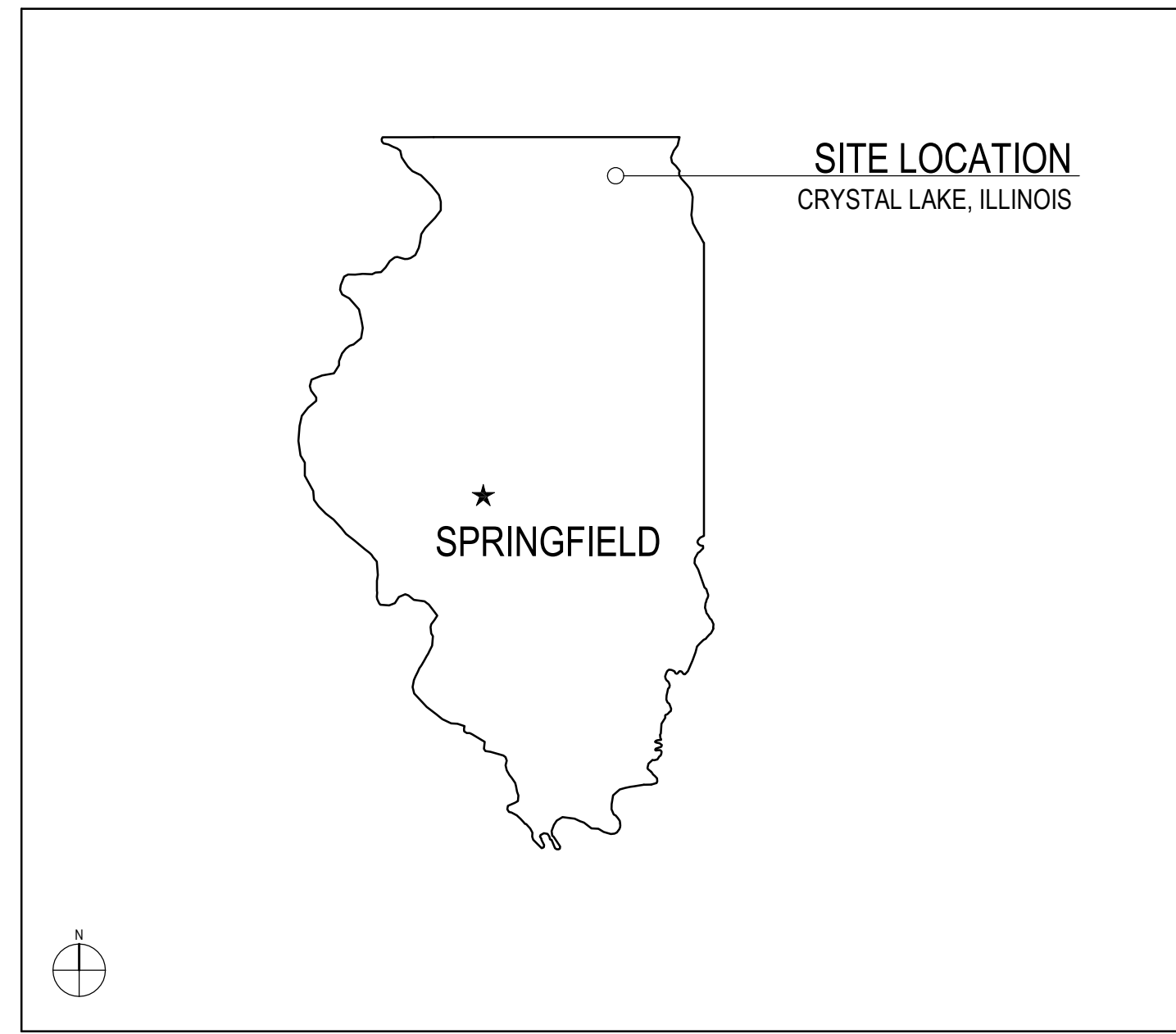
ENGINEER:

20/10 ENGINEERING GROUP
1216 TOWER RD, SCHAUMBURG, IL
60173
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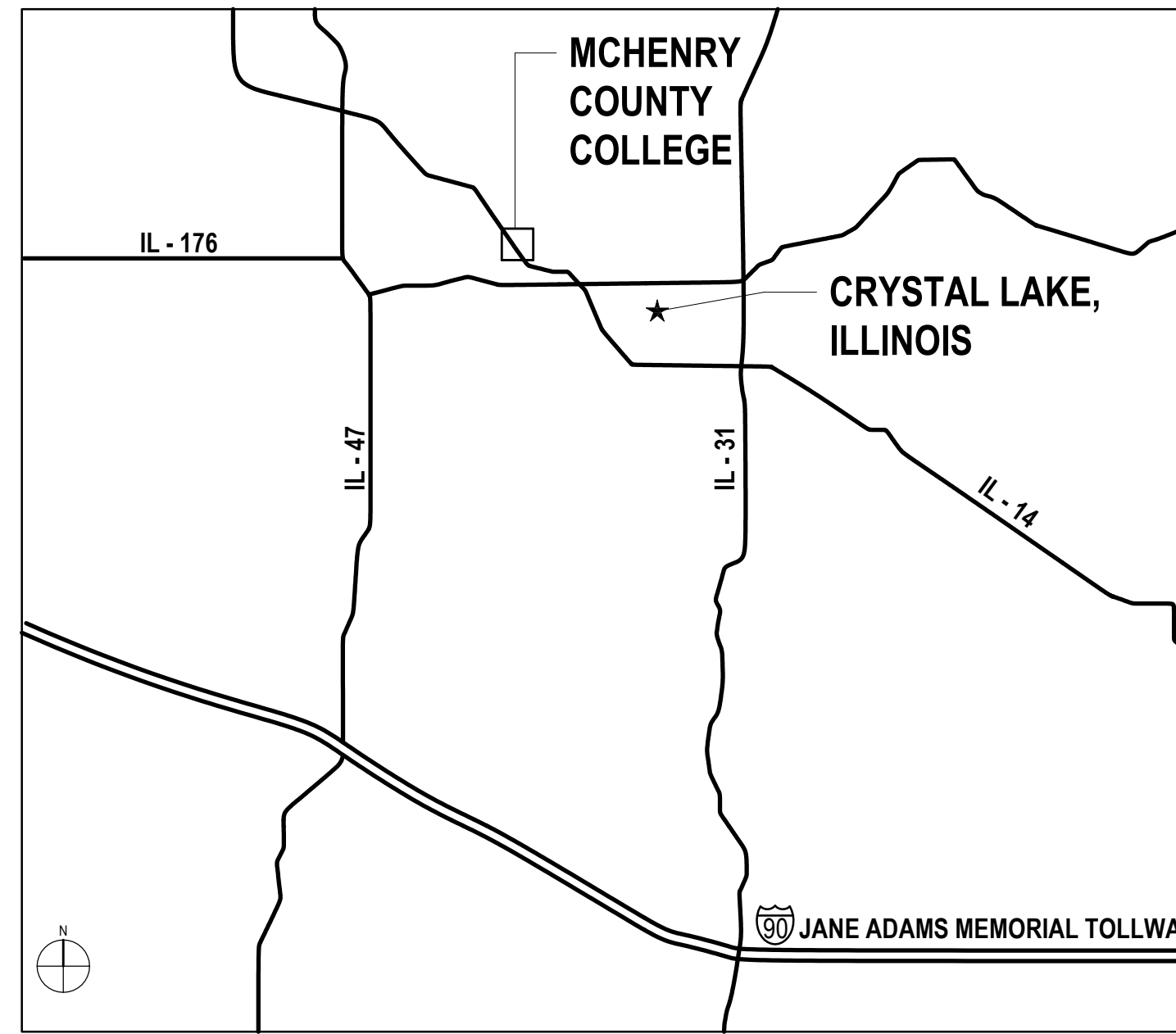
ABBREVIATIONS

