

McHenry County College

2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012

ISSUED FOR BID - NOT FOR CONSTRUCTION

7/24/2024

DKA PROJECT NO: 24-031
MCC BID NO: IFB#08202024



ARCHITECT:

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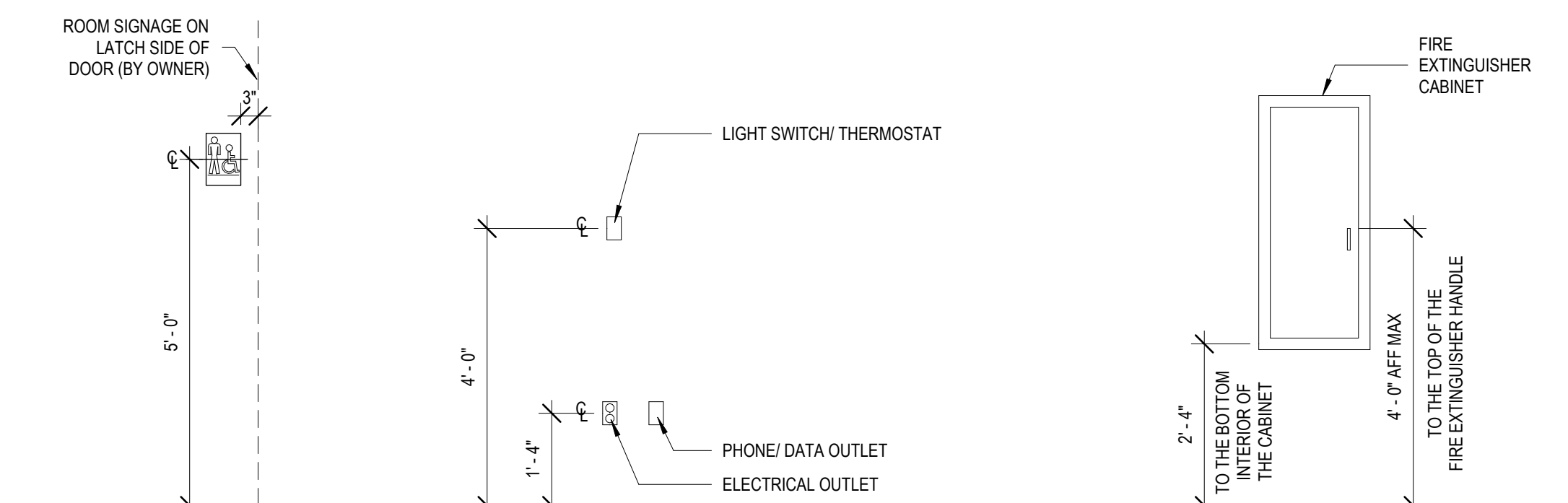
	ACCESS PANEL	HDW	HARDWARE	TEL	TELEPHONE
ACoust	ACOUSTICAL	HDWD	HARDWOOD	TV	TELEVISION
ACT	ACOUSTICAL CEILING TILE	HDR	HEADER	TRZ	TERRAZZO
ADJ	ADJACENT	HTG	HEATING	TB	TILE BASE
A.F.F.	ABOVE FINISH FLOOR	HVAC	HEATING, VENTILATING, AIR CONDITIONING	THK	THICK
AGGR	AGGREGATE	HT	HEIGHT	T.O.C.	TOP OF CURB
A/C	AIR CONDITIONING	HC	HOLLOW CORE	TOP	TOP OF PAVEMENT
ALT	ALTERNATE	HM	HOLDING METAL	TOW	TOP OF WALL
ALUM	ALUMINUM	HMF	HOLLOW METAL FRAME	T&G	TONGUE AND GROOVE
L	ANGLE	HORZ	HORIZONTAL	TYP	TYPICAL
APPD	APPROVED	HB	HOSE BIB		
APPROX	APPROXIMATE	HR	HOUR	UNF	UNFINISHED
ARCH	ARCHITECTURAL OR ARCHITECT			U.N.O.	UNLESS NOTED OTHERWISE
AD	AREA DRAIN	INC	INCLUDE	UR	URINAL
ASB	ASBESTOS	I.D.	INSIDE DIAMETER		
ASPH	ASPHALT	INSUL	INSULATION	VB	VINYL BASE
AV	AUDIO VISUAL	INTR	INTERIOR	VERT	VERTICAL
		INV	INVERT	VEST	VESTIBULE
BSMT	BASEMENT			VCT	VINYL COMPOSITION TILE
BRG	BEARING	JAN	JANITOR	VW	VINYL WALLCOVERING
BM	BEAM	JT	JOINT		
BTW	BETWEEN	KIT	KITCHEN	WSCT	WAINSCOT
BITUM	BITUMINOUS	LAM	LAMINATE	WC	WATER CLOSET
BLK	BLACK	LAV	LAVATORY	WLK	WALK-OFF MAT
BLKG	BLOCKING	LH	LEFT HAND	WR	WATER RESISTANT
BD	BOARD	LGTH	LENGTH	WT	WALL TILE OR WEIGHT
BRK	BRICK	LT	LIGHT	W	WEST
BLDG	BUILDING	LWC	LIGHT WEIGHT CONCRETE	W	WIDE FLANGE "W16x21"
		LTNL	LINTEL	W	WIDTH
CAB	CABINET	LN	LINOLEUM	W/	WITH
CIP	CAST IN PLACE	LL	LIVE LOAD	W/O	WITHOUT
CIPC	CAST IN PLACE CONCRETE			WD	WOOD
CI	CURB INLET	MH	MANHOLE	WDP	WOOD PANEL
CB	CATCH BASIN	MFR	MANUFACTURER	X	EXISTING
CLG	CEILING	MAS	MASONRY		
CTR	CENTER	MO	MASONRY OPENING		
CJ	CONTROL JOINT	MTL	METAL		
CL	CENTER LINE	MAX	MAXIMUM		
CPT	CARPET	MECH	MECHANICAL		
CT	CERAMIC TILE	MTG	MECHANICAL TRADES CONTRACTOR		
CLR	CLEAR	MEMB	MEMBRANE		
CLO	CLOSET	MT	MARBLE TILE		
COL	COLUMN	MIN	MINIMUM		
CONC	CONCRETE	MISC	MISCELLANEOUS		
CONN	CONNECTION	MTD	MOUNDED		
CONST	CONSTRUCTION	MTG	MOUNTING		
CM	CONSTRUCTION MANAGER	MUL	MULLION		
CONT	CONTINUOUS OR CONTINUE				
CONTR	CONTRACTOR	NOM	NOMINAL		
CK	CORK	N	NORTH		
CORR	CORRIDOR	N.I.C.	NOT IN CONTRACT		
CNSK	COUNTERSUNK	N.T.S.	NOT TO SCALE		
CRS	COURSE	NO OR #	NUMBER		
DEMO	DEMOLISH OR DEMOLITION	OBS	OBSCURE		
DEPT	DEPARTMENT	OFF	OFFICE		
D	DEAD LOAD	O.C.	ON CENTER		
DIA	DIAMETER	OPNG	OPENING		
DIM	DIMENSION	OPP	OPPOSITE		
DISP	DISPENSER	OSB	ORIENTED STRAND BOARD		
DIV	DIVISION	O.D.	OUTSIDE DIAMETER		
DR	DOOR	OA	OVERALL		
DO	DOOR OPENING	OFD	OVERFLOW DRAIN		
DBL	DOUBLE				
DS	DOWNSPOUT	PT	PAINT		
DRW	DRAWER	PTD	PAINTED		
DWG	DRAWING	PR	PAIR		
DF	DRINKING FOUNTAIN	PNL	PANEL		
DS	DRY STANDPIPE	PBD	PARTICLE BOARD		
DWT	DETECTABLE WARNING TILE	PTN	PARTITION		
		PLAS	PLASTIC		
E	EAST	P-LAM	PLASTIC LAMINATE		
EA	EACH	PL	PLATE		
EIFS	EXTERIOR INSULATION FINISH SYSTEM	PTC	PLUMBING TRADES CONTRACTOR		
ELEC	ELECTRICAL	PLYWD	PLYWOOD		
ETC	ELECTRICAL TRADES CONTRACTOR	PSI	POUNDS PER SQUARE INCH		
EW	ELECTRICAL WATER COOLER	PC	PRECAST		
EP	ELECTRICAL PANEL BOARD	PCC	PRECAST CONCRETE		
EL	ELEVATION				
ELEV	ELEVATION	QT	QUARRY TILE		
ELVTR	ELEVATOR	R	RADIUS		
ENCL	ENCLOSURE	RWL	RAIN WATER LEADER		
EMER	EMERGENCY	RFRG	REFRIGERATOR		
EP PT	EPOXY PAINT	RGTR	REGISTER		
EPF	EPOXY FLOORING	REINF	REINFORCED		
EQ	EQUAL	RQD	REQUIRED		
EQPMT	EQUIPMENT	RES	RESILIENT		
EXSTG	EXISTING	RA	RETURN AIR		
EXP	EXPANSION	RAG	RETURN AIR GRILLE		
EXP JT	EXPANSION JOINT	RH	RIGHT HAND		
EXPD	EXPOSED	ROW	RIGHT OF WAY		
EXTR	EXTERIOR	R	RISER		
		RD	ROOF DRAIN		
		RM	ROOM		
FOC	FACE OF CONCRETE	R.O.	ROUGH OPENING		
FOF	FACE OF FINISH	RB	RUBBER BASE		
FOS	FACE OF STUD				