| | | |
|--|---|------------------------------|
| AP ACCESS PANEL | HDW HARDWARE | TEL TELEPHONE |
| ACOUST ACUSTICAL | HDWD HARDWOOD | TV TELEVISION |
| ACT ACUSTICAL CEILING TILE | HDR HEADER | TRZ TERRAZZO |
| ADJ ADJACENT | HTG HEATING | TB TILE BASE |
| A.F.F. ABOVE FINISH FLOOR | HVAC HEATING, VENTILATING, AIR CONDITIONING | THK THICK |
| AGGR AGGREGATE | HT HEIGHT | T.O.C. TOP OF CURB |
| A/C AIR CONDITIONING | HC HOLLOW CORE | TOP TOP OF PAVEMENT |
| ALT ALTERNATE | HM HOLLOW METAL | TOW TOP OF WALL |
| ALUM ALUMINUM | HMF HOLLOW METAL FRAME | T&G TONGUE AND GROOVE |
| ANG ANGLE | HORZ HORIZONTAL | TYP TYPICAL |
| APPD APPROVED | HB HOSE BIB | |
| APPROX APPROXIMATE | HR HOUR | UNF UNFINISHED |
| ARCH ARCHITECTURAL OR ARCHITECT | | UN.O. UNLESS NOTED OTHERWISE |
| AD AREA DRAIN | INC INCLUDE | UR URINAL |
| ASB ASBESTOS | I.D. INSIDE DIAMETER | |
| ASPH ASPHALT | INSUL INSULATION | VB VINYL BASE |
| A/V AUDIO VISUAL | INTR INTERIOR | VERT VERTICAL |
| | INV INVERT | VEST VESTIBULE |
| | | VCT VINYL COMPOSITION TILE |
| | | VW VINYL WALLCOVERING |
| BSMT BASEMENT | JAN JANITOR | WSCT WAINSCOT |
| BRG BEARING | JT JOINT | WC WATER CLOSET |
| BM BEAM | KIT KITCHEN | WLK WALK-OFF MAT |
| BTW BETWEEN | LAM LAMINATE | WR WATER RESISTANT |
| BITUM BITUMINOUS | LAV LAVATORY | WT WALL TILE OR WEIGHT |
| BLK BLOCK | LH LEFT HAND | LT LIGHT |
| BLKG BLOCKING | LGTH LENGTH | W WEST |
| BD BOARD | LT LIGHT | W WIDE FLANGE "W16x21" |
| BRK BRICK | LWC LIGHT WEIGHT CONCRETE | W WIDTH |
| BLDG BUILDING | LTL LINTEL | W/ WITH |
| | LN LINOLEUM | W/O WITHOUT |
| CAB CABINET | LL LIVE LOAD | WD WOOD |
| CIP CAST IN PLACE | | WDP WOOD PANEL |
| CIPC CAST IN PLACE CONCRETE | | X EXISTING |
| CI CURB INLET | MH MANHOLE | |
| CB CATCH BASIN | MFR MANUFACTURER | |
| CLG CEILING | MAS MASONRY | |
| CTR CENTER | MO MASONRY OPENING | |
| CJ CONTROL JOINT | MTL METAL | |
| CL CENTER LINE | MAX MAXIMUM | |
| CPT CARPET | MECH MECHANICAL | |
| CT CERAMIC TILE | MTC MECHANICAL TRADES CONTRACTOR | |
| CLR CLEAR | MEMB MEMBRANE | |
| CLO CLOSET | MT MARBLE TILE | |
| COL COLUMN | MIN MINIMUM | |
| CONC CONCRETE | MISC MISCELLANEOUS | |
| CONN CONNECTION | MTD MOUNDED | |
| CONST CONSTRUCTION | MTG MOUNTING | |
| CM CONSTRUCTION MANAGER | MUL MULLION | |
| CONT CONTINUOUS OR CONTINUE | NOM NOMINAL | |
| CONTR CONTRACTOR | N NORTH | |
| CK CORK | N.I.C. NOT IN CONTRACT | |
| CORR CORRIDOR | N.T.S. NOT TO SCALE | |
| CNSK COUNTERSUNK | NO OR # NUMBER | |
| CRS COURSE | | |
| DEMO DEMOLISH OR DEMOLITION | OBS OBSCURE | |
| DEPT DEPARTMENT | OFF OFFICE | |
| DL DEAD LOAD | O.C. ON CENTER | |
| DIA DIAMETER | OPNG OPENING | |
| DIM DIMENSION | OPP OPPOSITE | |
| DISP DISPENSER | OSB ORIENTED STRAND BOARD | |
| DIV DIVISION | O.D. OUTSIDE DIAMETER | |
| DR DOOR | OA OVERALL | |
| DO DOOR OPENING | OFD OVERFLOW DRAIN | |
| DBL DOUBLE | | |
| DS DOWNSPOUT | PT PAINT | |
| DRW DRAWER | PTD PAINTED | |
| DWG DRAWING | PR PAIR | |
| DF DRINKING FOUNTAIN | PNL PANEL | |
| DS DRY STANDPIPE | PBD PARTICLE BOARD | |
| DWT DETECTABLE WARNING TILE | PTN PARTITION | |
| | PLAS PLASTIC | |
| E EAST | P-LAM PLASTIC LAMINATE | |
| EA EACH | PL PLATE | |
| EIFS EXTERIOR INSULATION FINISH SYSTEM | PTC PLUMBING TRADES CONTRACTOR | |
| ELEC ELECTRICAL | PLYWD PLYWOOD | |
| ETC ELECTRICAL TRADES CONTRACTOR | PSI POUNDS PER SQUARE INCH | |
| EWG ELECTRICAL WATER COOLER | PC PRECAST | |
| EP ELECTRICAL PANEL BOARD | PCC PRECAST CONCRETE | |
| EL ELEVATION | | |
| ELEV ELEVATION | QT QUARRY TILE | |
| ELVTR ELEVATOR | R RADIUS | |
| ENCL ENCLOSURE | RWL RAIN WATER LEADER | |
| EMER EMERGENCY | RFRG REFRIGERATOR | |
| EP PT EPOXY PAINT | RGTR REGISTER | |
| EPF EPOXY FLOORING | REINF REINFORCED | |
| EQ EQUAL | RQD REQUIRED | |
| EQPMT EQUIPMENT | RES RESILIENT | |
| EXSTG EXISTING | RA RETURN AIR | |
| EXP EXPANSION | RAG RETURN AIR GRILLE | |
| EXP JT EXPANSION JOINT | RH RIGHT HAND | |
| EXPD EXPOSED | ROW RIGHT OF WAY | |
| EXTR EXTERIOR | R RISER | |
| | RD ROOF DRAIN | |
| | RM ROOM | |
| | R.O. ROUGH OPENING | |
| | RB RUBBER BASE | |
| FOC FACE OF CONCRETE | | |
| FOF FACE OF FINISH | SECT SECTION | |
| FOS FACE OF STUD | SK SINK | |
| FR FIBERGLASS REINFORCED PANEL | SCHED SCHEDULE | |
| FIN FINISH OR FINISHED | SHTG SHEATHING | |
| FA FIRE ALARM | SHT SHEET | |
| FE FIRE EXTINGUISHER | SV SHEET VINYL | |
| FEC FIRE EXTINGUISHER CABINET | SHWR SHOWER | |
| FHC FIRE HOSE CABINET | SIM SIMILAR | |
| FRRF FIREPROOF | SC SEALED CONCRETE | |
| FB FLAT BAR STOCK | SPM SINGLE PLY MEMBRANE | |
| FL FLOOR | S SOUTH | |
| FD FLOOR DRAIN | SFRM SPRAY APPLIED FIRE RESISTIVE MATERIAL | |
| FLUOR FLUORESCENT | SPEC SPECIFICATION | |
| FT FOOT OR FEET | SQ SQUARE | |
| FTG FOOTING | S.S. STAINLESS STEEL | |
| FDN FOUNDATION | STD STANDARD | |
| FRM FRAME | STA STATION | |
| FRMG FRAMING | STL STEEL | |
| FS FULL SIZE | STOR STORAGE | |
| FURR FURRING | STRUCT STRUCTURE OR STRUCTURAL | |
| FUTR FUTURE | SUSP SUSPENDED | |
| FW FABRIC WALLCOVERING | SAT SUSPENDED ACOUSTICAL TILE | |
| | SYM SYMMETRICAL | |
| GA GAUGE | | |
| GALV GALVANIZED | | |
| GEN GENERAL | | |
| GC GENERAL CONTRACTOR | | |
| GTC GENERAL TRADES CONTRACTOR | | |
| GL GLASS OR GLAZING | | |
| GD GRADE | | |
| GND GROUND | | |
| GYP BD GYPSUM BOARD | | |

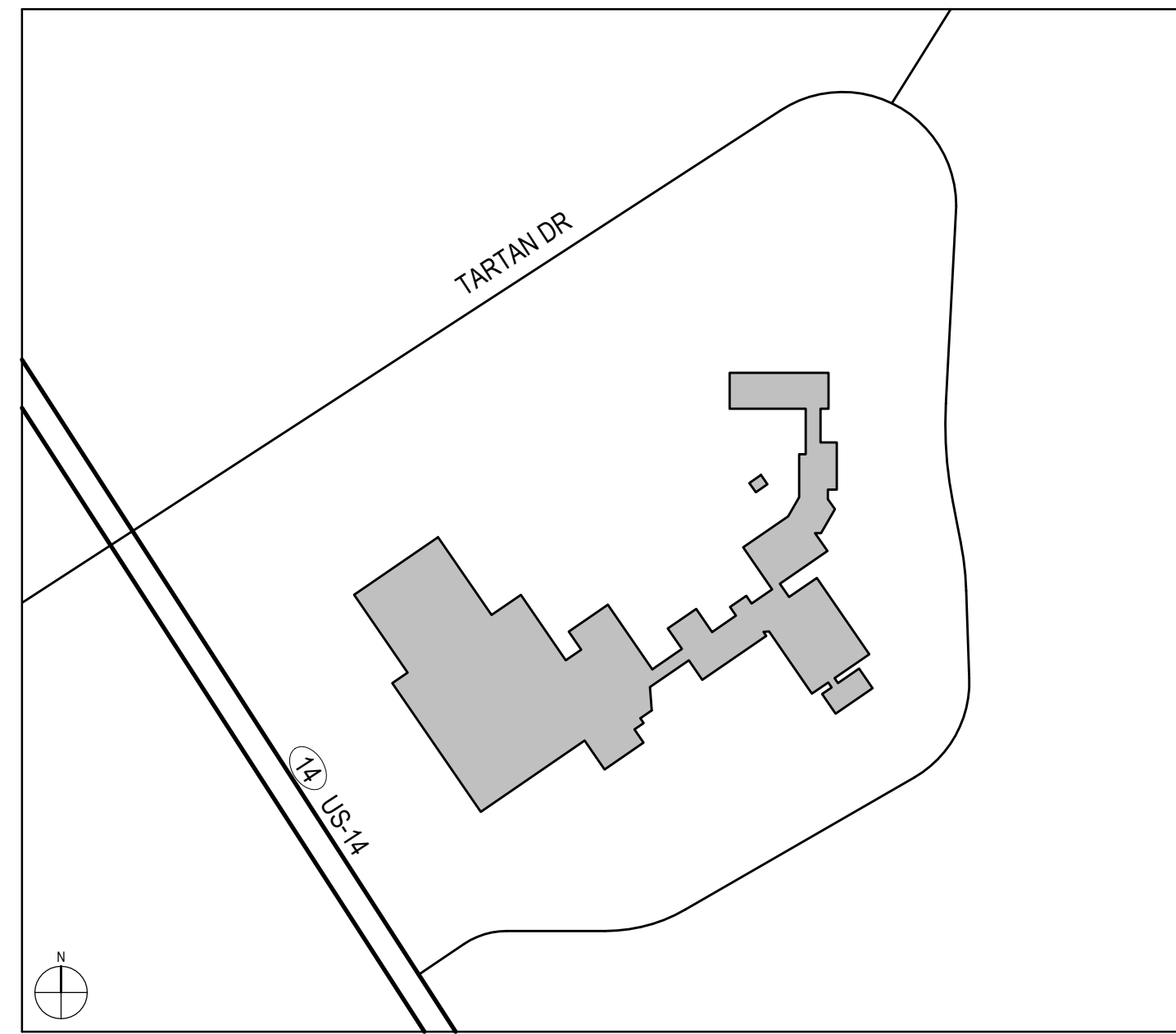
STATE LOCATION MAP



AREA MAP



CAMPUS MAP



SHEET INDEX

| | |
|-------------------------|---|
| GENERAL | |
| G1.00 | SHEET INDEX, ABBREVIATIONS, SYMBOLS & NOTES |
| ARCHITECTURAL | |
| AD1.10 | DEMOLITION PLAN AND REFLECTED CEILING PLAN |
| A1.10 | FLOOR PLAN AND REFLECTED CEILING PLAN |
| A9.01 | INTERIOR ELEVATIONS AND MILLWORK DETAILS |
| MECHANICAL / ELECTRICAL | |
| ME2.10 | MECHANICAL/ELECTRICAL DEMOLITION AND NEW WORK REFLECTED CEILING PLANS |
| ME1.10 | MECHANICAL/ELECTRICAL DEMOLITION AND NEW WORK PLANS |



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SHEET TITLE:

**SHEET INDEX,
 ABBREVIATIONS,
 SYMBOLS & NOTES**

SHEET NUMBER:

G1.00



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SHEET TITLE:
**DEMOLITION PLAN
 AND REFLECTED
 CEILING PLAN**

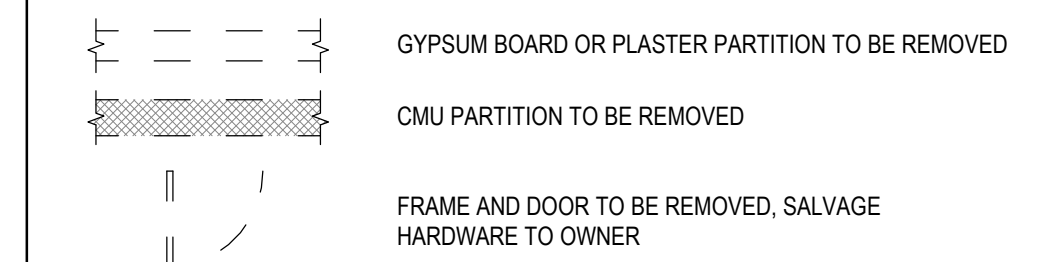
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AD1.10

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DEMO FLOOR PLAN SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS



DEMO FLOOR PLAN GENERAL NOTES:

- PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
- REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
- WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
- CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOTE ENJOINDER THE USE OF EXISTING ADJACENT SPACES.
- EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
- REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
- REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOORS SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
- REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
- NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
- ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
- REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES.
- CONTRACTOR SHALL SALVAGE ALL EXISTING CEILING TILES FOR POSSIBLE REUSE OR AS EXTRA STOCK FOR OWNER. SALVAGE ONLY UN-CUT TILES WITH NO VISIBLE DAMAGE. ONCE REMOVED, OWNER AND ARCHITECT WILL FIELD REVIEW AND APPROVE SALVAGED TILES PRIOR TO REUSE OR STORAGE.