A map of the state of Illinois. A star is located in the central part of the state, with the word "SPRINGFIELD" written below it. A small circle is located in the northern part of the state, with a line extending from it to the right, pointing to the text "SITE LOCATION" and "CRYSTAL LAKE, ILLINOIS". A north arrow is located in the bottom right corner of the map.

A map showing the location of Mchenry County College in Crystal Lake, Illinois. The college is marked with a square and labeled "MCHEENRY COUNTY COLLEGE". Crystal Lake is marked with a star and labeled "CRYSTAL LAKE, ILLINOIS". Major roads shown include IL-176, IL-47, IL-31, and IL-14. The JANE ADAMS MEMORIAL TOLLWAY is also indicated. A north arrow is present in the bottom left corner.

The site map shows the layout of the USC campus. TARTAN DR runs diagonally across the top. The Fire Science Offices & Classroom are located on Level 1 (BP1). Other buildings shown include the EMS Classroom, CAL Classroom, and A229. A north arrow is located in the bottom left corner.

GENERAL		MECHANICAL	
G1.01	SHEET INDEX, ABBREVIATIONS, SYMBOLS & NOTES	ME1.00	MEP NOTES AND DETAILS
		HVD1.10	DEMOLITION PLANS - BP1
ARCHITECTURAL		HV1.10	FLOOR PLANS - BP1
AD1.10	DEMOLITION PLANS - BP1	HV1.11	FLOOR PLANS - BP1
AD1.11	DEMOLITION PLANS - BP1	HV2.00	HVAC DETAILS, NOTES, SYMBOLS AND ABBREVIATIONS
AD2.10	DEMOLITION RCP - BP1		
AO1.00	OVERALL PLANS - BP1	FIRE PROTECTION	
A1.10	FLOOR PLANS - BP1	FP1.10	FIRST AND SECOND FLOOR FIRE PROTECTION PLAN
A1.11	FLOOR PLANS - BP1	FP2.10	FIRE PROTECTION GENERAL NOTES
A2.10	REFLECTED CEILING PLANS - BP1		
A2.11	REFLECTED CEILING PLANS - BP1	ELECTRICAL	
A7.01	INTERIOR ELEVATIONS & DETAILS - BP1	EO1.11	ELECTRICAL OVERALL PLANS - BP1
A10.00	DOOR SCHEDULE AND WALL TYPES - BP1	ED1.10	ELECTRICAL DEMOLITION PLANS - BP1
A11.10	FINISH PLANS - BP1	ED1.11	ELECTRICAL DEMOLITION PLANS - BP1
A11.11	FINISH PLANS - BP1	E1.10	ELECTRICAL PLANS - BP1
A12.10	FURNITURE PLANS - BP1	E1.11	ELECTRICAL PLANS - BP1
A12.11	FURNITURE PLANS - BP1	E2.10	LIGHTING PLANS - BP1
		E2.11	LIGHTING PLANS - BP1
		E5.00	ELECTRICAL SYMBOL LIST AND ABBREVIATIONS
		E5.10	ELECTRICAL NOTES
		E6.00	ELECTRICAL DETAILS
		E6.10	ELECTRICAL DETAILS
		E6.20	ELECTRICAL DETAILS



NOTE: IN THE EVENT OF A CONFLICT BETWEEN DIMENSIONS SHOWN ON THIS DRAWING AND ANY OTHER ARCHITECTURAL, ELECTRICAL, OR MECHANICAL SHEETS OR SPECIFICATIONS, NOTIFY ARCHITECT OF DISCREPANCY.



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[illegible]

SHEET TITLE:
**SHEET INDEX,
ABBREVIATIONS,
SYMBOLS & NOTES**

SHEET NUMBER: _____

G1.01

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NO.	DESCRIPTION:	DATE:

SHEET TITLE:
**DEMOLITION PLANS -
BP1**

SHEET NUMBER:

AD1.10

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DEMO SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- HATCH INDICATES AREA NOT IN SCOPE
- GYPSUM BOARD OR PLASTER PARTITION TO BE REMOVED
- CMU PARTITION TO BE REMOVED
- FRAME AND DOOR TO BE REMOVED, SALVAGE HARDWARE TO OWNER
- SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED
- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
- GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
- GYPSUM BOARD OR PLASTER CEILING TO REMAIN
- RECESSED 2x4 LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x2 LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x4 LAY-IN LIGHT FIXTURE TO REMAIN
- RECESSED 2x2 LAY-IN LIGHT FIXTURE TO REMAIN
- LINEAR LIGHT FIXTURE TO BE REMOVED
- REMOVE CEILING MOUNTED PROJECTOR - SALVAGE TO OWNER
- RETURN AIR GRILLE TO BE REMOVED
- SUPPLY AIR GRILLE TO BE REMOVED
- RETURN AIR GRILLE TO REMAIN
- SUPPLY AIR GRILLE TO REMAIN

DEMO GENERAL NOTES:

- PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
- REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
- WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
- CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCUMBER THE USE OF EXISTING ADJACENT SPACES.
- EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
- REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
- REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
- REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
- NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
- ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
- REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES.
- PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXISTING ELECTRICAL DEVICES - REFER TO ELECTRICAL DRAWINGS.

DEMO REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
- F3. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR AREA FOR NEW FLOOR FINISH.
- F3A. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES TO EXTENTS.
- F3B. EXISTING FLOOR FINISH TO REMAIN.
- F4. NOT USED.
- F5. EXISTING FLOOR BOXES TO REMAIN - PREP COVER AS REQUIRED FOR NEW FINISH INSERT.

WALL DEMOLITION KEYED NOTES

- W1. REMOVE EXISTING CMU WALL TO EXTENTS INDICATED. BRACE EXISTING CMU AS REQUIRED FOR TIE-IN TO NEW WORK. PATCH AND PREP ADJACENT CMU WALLS AS REQUIRED FOR NEW WORK.
- W2. REMOVE GYP / MTL STUD PARTITION TO EXTENTS INDICATED. RELOCATE ANY PIPING OR WIRING FEEDING ANY EXISTING TO REMAIN DEVICES OR FIXTURES. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
- W3. REMOVE HOLLOW METAL WINDOW SYSTEM AND ASSOCIATED GLAZING AND THE GYP SUPPORT WALL BELOW COMPLETE. PREP REMAINING WALL HEADER / JAMBS FOR NEW WORK.
- W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
- W5. REMOVE EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING COMPLETE. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- W6. EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- W7. EXISTING FIRE EXTINGUISHER BE REMOVED AND TURNED OVER TO OWNER.
- W8. REMOVE WALL MOUNTED WIREMOLD / CONDUIT COMPLETE, INCLUDING ALL ASSOCIATED WIRING AND ACCESSORIES. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK.
- W9. REMOVE ELECTRICAL / TECHNOLOGY DEVICES AND ALL ASSOCIATED MONITOR MOUNTS AND ACCESSORIES COMPLETE. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK. REFER TO ELECTRICAL AND TECHNOLOGY DRAWINGS.

CEILING DEMOLITION KEYED NOTES

- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
- C1B. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN.
- C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
- C3. REMOVE EXISTING SUPPLY DIFFUSERS AND RETURN AIR GRILLES AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO MECH).
- C4. REMOVE EXISTING CEILING MOUNTED TRACK, SUPPORT, GRID SYSTEM AND ALL ASSOCIATED EQUIPMENT, LIGHTING, CONDUIT, WIRING, ETC COMPLETE.
- C5. REMOVE EXISTING SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLE.
- C6. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
- C7. EXISTING RADANT HEATING TILE SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- C8. REMOVE SPEAKER AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO ELEC.).
- C9. REMOVE MULTI-MONITOR SUSPENSION SYSTEM COMPLETE, INCLUDING ALL ASSOCIATED SUPPORTS, WIRING, AND STRUCTURE ABOVE CEILING.