DEMO FLOOR PLAN REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

F1. EXISTING FLOOR SINK TO REMAIN

WALL DEMOLITION KEYED NOTES

- W1. REMOVE EXISTING WOOD PANEL COLUMN WRAP, SUBSTRATE, AND FRAMING COMPLETE
- W2. REMOVE WOOD PANEL KNEE WALL COMPLETE. SALVAGE WOOD PANELS FOR INFILL OF EXISTING COLUMN
- W3. EXISTING POWER/DATA OUTLETS. EXTEND CONDUITS TO NEW OUTLET LOCATIONS
- W4. REMOVE LIGHT FIXTURE AND ASSOCIATED UTILITIES COMPLETE
- W5. REMOVE CORNERGUARD AND SALVAGE FOR REINSTALLATION
- W6. REMOVE WALLCOVERING FROM TOP OF BASE TO BOTTOM OF EXISTING ALUMINUM CHANNEL - PREP GYP BD AS REQUIRED FOR NEW WORK
- W7. REMOVE WALLCOVERING FROM TOP OF BASE TO CEILING ABOVE - PREP GYP BD AS REQUIRED FOR NEW WORK
- W8. MODIFY EXISTING BASE AND FRAMING AS REQUIRED FOR NEW WORK

CEILING DEMOLITION KEYED NOTES

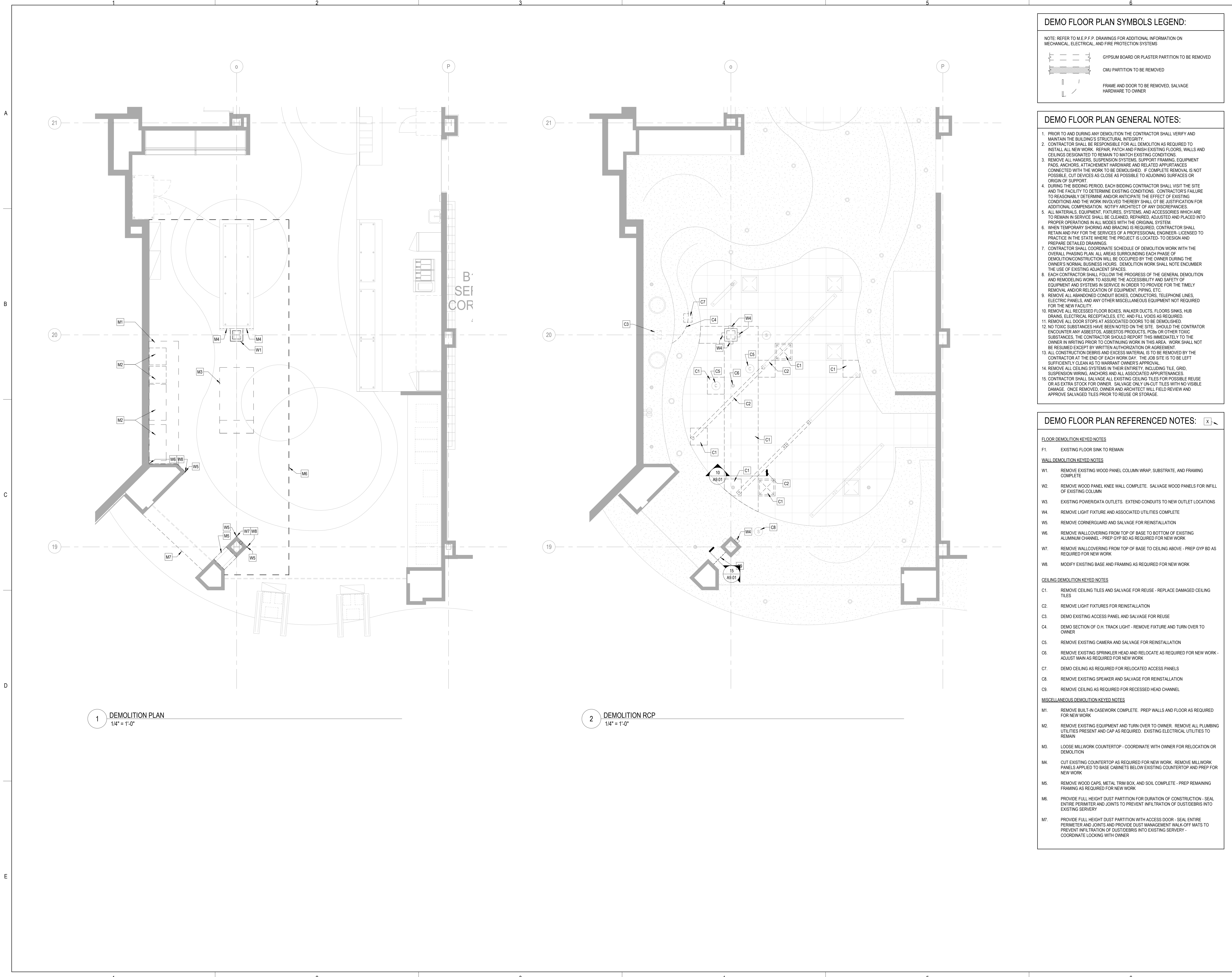
- C1. REMOVE CEILING TILES AND SALVAGE FOR REUSE - REPLACE DAMAGED CEILING TILES
- C2. REMOVE LIGHT FIXTURES FOR REINSTALLATION
- C3. DEMO EXISTING ACCESS PANEL AND SALVAGE FOR REUSE
- C4. DEMO SECTION OF O.H. TRACK LIGHT - REMOVE FIXTURE AND TURN OVER TO OWNER
- C5. REMOVE EXISTING CAMERA AND SALVAGE FOR REINSTALLATION
- C6. REMOVE EXISTING SPRINKLER HEAD AND RELOCATE AS REQUIRED FOR NEW WORK - ADJUST MAIN AS REQUIRED FOR NEW WORK
- C7. DEMO CEILING AS REQUIRED FOR RELOCATED ACCESS PANELS
- C8. REMOVE EXISTING SPEAKER AND SALVAGE FOR REINSTALLATION
- C9. REMOVE CEILING AS REQUIRED FOR RECESSED HEAD CHANNEL

MISCELLANEOUS DEMOLITION KEYED NOTES

- M1. REMOVE BUILT-IN CASEWORK COMPLETE. PREP WALLS AND FLOOR AS REQUIRED FOR NEW WORK
- M2. REMOVE EXISTING EQUIPMENT AND TURN OVER TO OWNER. REMOVE ALL PLUMBING UTILITIES PRESENT AND CAP AS REQUIRED. EXISTING ELECTRICAL UTILITIES TO REMAIN
- M3. LOOSE MILLWORK COUNTERTOP - COORDINATE WITH OWNER FOR RELOCATION OR DEMOLITION
- M4. CUT EXISTING COUNTERTOP AS REQUIRED FOR NEW WORK. REMOVE MILLWORK PANELS APPLIED TO BASE CABINETS BELOW EXISTING COUNTERTOP AND PREP FOR NEW WORK
- M5. REMOVE WOOD CAPS, METAL TRIM BOX, AND SOIL COMPLETE - PREP REMAINING FRAMING AS REQUIRED FOR NEW WORK
- M6. PROVIDE FULL HEIGHT DUST PARTITION FOR DURATION OF CONSTRUCTION - SEAL ENTIRE PERIMETER AND JOINTS TO PREVENT INFILTRATION OF DUST/DEBRIS INTO EXISTING SERVITY
- M7. PROVIDE FULL HEIGHT DUST PARTITION WITH ACCESS DOOR - SEAL ENTIRE PERIMETER AND JOINTS AND PROVIDE DUST MANAGEMENT WALK-OFF MATS TO PREVENT INFILTRATION OF DUST/DEBRIS INTO EXISTING SERVITY - COORDINATE LOCKING WITH OWNER

1 DEMOLITION PLAN
 1/4" = 1'-0"

2 DEMOLITION RCP
 1/4" = 1'-0"



| NO. | DESCRIPTION: | DATE: |
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RCP SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- CEILING TYPE
- CEILING ELEVATION A.F.F.
- SUSPENDED ACOUSTICAL TILE CEILING
- GYPSUM BOARD CEILING OR SOFFIT
- RECESSED DOWN LIGHT
- PENDANT LIGHT MOUNT LINEAR FIXTURE
- SPRINKLER HEAD
- EXIT SIGN- SEE CODE COMPLIANCE PLAN
- SPEAKER
- CLOSED CIRCUIT CAMERA
- RETURN AIR GRILLE
- SUPPLY AIR GRILLE
- ACCESS PANEL

RCP GENERAL NOTES:

- ALL HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS FOR REFERENCE AND COORDINATION ONLY. REFER TO HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ACTUAL QUANTITIES. IN CASE OF CONFLICT THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF THESE ITEMS.
- IN AREAS THAT DO NOT HAVE ARCHITECTURAL REFLECTED CEILING PLANS YET REQUIRE NEW ITEMS TO BE INSTALLED IN OR ABOVE THE CEILING PLANE, CONTRACTOR SHALL REMOVE AND REINSTALL, REPLACE OR MODIFY EXISTING CEILING CONSTRUCTION TO ACCOMMODATE NEW WORK. ANY NEW CEILING AREAS SHALL MATCH EXISTING ADJACENT FINISHES.
- CENTER ALL FIXTURES IN CEILING TILES AND FIELD VERIFY GRID LAYOUT FOR PROPER FIXTURE LOCATION. ALIGN ALL FIXTURES IN BOTH DIRECTIONS OF CEILING TILE (UND)
- CENTER ALL SPRINKLER HEADS IN CEILING TILES
- ALL GYP. BD. CEILINGS TO BE PAINTED P1-X UNLESS OTHERWISE NOTED ON PLANS
- EXTEND FACE OF ALL GYP. BD. SOFFITS AND HEADERS TO FINISHED CEILING ABOVE U.N.O.
- ALL GYP. BD. CEILINGS TO BE PAINTED P1-X UNLESS OTHERWISE NOTED ON PLANS
- EXTEND FACE OF ALL GYP. BD. SOFFITS AND HEADERS 4" MIN. BEYOND FINISHED CEILING ABOVE U.N.O.

RCP REFERENCED NOTES:

- RELOCATED ACCESS PANEL - FINISH TO MATCH EXISTING
- RELOCATED SUPPLY GRILLE - ADJUST DUCT AS REQUIRED FOR NEW LOCATION
- PROVIDE LATERAL SUPPORTS ABOVE CEILING TO STRUCTURE ABOVE AS REQUIRED FOR NEW WALL
- AREA OF EXISTING DUCT ABOVE - COORDINATE WITH NEW WALLS BELOW
- SLIDING SECURITY GRATE OVERHEAD TRACK AT SOFFIT
- REINSTALL REMOVED 8" LIGHT FIXTURE

EQUIPMENT SCHEDULE

| TYPE | MANUFACTURER | MODEL | NOTES |
|-------|-----------------|------------|---|
| EQ1.1 | PENGUIN LOCKERS | ST_MD_PL_C | VENDING LOCKER - COLD, 26.8"W x 28"D x 81.2"H |
| EQ1.2 | PENGUIN LOCKERS | ST_MD_PL_H | VENDING LOCKER - HOT, 26.8"W x 28"D x 81.2"H |
| EQ2.1 | DMVI | OPTION 4 | VENDING - HOT, 47.2"W x 31.9"D x 72.7"H |
| EQ2.2 | DMVI | OPTION 4 | VENDING - HOT, 47.2"W x 31.9"D x 72.7"H |
| EQ3 | DMVI | OPTION 8 | VENDING - COLD, 64.9"W x 31.9"D x 72.7"H |

ALL EQUIPMENT PROVIDED AND INSTALLED BY OWNER.