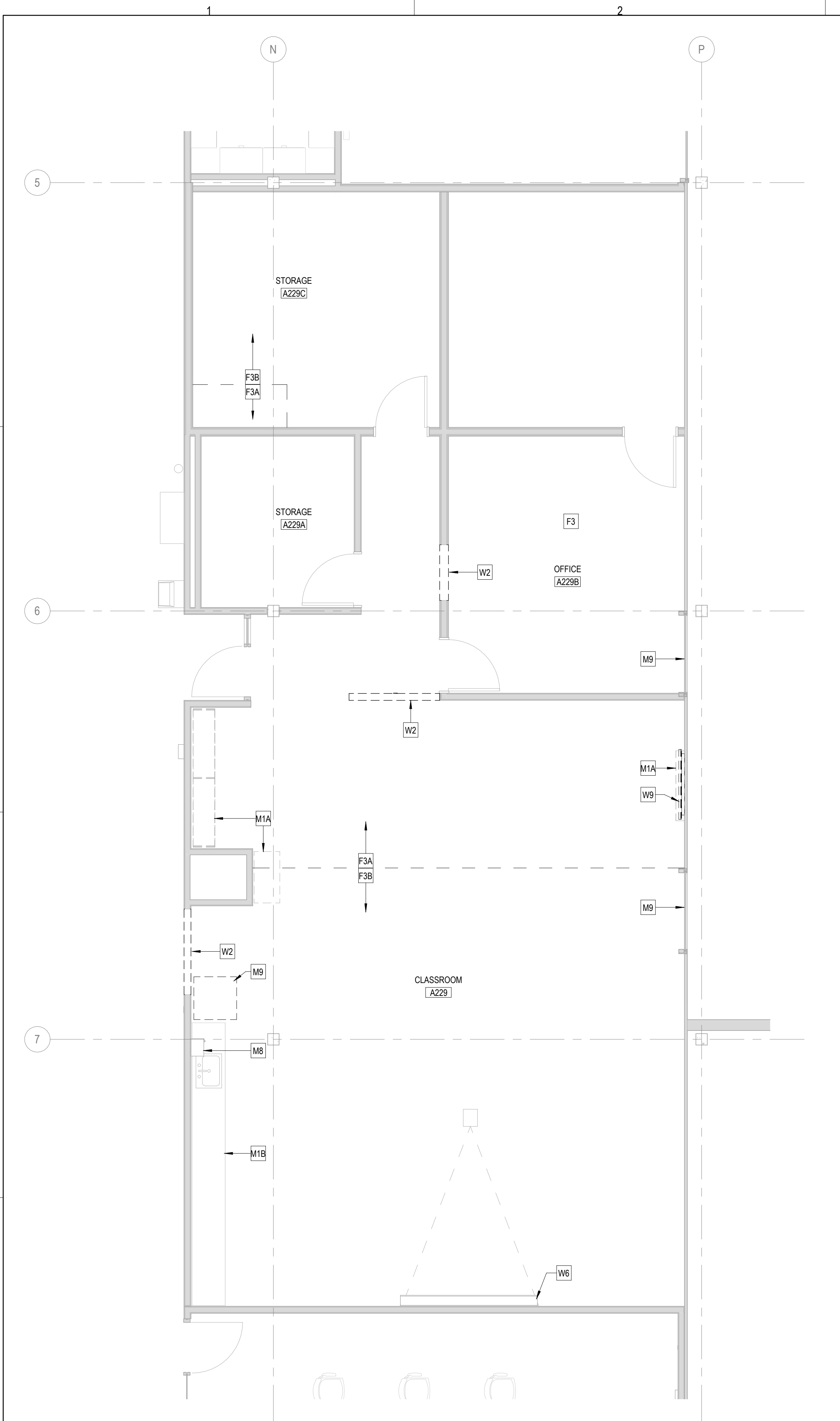
MISCELLANEOUS DEMOLITION KEYED NOTES

- M1A. REMOVE EXISTING COUNTERTOPS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
- M1B. EXISTING COUNTERTOPS, SINKS, AND BASE CABINETS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M2. EXISTING IT EQUIPMENT TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M3. REMOVE MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
- M4. REMOVE EXISTING METAL GRILLE, FOLDING PARTITION SYSTEM COMPLETE, INCLUDING ALL TRACKS, MOUNTS, SECONDARY SUPPORTING STRUCTURE, AND SUPPORT ENCLOSURES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK. EXISTING PRIMARY STEEL STRUCTURE ABOVE SHALL BE EXISTING TO REMAIN.
- M5. REMOVE GYP END PANEL COMPLETE AT FOLDING PARTITION END.
- M6. PROVIDE DUST ENCLOSURE TO EXISTING CEILING. DUST ENCLOSURE TO REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION.
- M7. EXISTING, DOOR & FRAME TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M8. EXISTING PAPER TOWEL DISPENSER TO REMAIN. PROTECT THROUGH CONSTRUCTION.
- M9. EXISTING WINDOW SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M10. REMOVE THE FRIDGE AND TURN OVER TO OWNER.

2 DEMO PLAN - CAL CLASSROOM
1/4" = 1'-0"

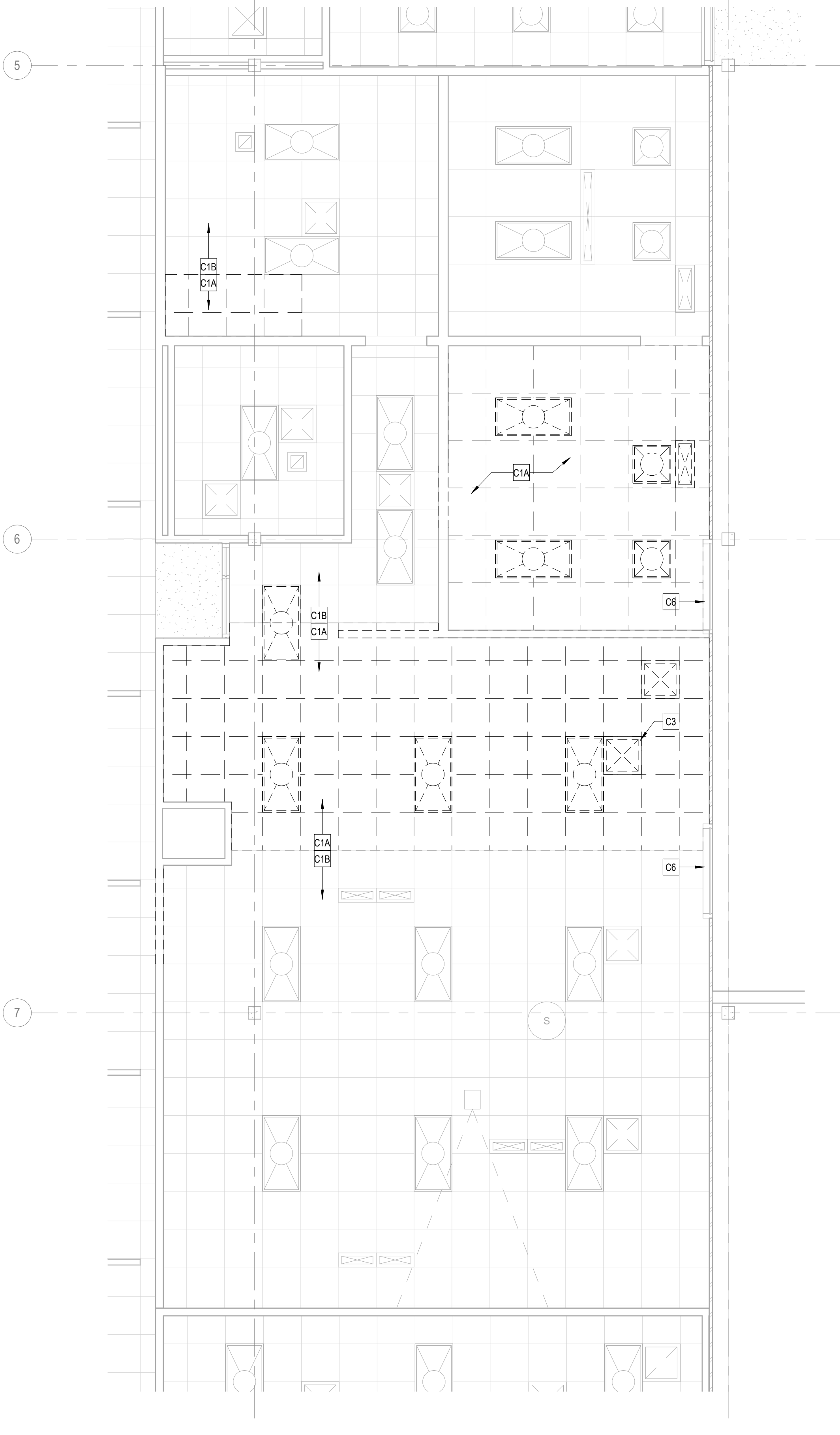
3 DEMO PLAN - EMS CLASSROOM
1/4" = 1'-0"

1 DEMO PLAN - FIRE SCIENCE
1/4" = 1'-0"



1 DEMO PLAN - A-229
1/4" = 1'-0"

2 DEMO RCP - A-229
1/4" = 1'-0"



MISCELLANEOUS DEMOLITION KEYED NOTES

- M1A. REMOVE EXISTING COUNTERTOPS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
- M1B. EXISTING COUNTERTOPS, SINKS, AND BASE CABINETS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M2. EXISTING IT EQUIPMENT TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M3. REMOVE MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
- M4. REMOVE EXISTING METAL GRILLE, FOLDING PARTITION SYSTEM COMPLETE, INCLUDING ALL TRACKS, MOUNTS, SECONDARY SUPPORTING STRUCTURE, AND SUPPORT ENCLOSURES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK. EXISTING PRIMARY STEEL STRUCTURE ABOVE SHALL BE EXISTING TO REMAIN.
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- M10. REMOVE THE FRIDGE AND TURN OVER TO OWNER.

DEMO SYMBOLS LEGEND:

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- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
- GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
- GYPSUM BOARD OR PLASTER CEILING TO REMAIN
- RECESSED 2x4' LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x2' LAY-IN LIGHT FIXTURE TO BE REMOVED
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- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
- WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
- CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCUMBER THE USE OF EXISTING ADJACENT SPACES.
- EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
- REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
- REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
- REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
- NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
- ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
- REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES.
- PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXISTING ELECTRICAL DEVICES - REFER TO ELECTRICAL DRAWINGS.

DEMO REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
- F3. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR AREA FOR NEW FLOOR FINISH.
- F3A. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES TO EXTENTS.
- F3B. EXISTING FLOOR FINISH TO REMAIN.
- F4. NOT USED.
- F5. EXISTING FLOOR BOXES TO REMAIN - PREP COVER AS REQUIRED FOR NEW FINISH INSERT.

WALL DEMOLITION KEYED NOTES

- W1. REMOVE EXISTING CMU WALL TO EXTENTS INDICATED. BRACE EXISTING CMU AS REQUIRED FOR TIE-IN TO NEW WORK. PATCH AND PREP ADJACENT CMU WALLS AS REQUIRED FOR NEW WORK.
- W2. REMOVE GYP / MTL STUD PARTITION TO EXTENTS INDICATED. RELOCATE ANY PIPING OR WIRING FEEDING ANY EXISTING TO REMAIN DEVICES OR FIXTURES. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
- W3. REMOVE HOLLOW METAL WINDOW SYSTEM AND ASSOCIATED GLAZING AND THE GYP SUPPORT WALL BELOW COMPLETE. PREP REMAINING WALL HEADER / JAMBS FOR NEW WORK.
- W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
- W5. REMOVE EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING COMPLETE. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- W6. EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- W7. EXISTING FIRE EXTINGUISHER BE REMOVED AND TURNED OVER TO OWNER.
- W8. REMOVE WALL MOUNTED WIREMOLD / CONDUIT COMPLETE, INCLUDING ALL ASSOCIATED WIRING AND ACCESSORIES. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK.
- W9. REMOVE ELECTRICAL / TECHNOLOGY DEVICES AND ALL ASSOCIATED MONITOR MOUNTS AND ACCESSORIES COMPLETE. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK. REFER TO ELECTRICAL AND TECHNOLOGY DRAWINGS.

CEILING DEMOLITION KEYED NOTES

- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
- C1B. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN.
- C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
- C3. REMOVE EXISTING SUPPLY DIFFUSERS AND RETURN AIR GRILLES AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO MECH).
- C4. REMOVE EXISTING CEILING MOUNTED TRACK, SUPPORT, GRID SYSTEM AND ALL ASSOCIATED EQUIPMENT, LIGHTING, CONDUIT, WIRING, ETC COMPLETE.
- C5. REMOVE EXISTING SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLE.
- C6. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
- C7. EXISTING RADIANT HEATING TILE SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- C8. REMOVE SPEAKER AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO ELEC.).
- C9. REMOVE MULTI-MONITOR SUSPENSION SYSTEM COMPLETE, INCLUDING ALL ASSOCIATED SUPPORTS, WIRING, AND STRUCTURE ABOVE CEILING.



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024

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FOR CONSTRUCTION

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SHEET TITLE:

**DEMOLITION PLANS -
BP1**

SHEET NUMBER:

AD1.11

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DKA PROJECT NO: 24-031

KEY PLAN:

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NO.	DESCRIPTION:	DATE:

SHEET TITLE:
DEMOLITION RCP - BP1

SHEET NUMBER:
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DEMO SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- HATCH INDICATES AREA NOT IN SCOPE
- GYPSUM BOARD OR PLASTER PARTITION TO BE REMOVED
- CMU PARTITION TO BE REMOVED
- FRAME AND DOOR TO BE REMOVED, SALVAGE HARDWARE TO OWNER
- SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED
- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
- GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
- GYPSUM BOARD OR PLASTER CEILING TO REMAIN
- RECESSED 2x4' LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x2' LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x4' LAY-IN LIGHT FIXTURE TO REMAIN
- RECESSED 2x2' LAY-IN LIGHT FIXTURE TO REMAIN
- LINEAR LIGHT FIXTURE TO BE REMOVED
- REMOVE CEILING MOUNTED PROJECTOR - SALVAGE TO OWNER
- RETURN AIR GRILLE TO BE REMOVED
- SUPPLY AIR GRILLE TO BE REMOVED
- RETURN AIR GRILLE TO REMAIN
- SUPPLY AIR GRILLE TO REMAIN

DEMO GENERAL NOTES:

- PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
- REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
- WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
- CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCUMBER THE USE OF EXISTING ADJACENT SPACES.
- EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
- REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
- REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
- REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
- NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
- ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
- REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES.
- PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXISTING ELECTRICAL DEVICES - REFER TO ELECTRICAL DRAWINGS.