FLOOR PLAN & SECTION SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

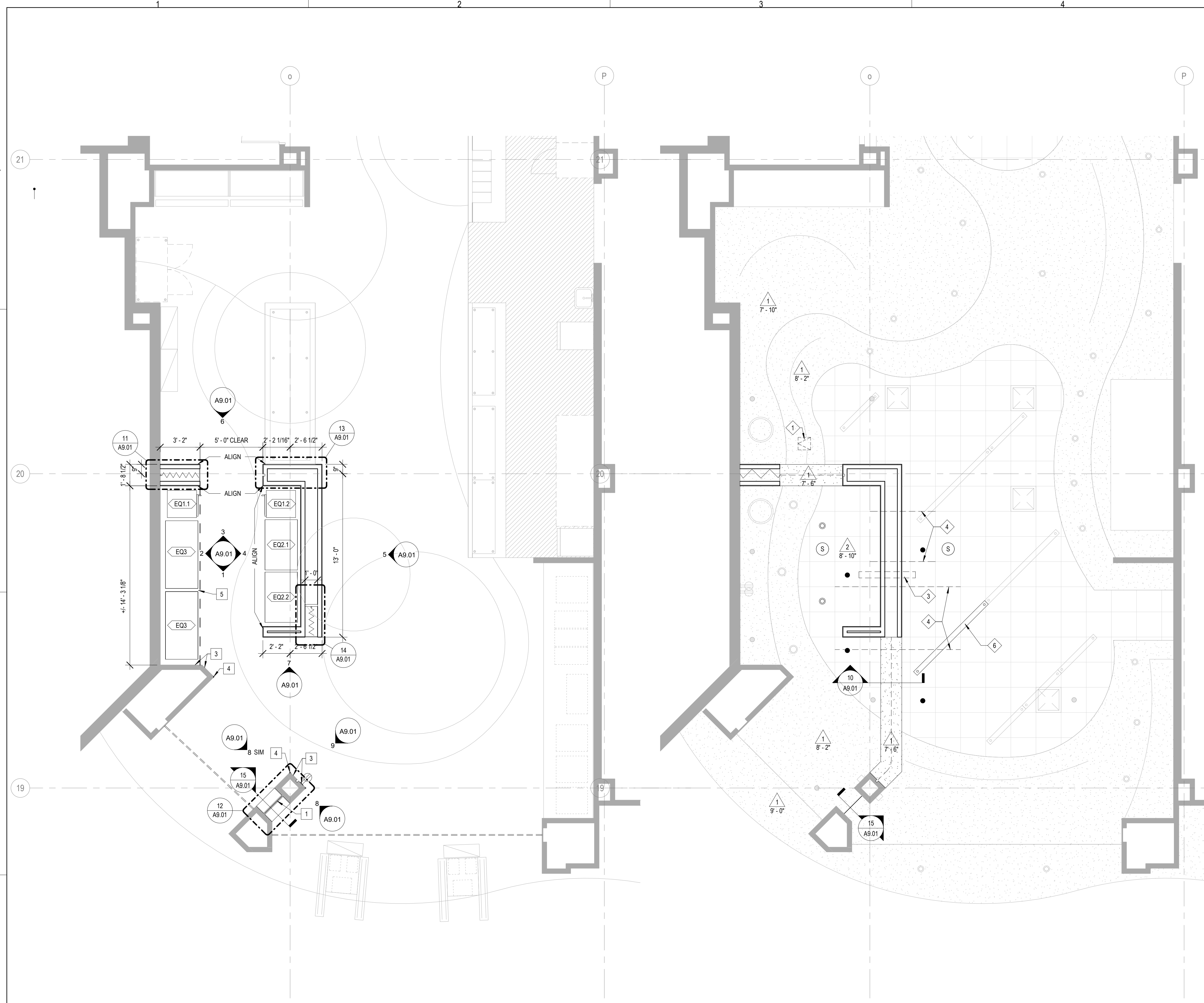
- GREY TONE LINES DEPICT EXISTING CONSTRUCTION
- EXISTING DOOR
- NEW WALL CONSTRUCTION
- NEW DOOR
- PLAN AND SECTION DETAIL CALLOUT
- SECTION CALLOUT
- ELEVATION CALLOUT
- DATUM TAG
- NEW WORK REFERENCED NOTES

FLOOR PLAN GENERAL NOTES:

- FINISH FLOOR ELEVATION OF 0'-0" - XXX'X USGS AS NOTED ON SHEET C-X-XXX
- ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO FIRST FLOOR FINISH ELEVATION OF 0'-0". REFER TO CIVIL DRAWINGS FOR COORDINATING USGS ELEVATION.
- REFER TO CODE PLANS ON SHEETS A0-XX THRU A0-XX FOR FIRE RATINGS AND AREA SEPARATION LOCATIONS FOR WALLS, ENCLOSURES, OPENINGS, ETC.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO WORK COMMENCING.
- NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING CONDITIONS AND IN-FIELD DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- PROVIDE ACCESS PANELS AT LOCATIONS INDICATED AND AS REQUIRED FOR ACCESS TO EQUIPMENT AND DEVICES INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING AND ELECTRICAL WORK. PAINT ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING FINISH.
- REFER TO A10.01 FOR PARTITION SCHEDULE. ALL INTERIOR PARTITIONS SHALL BE TYPE S1A, A, U.N.O.. ALL GYP. BD. COLUMN ENCLOSURES SHALL BE TYPE S2D, U.N.O..
- REFER TO EXTERIOR ELEVATIONS, SECTIONS AND DETAILS FOR CONSTRUCTION OF EXTERIOR WALLS.

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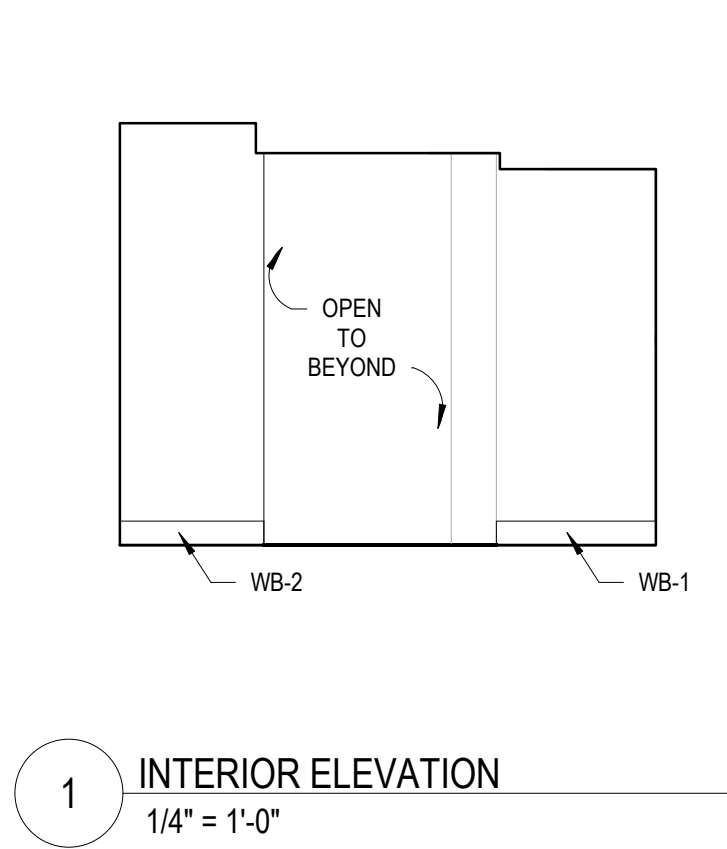
- ALL GLASS PARTITION
- SS-1 COUNTERTOP
- WOOD WALLCOVERING OVER EXISTING GYP. BD. - PREP GYP FOR LEVEL 5 FINISH PRIOR TO INSTALL
- REINSTALL EXISTING CORNERGUARDS
- PROVIDE JOHNSONITE OPTIMA - 869 SWEET CHERRY IN AREA INDICATED. CUT BACK EXISTING FLOORING AND PREP SLAB AS REQUIRED FOR NEW WORK



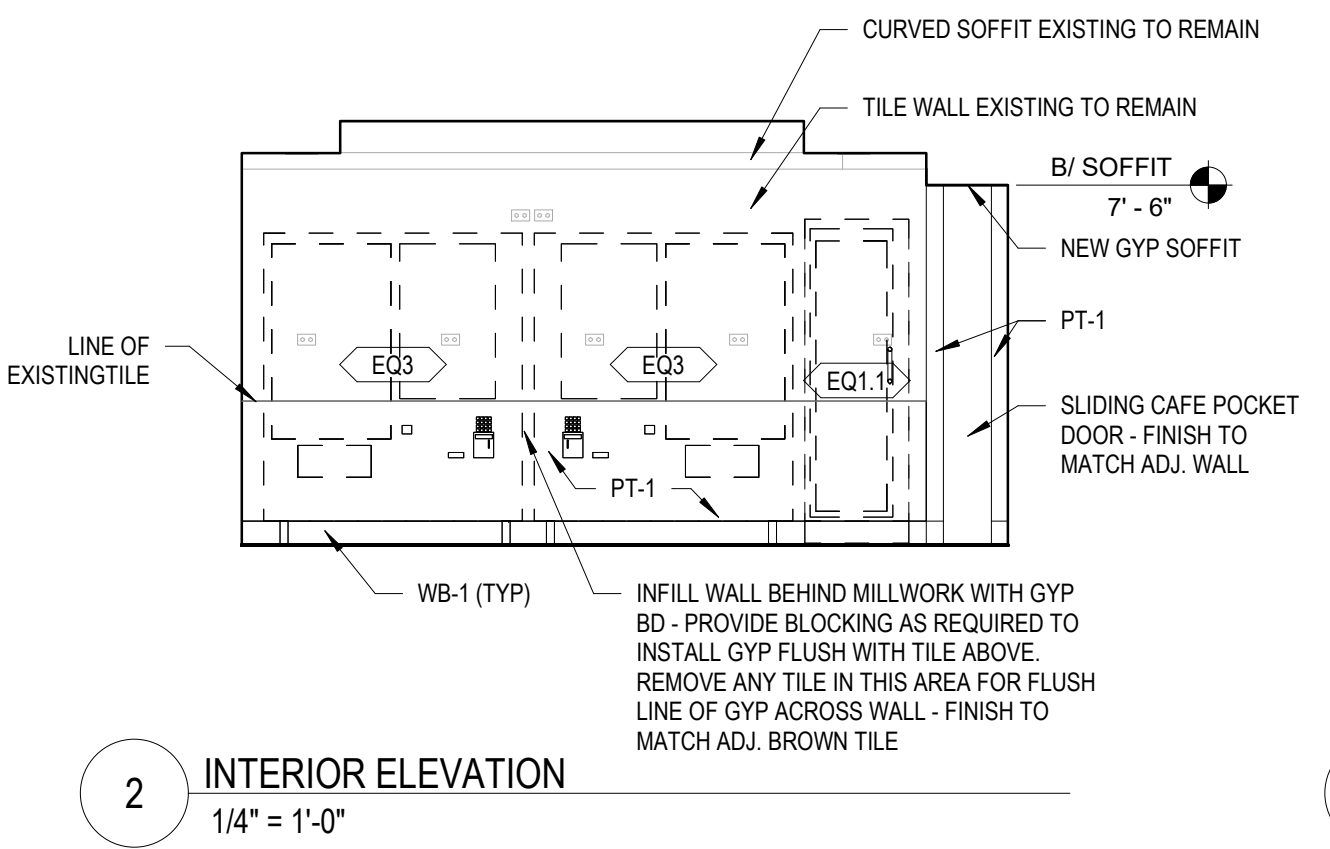
1 FLOOR PLAN
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2 REFLECTED CEILING PLAN
 1/4" = 1'-0"

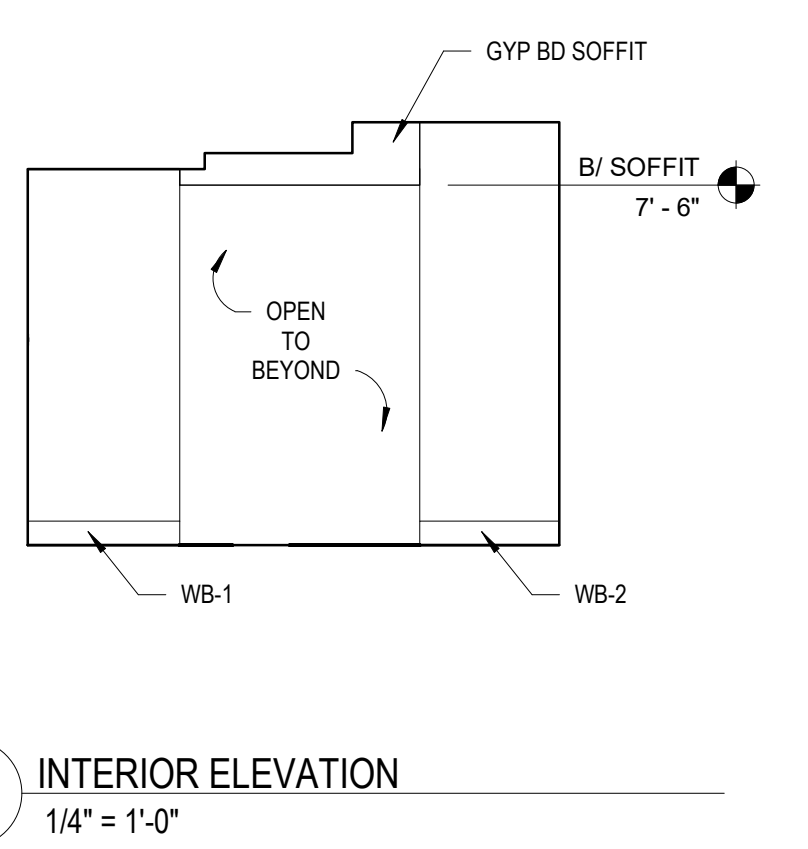
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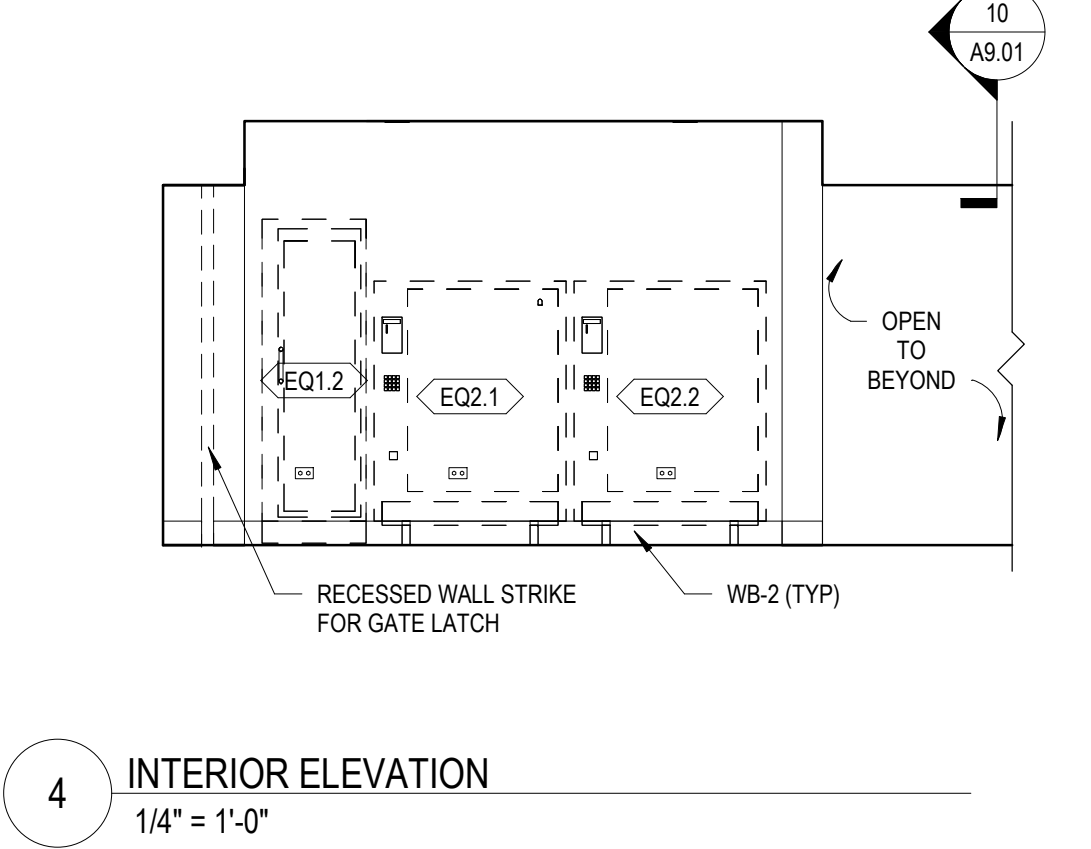
1 INTERIOR ELEVATION
 1/4" = 1'-0"



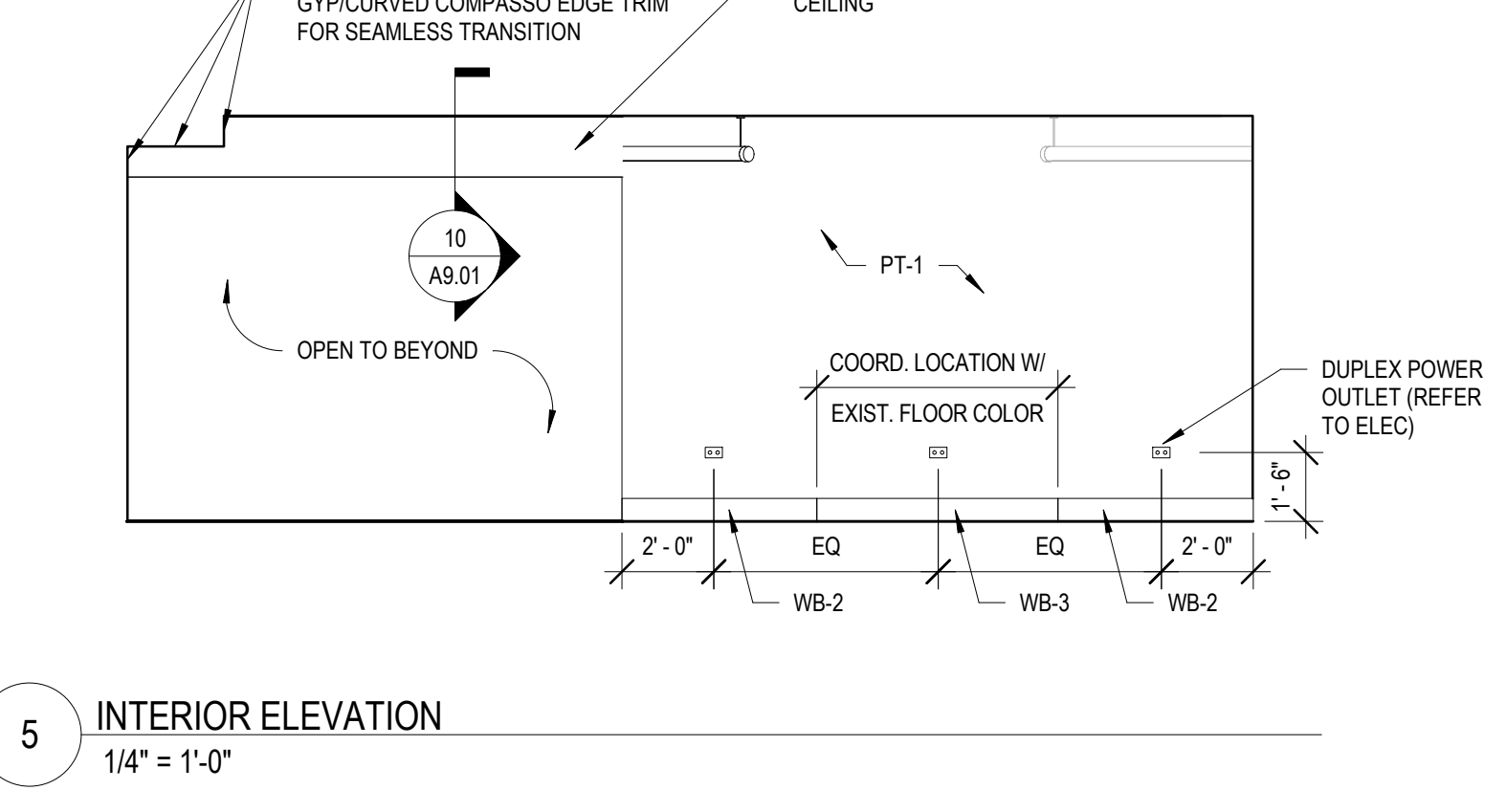
2 INTERIOR ELEVATION
 1/4" = 1'-0"



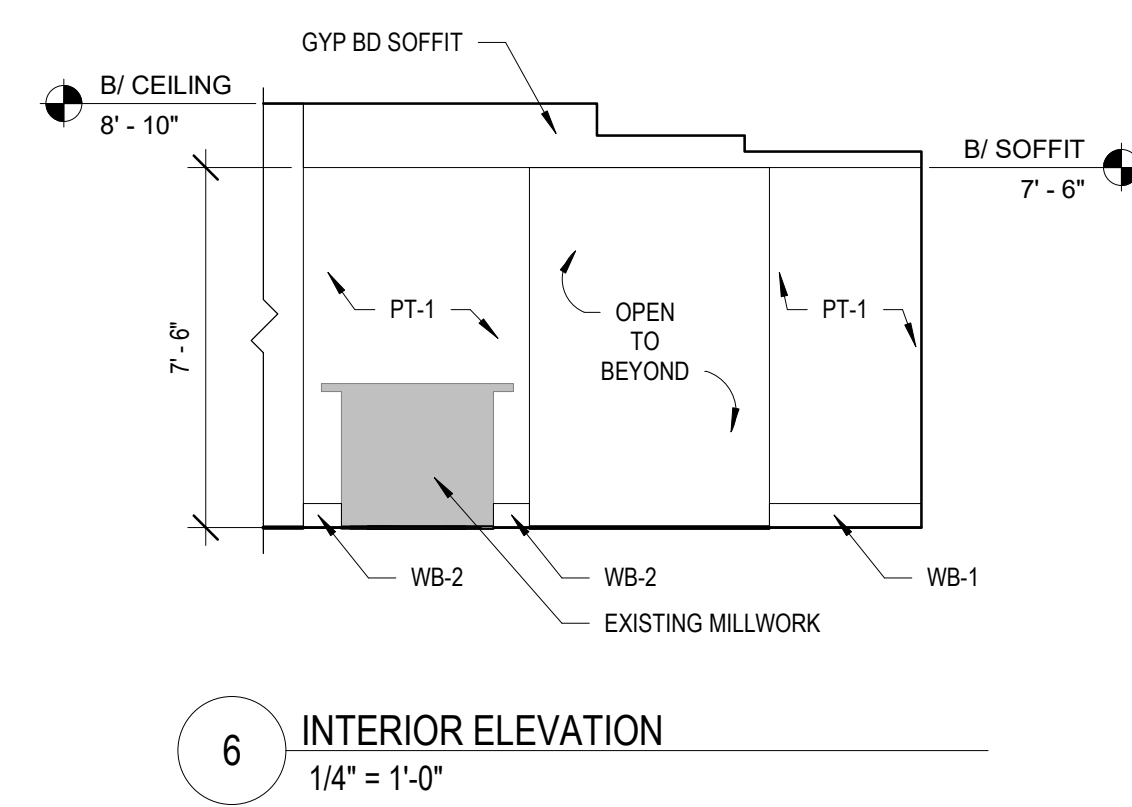
3 INTERIOR ELEVATION
 1/4" = 1'-0"