DEMO REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
- F3. REMOVE CARPET / BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR AREA FOR NEW FLOOR FINISH.
- F3A. REMOVE CARPET / BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES TO EXTENTS.
- F3B. EXISTING FLOOR FINISH TO REMAIN.
- F4. NOT USED.
- F5. EXISTING FLOOR BOXES TO REMAIN - PREP COVER AS REQUIRED FOR NEW FINISH INSERT.

WALL DEMOLITION KEYED NOTES

- W1. REMOVE EXISTING CMU WALL TO EXTENTS INDICATED. BRACE EXISTING CMU AS REQUIRED FOR TIE-IN TO NEW WORK. PATCH AND PREP ADJACENT CMU WALLS AS REQUIRED FOR NEW WORK.
- W2. REMOVE GYP / MTL STUD PARTITION TO EXTENTS INDICATED. RELOCATE ANY PIPING OR WIRING FEEDING ANY EXISTING TO REMAIN DEVICES OR FIXTURES. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
- W3. REMOVE HOLLOW METAL WINDOW SYSTEM AND ASSOCIATED GLAZING AND THE GYP SUPPORT WALL BELOW COMPLETE. PREP REMAINING WALL HEADER / JAMBS FOR NEW WORK.
- W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
- W5. REMOVE EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING COMPLETE. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- W6. EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- W7. EXISTING FIRE EXTINGUISHER BE REMOVED AND TURNED OVER TO OWNER.
- W8. REMOVE WALL MOUNTED WIREMOLD / CONDUIT COMPLETE, INCLUDING ALL ASSOCIATED WIRING AND ACCESSORIES. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK.
- W9. REMOVE ELECTRICAL / TECHNOLOGY DEVICES AND ALL ASSOCIATED MONITOR MOUNTS AND ACCESSORIES COMPLETE. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK. REFER TO ELECTRICAL AND TECHNOLOGY DRAWINGS.

CEILING DEMOLITION KEYED NOTES

- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
- C1B. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN.
- C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
- C3. REMOVE EXISTING SUPPLY DIFFUSERS AND RETURN AIR GRILLES AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO MECH).
- C4. REMOVE EXISTING CEILING MOUNTED TRACK, SUPPORT, GRID SYSTEM AND ALL ASSOCIATED EQUIPMENT, LIGHTING, CONDUIT, WIRING, ETC COMPLETE.
- C5. REMOVE EXISTING SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLE.
- C6. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
- C7. EXISTING RADIAN HEATING TILE SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- C8. REMOVE SPEAKER AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO ELEC.).
- C9. REMOVE MULTI-MONITOR SUSPENSION SYSTEM COMPLETE, INCLUDING ALL ASSOCIATED SUPPORTS, WIRING, AND STRUCTURE ABOVE CEILING.

MISCELLANEOUS DEMOLITION KEYED NOTES

- M1A. REMOVE EXISTING COUNTERTOPS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
- M1B. EXISTING COUNTERTOPS, SINKS, AND BASE CABINETS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M2. EXISTING IT EQUIPMENT TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M3. REMOVE MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
- M4. REMOVE EXISTING METAL GRILLE, FOLDING PARTITION SYSTEM COMPLETE, INCLUDING ALL TRACKS, MOUNTS, SECONDARY SUPPORTING STRUCTURE, AND SUPPORT ENCLOSURES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK. EXISTING PRIMARY STEEL STRUCTURE ABOVE SHALL BE EXISTING TO REMAIN.
- M5. REMOVE GYP END PANEL COMPLETE AT FOLDING PARTITION END.
- M6. PROVIDE DUST ENCLOSURE TO EXISTING CEILING. DUST ENCLOSURE TO REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION.
- M7. EXISTING, DOOR & FRAME TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M8. EXISTING PAPER TOWEL DISPENSER TO REMAIN. PROTECT THROUGH CONSTRUCTION.
- M9. EXISTING WINDOW SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M10. REMOVE THE FRIDGE AND TURN OVER TO OWNER.



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
**ISSUED FOR BID - NOT
FOR CONSTRUCTION**

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
**OVERALL PLANS -
BP1**

SHEET NUMBER:

A0.10



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SHEET TITLE:
FLOOR PLANS - BP1

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A1.10

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FLOOR PLAN & SECTION SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- GREY TONE LINES DEPICT EXISTING CONSTRUCTION
- EXISTING DOOR
- NEW WALL CONSTRUCTION
- NEW DOOR
- ROOM NAME
- ROOM TAG
- DOOR / FRAME TAG
- WINDOW TAG
- PARTITION TYPE
- PARTITION MODIFIERS - REFER TO A10.01
- PLAN AND SECTION DETAIL CALLOUT
- SECTION CALLOUT
- ELEVATION CALLOUT
- DATUM TAG
- NEW WORK REFERENCED NOTES
- FLOOR DRAIN - REFER TO PLUMBING
- SURFACE-MOUNTED EXTINGUISHER CABINET
- SEMI-RECESSED EXTINGUISHER CABINET
- RECESSED EXTINGUISHER CABINET
- LENGTH SPECIFIED MARKERBOARD

FLOOR PLAN GENERAL NOTES:

- ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO FIRST FLOOR FINISH ELEVATION OF 0'-0".
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO WORK COMMENCING.
- NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING CONDITIONS AND IN-FIELD DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- PROVIDE ACCESS PANELS AT LOCATIONS INDICATED AND AS REQUIRED FOR ACCESS TO EQUIPMENT AND DEVICES INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING AND ELECTRICAL WORK. PAINT ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING FINISH.

FLOOR PLAN REFERENCED NOTES:

- EXISTING FLOOR BOXES WITH POWER TO REMAIN. COORDINATE WITH NEW FLOORING FOR FLUSH INSTALLATION.
- EXISTING MARKER BOARD AND PROJECTOR TO BE SALVAGED AND REINSTALLED.
- INFL. OPENING WITH GYP. WALL TO MATCH EXISTING ADJACENT WALL CONSTRUCTION - TIE INTO JAMBS / HEAD AS REQUIRED FOR FLUSH INSTALLATION (REFER TO DEMO).
- EXISTING DOOR TO REMAIN. SEAL AT THE BEGINNING OF CONSTRUCTION FOR DUST CONTROL AND PROTECT THROUGHOUT CONSTRUCTION.
- PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXISTING MILLWORK.
- EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC. WALL MOUNTED SHELVING TO REMAIN - PROTECT THROUGHOUT CONSTRUCTION.
- 8" CMU STACK BOND WALL +/- 10" HIGH TO ALIGN WITH ADJACENT EXISTING CMU WALL TO REMAIN. TIE END OF NEW CMU WALL INTO EXISTING CMU WALL TO REMAIN FOR CONTINUOUS CONNECTION. PROVIDE CMU BOND BEAM / INFL. CMU ABOVE DOOR AS REQUIRED. CONTRACTOR RESPONSIBLE TO PROVIDE A COMPLETE TIE IN BETWEEN EXISTING CMU WALL TO REMAIN AND COLUMN R26 AND S26.
- GC TO FIELD VERIFY EXISTING LOCATION OF FLOOR BOXES WITH NEW WALL LOCATION AND REVIEW WITH OWNER / ARCHITECT PRIOR TO START OF CONSTRUCTION.
- NEW WALLS TO ENCLOSE EXISTING DUCT. PROVIDE ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS TO ANY J-BOXES OR CONTROLS.
- PROJECTION SCREEN BY OWNER.
- PROVIDE COLOR-FORMED METAL FRAMING KICKERS, ANCHORED TO TOP OF EXISTING NEW CMU WALLS AND RUN TO STRUCTURE ABOVE TO PROVIDE LATERAL BRACING OF CMU WALLS. SPACE KICKERS AS REQUIRED FOR PROPER SUPPORT.
- CONTRACTOR RESPONSIBLE FOR LIFTING / MOVING THE IT RACK IN ORDER TO COMPLETE FLOORING / BASE / PAINT INSTALLATION.
- EXISTING MILLWORK TO REMAIN.

2 FLOOR PLAN - CAL CLASSROOM
1/4" = 1'-0"

3 FLOOR PLAN - EMS CLASSROOM
1/4" = 1'-0"

1 FLOOR PLAN - FIRE SCIENCE
1/4" = 1'-0"



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2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO:24-031

KEY PLAN:

SHEET STATUS: 7/24/20
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SHEET TITLE:
FLOOR PLANS - BP1

SHEET NUMBER:

A1.11

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NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

GREY TONE LINES DEPICT EXISTING CONSTRUCTION

EXISTING DOOR

NEW WALL CONSTRUCTION

NEW DOOR

ROOM NAME

ROOM TAG

DOOR / FRAME TAG

WINDOW TAG

PARTITION TYPE

PARTITION MODIFIERS - REFER TO A10.01

1 A101 1 ELEVATION CALLOUT

DATUM DATUM TAG

NEW WORK REFERENCED NOTES

 FLOOR DRAIN - REFER TO PLUMBING

 SURFACE-MOUNTED EXTINGUISHER CABINET

 SEMI-RECESSED EXTINGUISHER CABINET

 RECESSED EXTINGUISHER CABINET

X' MB/T	LENGTH SPECIFIED MARKERBOARD
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99	99
100	100

1. ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO FIRST FLOOR ELEVATION OF 0'-0".
2. DO NOT SCALE DRAWINGS.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO WORK COMMENCING.
4. NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING CON AND IN-FIELD DIMENSIONS PRIOR TO COMMENCING WORK.
6. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
7. PROVIDE ACCESS PANELS AT LOCATIONS INDICATED AND AS REQUIRED FOR ACCESS TO ELECTRICAL AND MECHANICAL DEVICES INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING, ELECTRICAL WORK, PAINT ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING.

1. EXISTING FLOOR BOXES WITH POWER TO REMAIN. COORDINATE WITH NEW FLOORING INSTALLATION.
2. REMOVE EXISTING WINDOW AND PROJECTOR TO BE SALVAGED AND REINSTALLED.
3. INFILL OPENING WITH GYP' WALL TO MATCH EXISTING ADJACENT WALL. CONSTRUCT JOINTS IN JAMS AS REQUIRED FOR FLUSH INSTALLATION (REFER TO DEMO).
4. MATCH EXISTING TO REMAIN WALLS TO MATCH EXISTING CONSTRUCTION FOR MATCH EXISTING PROTECT THROUGHOUT CONSTRUCTION.
5. PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXIST. HEAD.
6. EXISTING MARKERSBOARD, CORK BOARD, PROJECTOR SCREEN, OR MUSIC WALL MOUNT. SHELVE TO REMAIN - PROTECT THROUGHOUT CONSTRUCTION.
7. REMOVE EXISTING WINDOW AND PROJECTOR TO BE SALVAGED AND REINSTALLED. WALL REMAIN. THE END OF NEW CMU WALL TO EXISTING CMU WALL TO REMAIN FOR CONTINUOUS CONNECTION. PROVIDE CMU BOND BEAM INFILL ABOVE DOOR AND ABOVE PROJECTOR SCREEN. PROVIDE CMU TO START OF PARTITION TIE IN BETWEEN EXISTING CMU WALL TO REMAIN AND COLUMN R-26 AND S-26.
8. GO TO FIELD VERIFY EXISTING LOCATION OF FLOOR BOXES WITH NEW WALL LOCATION. PROVIDE PROJECTOR SCREEN AS REQUIRED TO START OF PARTITION.
9. NEW WALLS TO ENCLOSE EXISTING DOOR. PROVIDE ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS TO ANY BOXES OR CONTROLS.
10. PROTECTOR SCREEN BY OWNER.
11. PROVIDE COLORMATCHED METAL FRAMING KICKERS, ANCHORED TO TOP OF EXISTING CMU WALLS AND RUN TO STRUCTURE ABOVE TO PROVIDE LATERAL BRACING OF CMU WALLS.
12. PROVIDE PROJECTOR SCREEN TO MATCH EXISTING CONSTRUCTION.
13. CONTRACTOR RESPONSIBLE FOR LIFTING METHOD TO IT RACK IN ORDER TO COMPLY WITH EXISTING PARTITION REMOVAL.
14. EXISTING MILLWORK TO REMAIN.