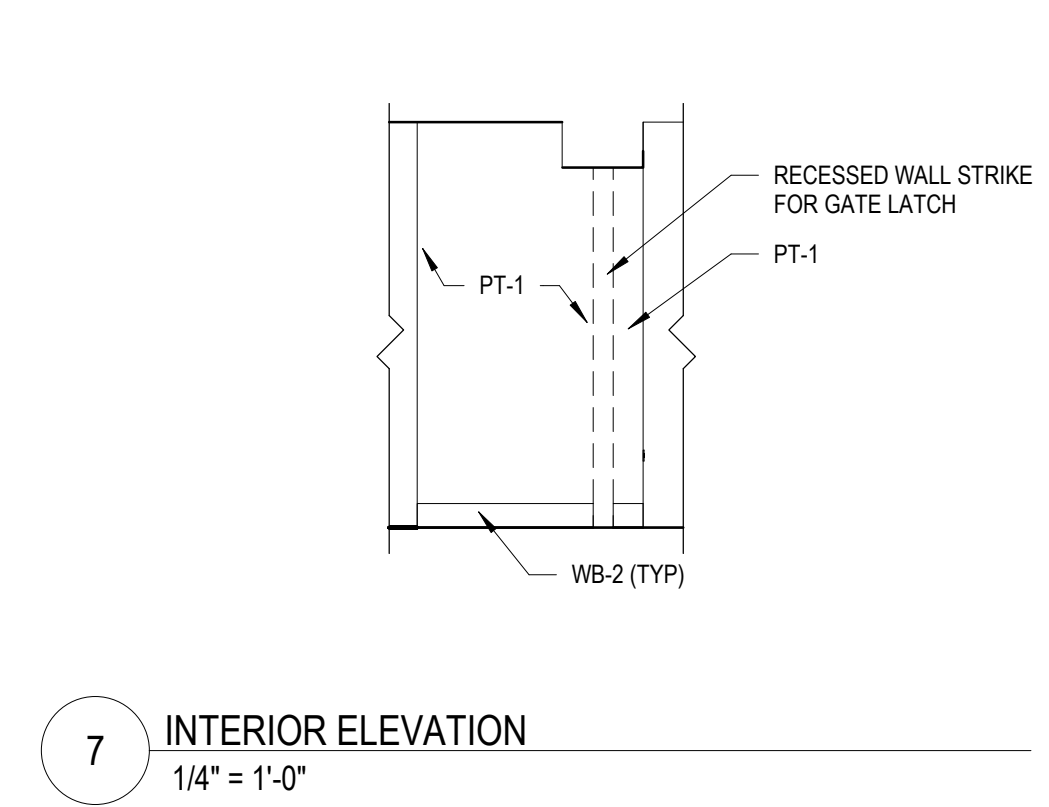
4 INTERIOR ELEVATION
 1/4" = 1'-0"



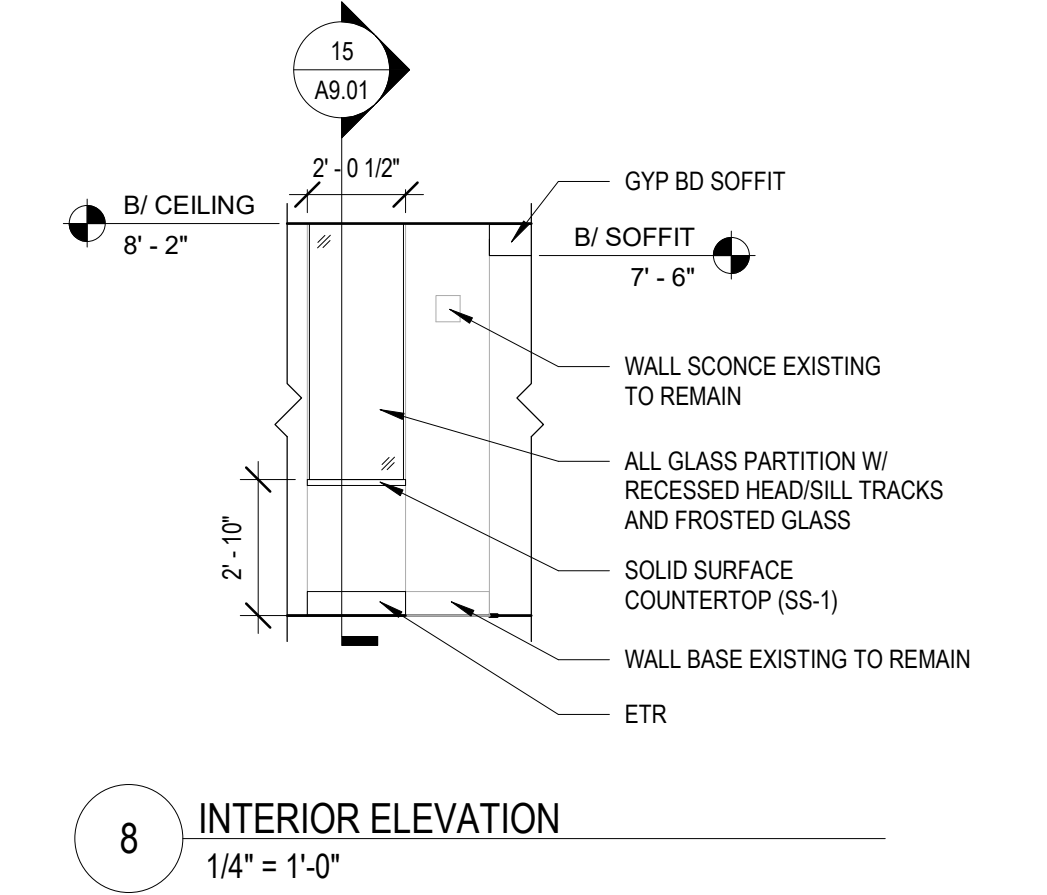
5 INTERIOR ELEVATION
 1/4" = 1'-0"



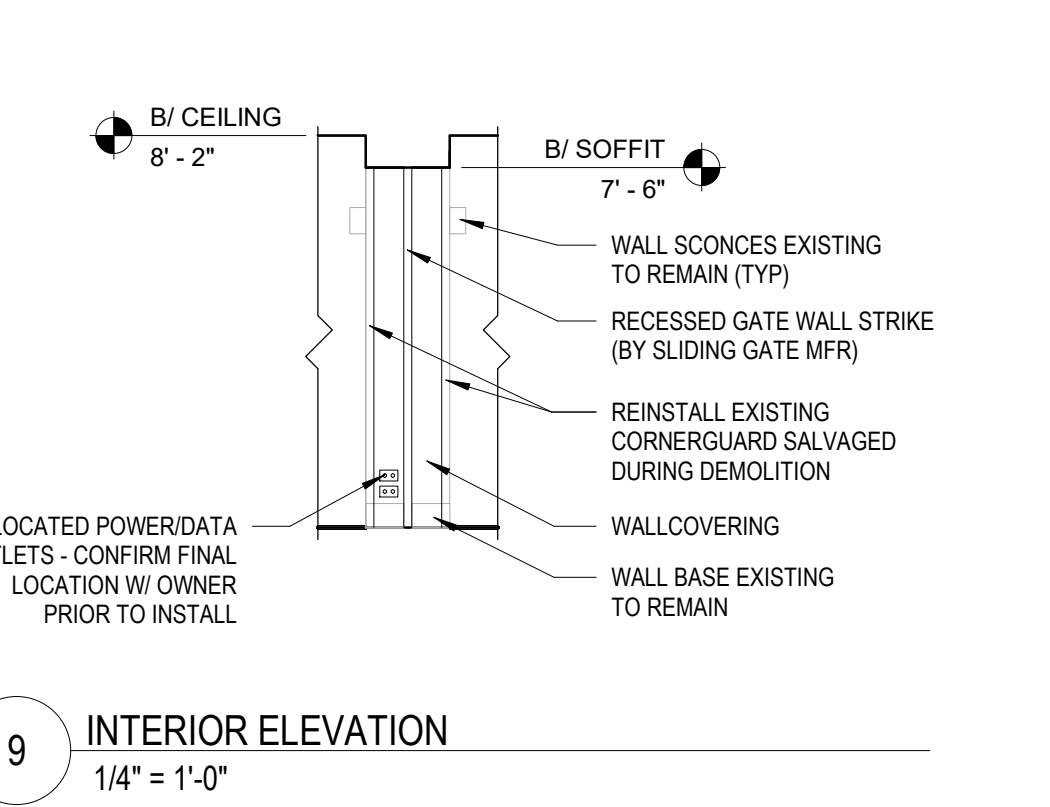
6 INTERIOR ELEVATION
 1/4" = 1'-0"



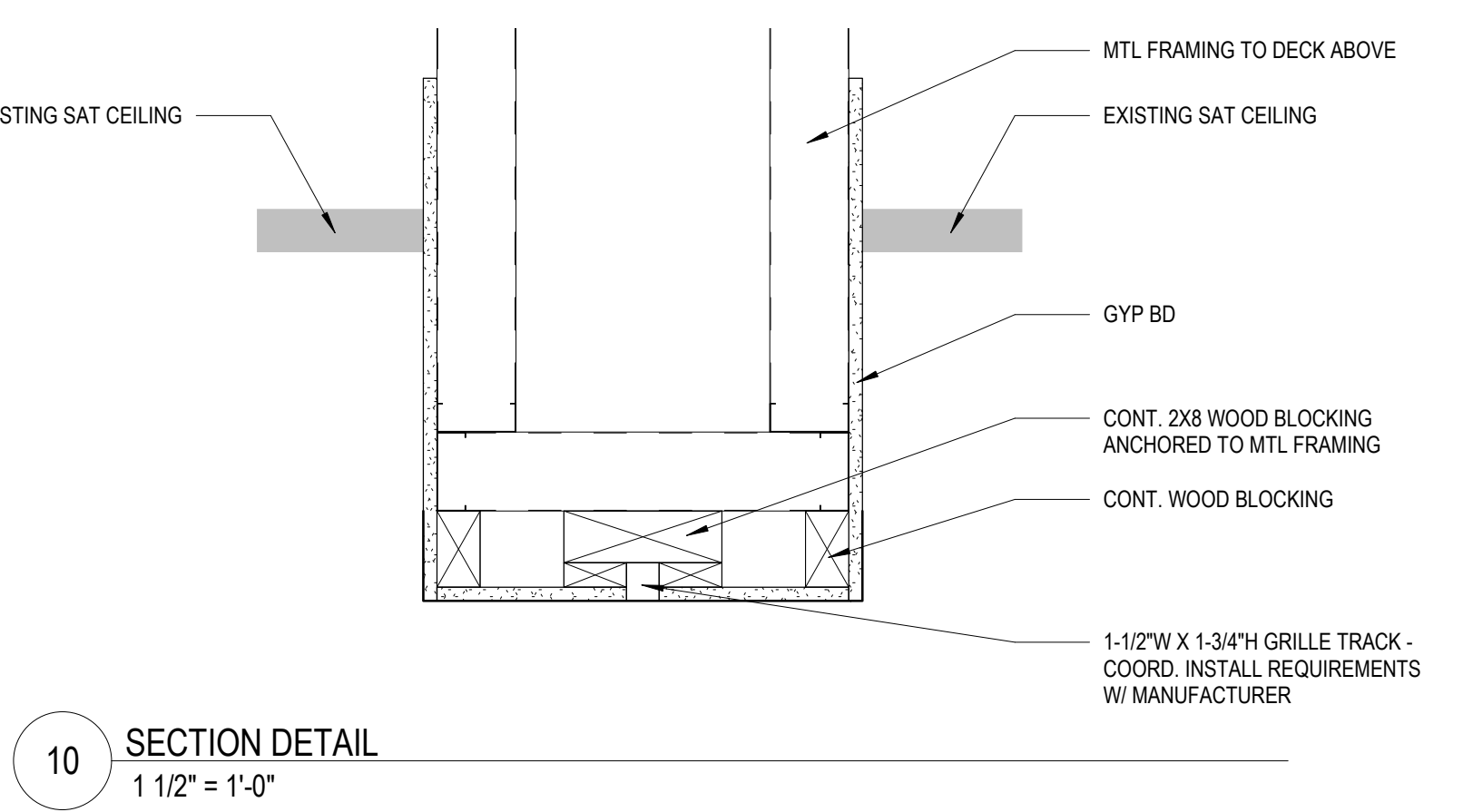
7 INTERIOR ELEVATION
 1/4" = 1'-0"



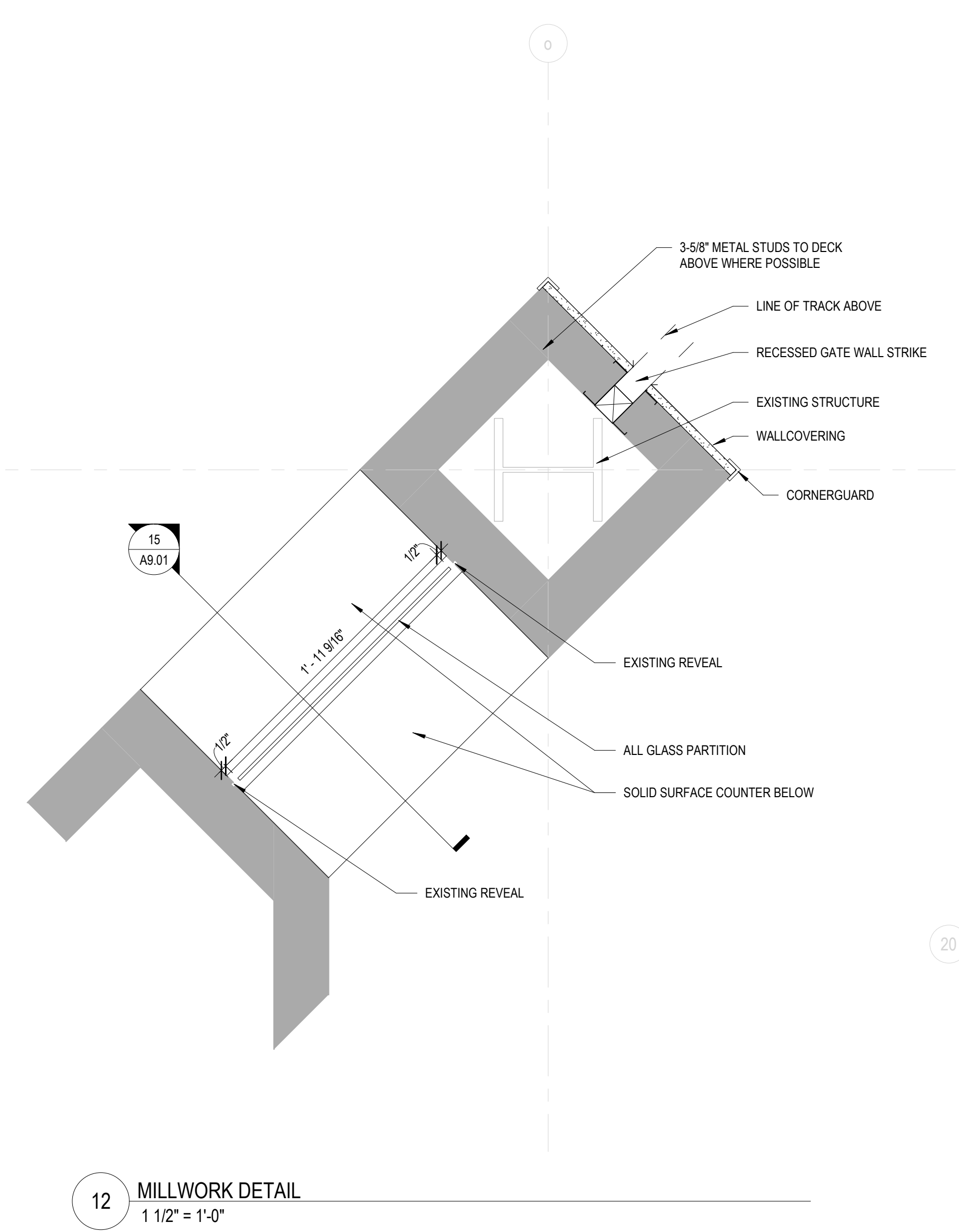
8 INTERIOR ELEVATION
 1/4" = 1'-0"



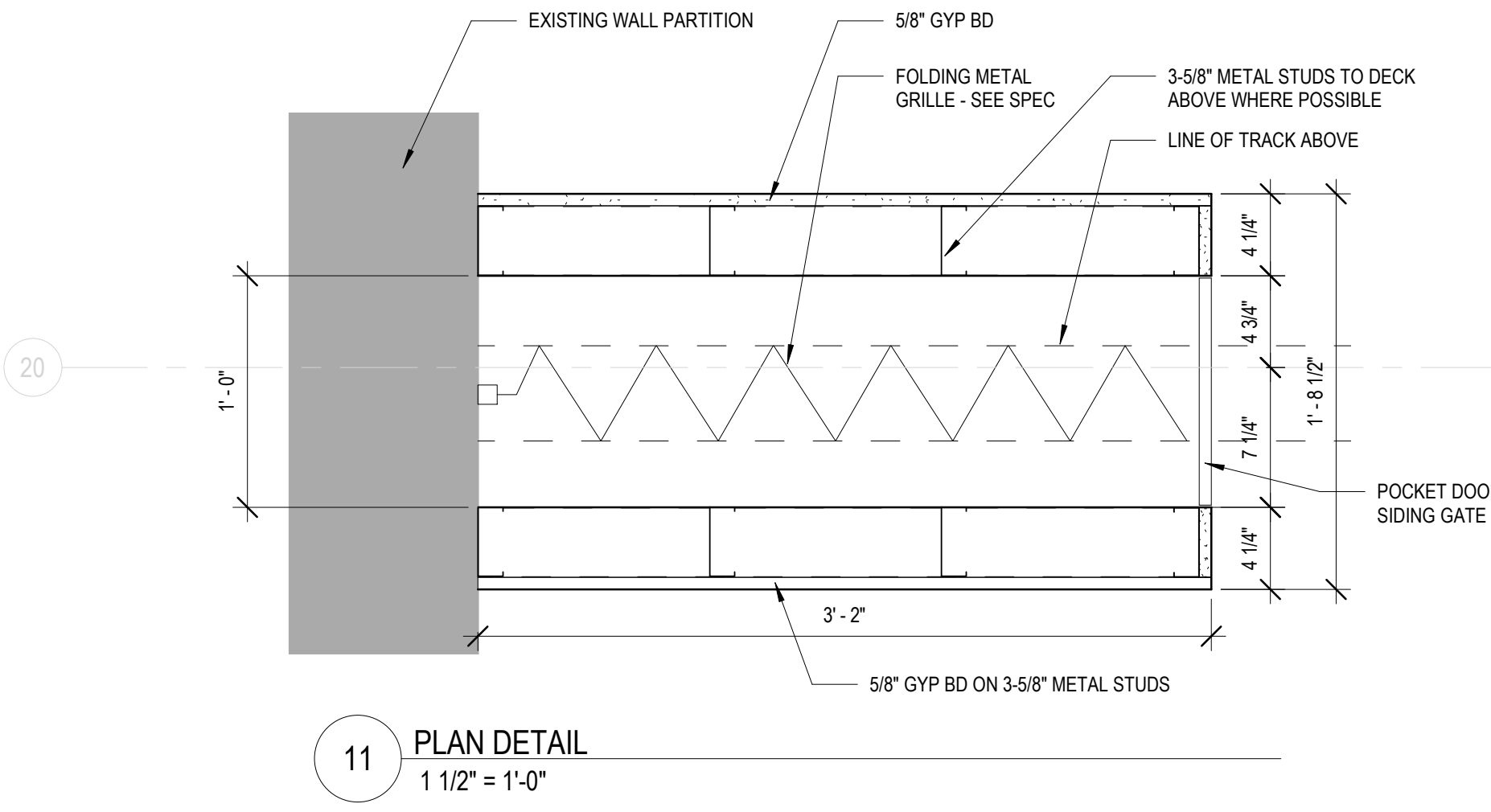
9 INTERIOR ELEVATION
 1/4" = 1'-0"



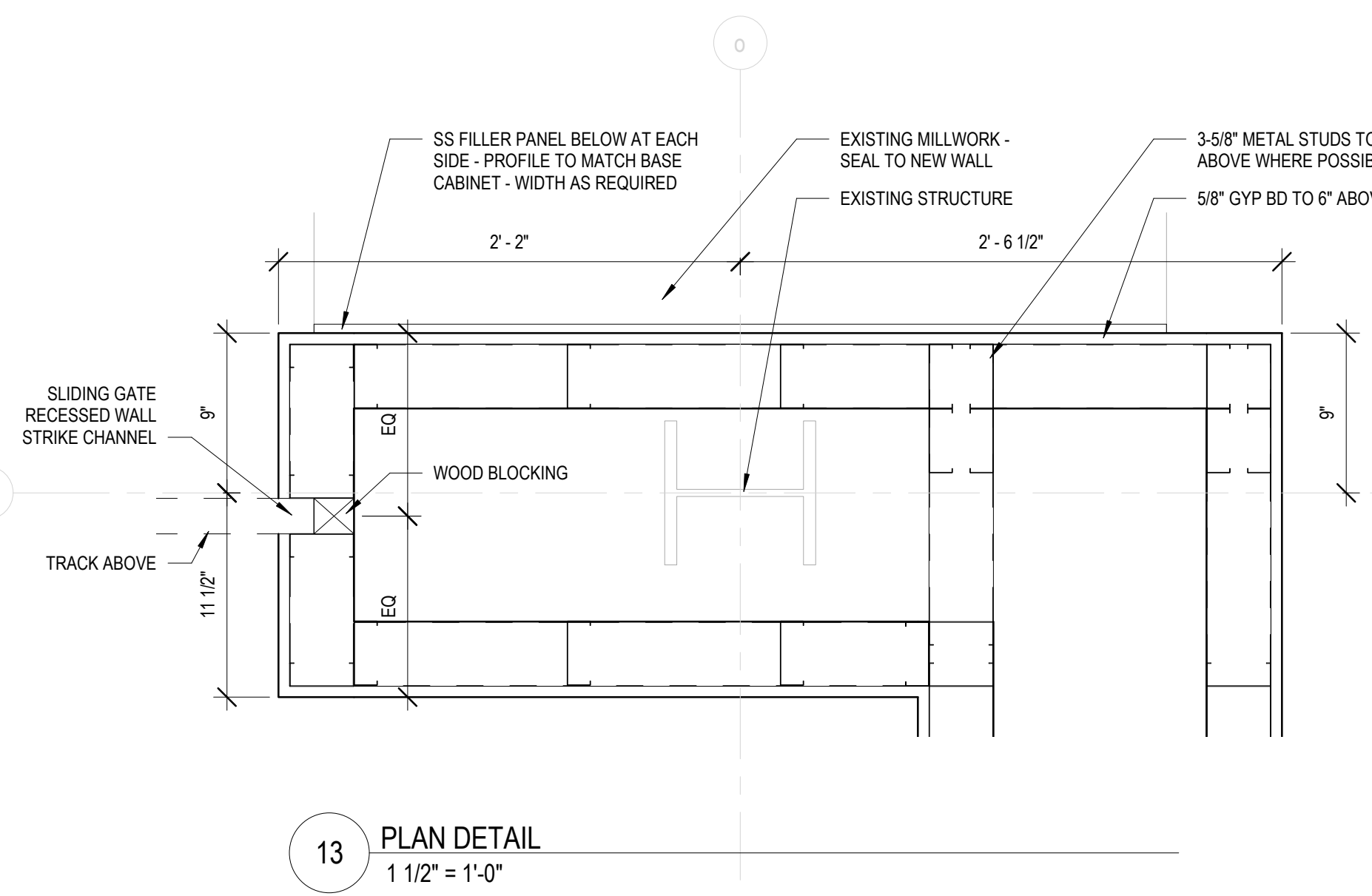
10 SECTION DETAIL
 1 1/2" = 1'-0"



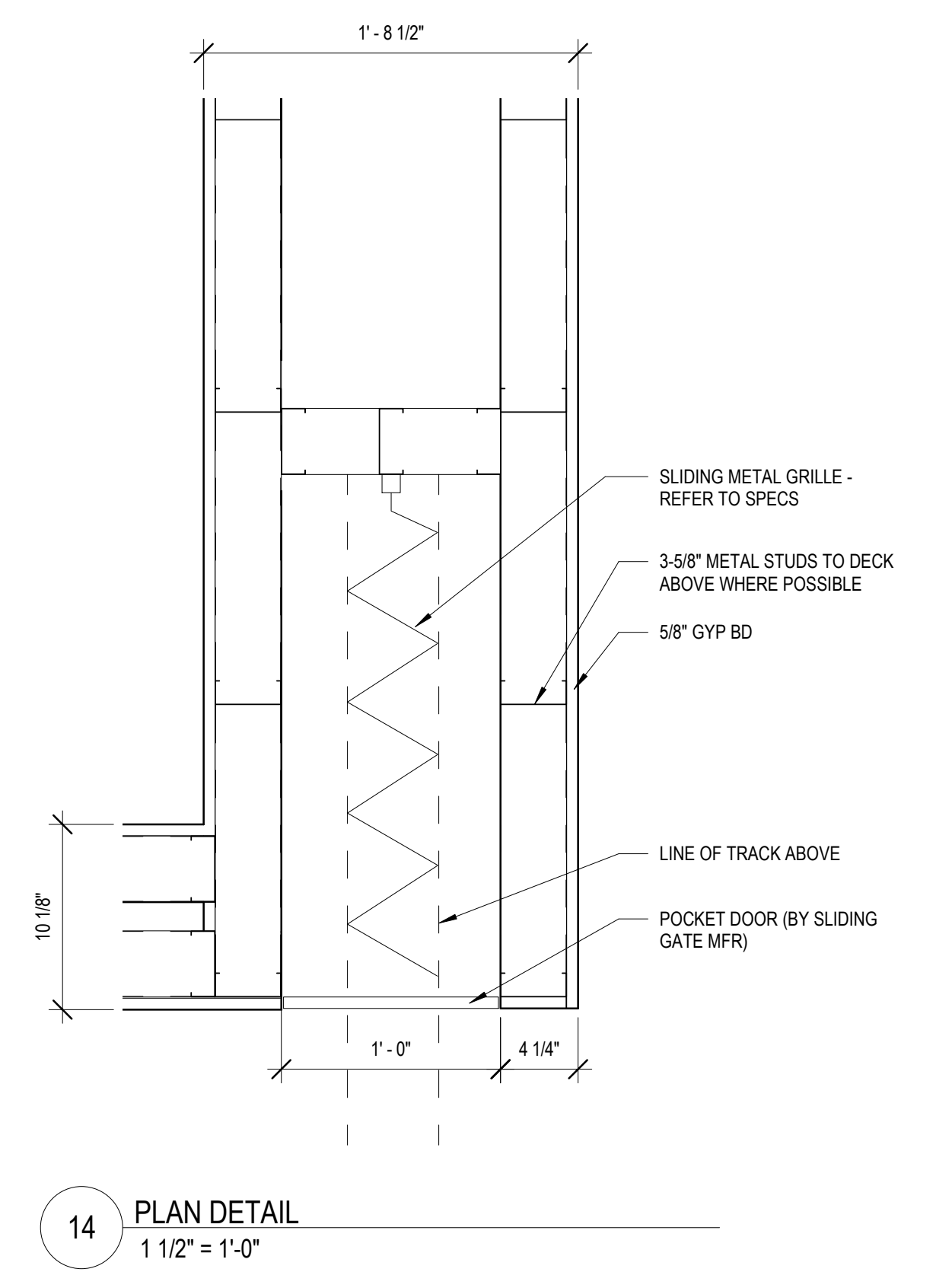
12 MILLWORK DETAIL
 1 1/2" = 1'-0"



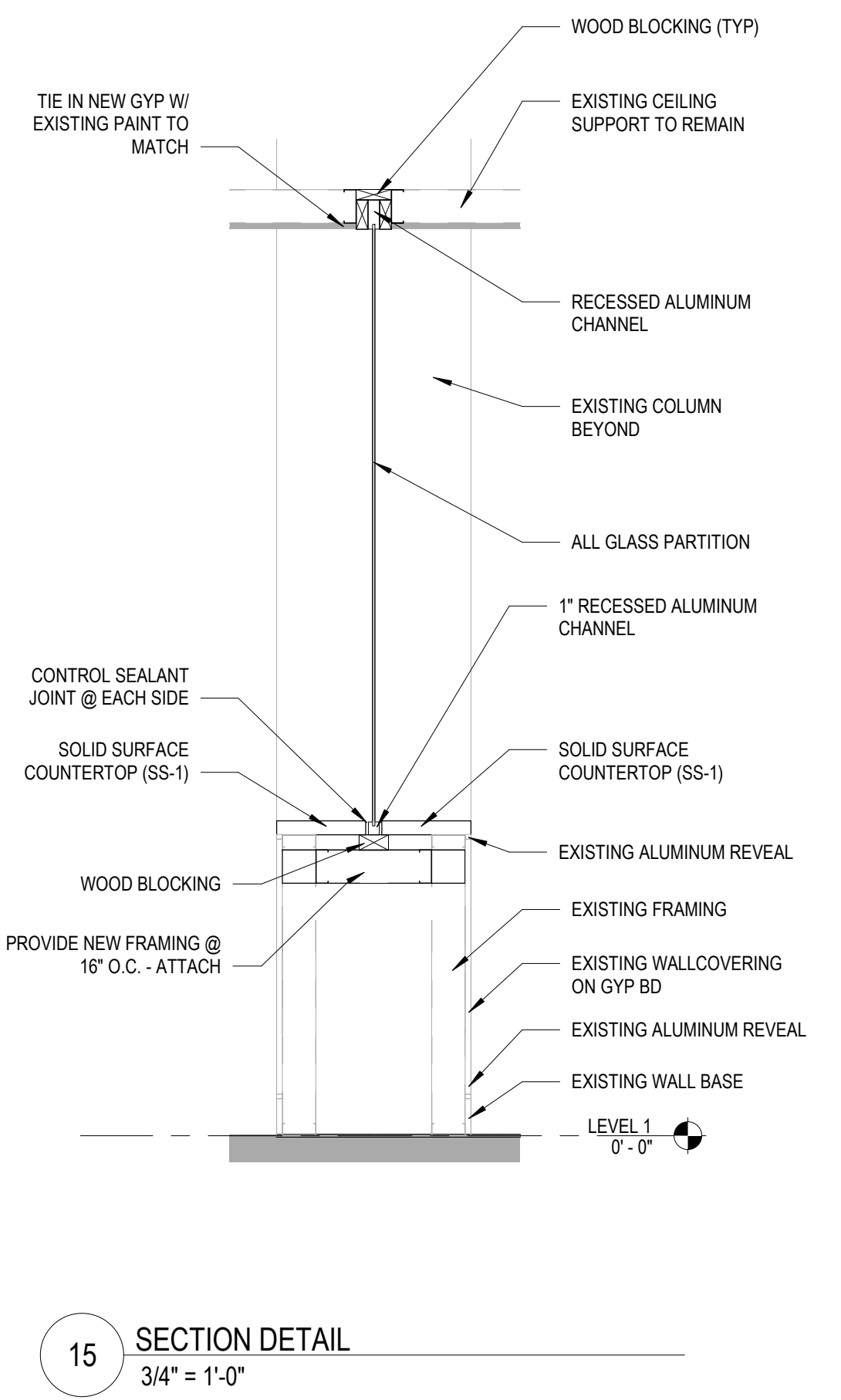
11 PLAN DETAIL
 1 1/2" = 1'-0"



13 PLAN DETAIL
 1 1/2" = 1'-0"



14 PLAN DETAIL
 1 1/2" = 1'-0"



15 SECTION DETAIL
 3/4" = 1'-0"

| WALL FINISH TYPES: | | | |
|--------------------|--------------------|--------------|-------------|
| TYPE | DESCRIPTION | MANUFACTURER | NAME#/COLOR |
| PT-1 | GENERAL PAINT | TBD | TBD |
| WC | VINYL WALLCOVERING | TBD | TBD |

| WALL BASE TYPES: | | | |
|------------------|--------------------------|--------------|-------------|
| TYPE | DESCRIPTION | MANUFACTURER | NAME#/COLOR |
| WB-1 | 6" H RED COVE BASE | TARKETT | TBD |
| WB-2 | 6" H GREEN STRAIGHT BASE | TARKETT | TBD |
| WB-3 | 6" H WHITE STRAIGHT BASE | TARKETT | TBD |