FLOOR PLAN - A229
1/4" = 1'-0"



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
**ISSUED FOR BID - NOT
FOR CONSTRUCTION**

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
**REFLECTED CEILING
PLANS - BP1**

SHEET NUMBER:

A2.10

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RCP SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- CEILING TYPE
- CEILING ELEVATION AFF
- SUSPENDED ACOUSTICAL TILE CEILING
- GYPSUM BOARD CEILING OR SOFFIT
- LINEAR WOOD SLAT CEILING SYSTEM
- WOOD PANEL CEILING
- ROLLER SHADE (TYP.)
- WINDOW SHADE & POCKET
- RECESSED 2x4 LIGHT FIXTURE
- RECESSED 1x4 LIGHT FIXTURE
- RECESSED 2x2 LIGHT FIXTURE
- RECESSED LINEAR FIXTURE
- SMALL PENDANT LIGHT FIXTURE
- PENDANT LIGHT MOUNT FIXTURE
- RECESSED DOWN LIGHT
- PENDANT LIGHT MOUNT LINEAR FIXTURE
- SURFACE LIGHT MOUNT FIXTURE
- PENDANT LIGHT MOUNT FIXTURE
- SPRINKLER HEAD
- PENDANT LIGHT HUNG STRIP FIXTURE
- MOTORIZED SCREEN
- CEILING MOUNTED PROJECTOR
- SOLID HATCH DENOTES EXIT SIGN FACE PLATE
- DIRECTION OF EGRESS
- EXIT SIGN, WALL MOUNTED
- HEAT DETECTOR
- SMOKE DETECTOR
- FIRE ALARM DEVICE
- SPEAKER
- CLOSED CIRCUIT CAMERA
- OCCUPANT SENSOR
- WIRELESS ACCESS POINT
- LIGHT SENSOR
- RETURN AIR GRILLE
- SUPPLY AIR GRILLE
- LINEAR DIFFUSER - SUPPLY/RETURN
- ACCESS PANEL
- CABINET UNIT HEATER

RCP GENERAL NOTES:

- ALL HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS FOR REFERENCE AND COORDINATION ONLY. REFER TO HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ACTUAL QUANTITIES. IN CASE OF CONFLICT THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF THESE ITEMS.
- IN AREAS THAT DO NOT HAVE ARCHITECTURAL REFLECTED CEILING PLANS YET REQUIRE NEW ITEMS TO BE INSTALLED IN OR ABOVE THE CEILING PLANE, CONTRACTOR SHALL REMOVE AND REINSTALL, REPLACE OR MODIFY EXISTING CEILING CONSTRUCTION TO ACCOMMODATE NEW WORK. ANY NEW CEILING AREAS SHALL MATCH EXISTING ADJACENT FINISHES.
- CENTER ALL FIXTURES IN CEILING TILES AND FIELD VERIFY GRID LAYOUT FOR PROPER FIXTURE LOCATION. ALIGN ALL FIXTURES IN BOTH DIRECTIONS OF CEILING TILE. (UNO)
- CENTER ALL SPRINKLER HEADS IN CEILING TILES.
- ALL GYP. BD. CEILINGS TO BE PAINTED PT-1 UNLESS OTHERWISE NOTED ON PLANS
- EXTEND FACE OF ALL GYP. BD. SOFFITS AND HEADERS 6" MIN. BEYOND FINISHED CEILING ABOVE U.N.O.

RCP REFERENCED NOTES:

- NEW ROLLER SHADES.
- EXISTINGS RADANT HEATING TILE TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING CEILING TO REMAIN - PULL BACK GRID AND REMOVE TILES AS NEEDED FOR NEW WALL CONSTRUCTION. RE-INSTALL GRID TO NEW WALL AND CUT TILES AS REQUIRED FOR NEW WALL LAYOUT.
- TIE-IN NEW CEILING SYSTEM TO EXISTING CEILING SYSTEM. ALIGN NEW GRIDS WITH EXISTING LAYOUT.
- CONTRACTOR TO CONFIRM EXISTING CEILING HEIGHT. DESIGN INTENT FOR NEW CEILING TO BE INSTALLED AT SAME HEIGHT AS EXISTING CEILING TO BE REMOVED.

CEILING TYPES:

TYPE	DESCRIPTION
0	EXPOSED STRUCTURE
1	2X2 ACOUSTICAL PANEL SYSTEM
2	1/2" PAINTED GYP BOARD ON METAL FRAMING

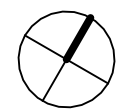
2 REFLECTED CEILING PLAN - CAL CLASSROOM
1/4" = 1'-0"

3 REFLECTED CEILING PLAN - EMS CLASSROOM
1/4" = 1'-0"

1 REFLECTED CEILING PLAN - FIRE SCIENCE
1/4" = 1'-0"



1 REFLECTED CEILING PLAN - A229
1/4" = 1'-0"



RCP SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- CEILING TYPE
- CEILING ELEVATION AFF
- SUSPENDED ACOUSTICAL TILE CEILING
- GYP SUM BOARD CEILING OR SOFFIT
- LINEAR WOOD SLAT CEILING SYSTEM
- WOOD PANEL CEILING
- ROLLER SHADE (TYP.)
- WINDOW SHADE & POCKET
- RECESSED 2'x2' LIGHT FIXTURE
- RECESSED 1'x4' LIGHT FIXTURE
- RECESSED 2'x2' FIXTURE
- RECESSED LINEAR FIXTURE
- SMALL PENDANT LIGHT FIXTURE
- PENDANT LIGHT MOUNT FIXTURE
- RECESSED DOWN LIGHT
- PENDANT LIGHT MOUNT LINEAR FIXTURE
- SURFACE LIGHT MOUNT FIXTURE
- PENDANT LIGHT MOUNT FIXTURE
- SPRINKLER HEAD
- PENDANT LIGHT HUNG STRIP FIXTURE
- MOTORIZED SCREEN
- CEILING MOUNTED PROJECTOR
- SOLID HATCH DENOTES EXIT SIGN FACE PLATE
- DIRECTION OF EGRESS
- EXIT SIGN, WALL MOUNTED
- HEAT DETECTOR
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- FIRE ALARM DEVICE
- SPEAKER
- CLOSED CIRCUIT CAMERA
- OCCUPANT SENSOR
- WIRELESS ACCESS POINT
- LIGHT SENSOR
- RETURN AIR GRILLE
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RCP GENERAL NOTES:

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- ALL GYP. BD. CEILINGS TO BE PAINTED PT-1 UNLESS OTHERWISE NOTED ON PLANS
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RCP REFERENCED NOTES:

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- EXISTING CEILING TO REMAIN - PULL BACK GRID AND REMOVE TILES AS NEEDED FOR NEW WALL CONSTRUCTION. RE-INSTALL GRID TO NEW WALL AND CUT TILES AS REQUIRED FOR NEW WALL LAYOUT.
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CEILING TYPES:

TYPE	DESCRIPTION
0	EXPOSED STRUCTURE
1	2X2 ACOUSTICAL PANEL SYSTEM
2	1/2" PAINTED GYP BOARD ON METAL FRAMING



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024

ISSUED FOR BID - NOT
FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
REFLECTED CEILING
PLANS - BP1

SHEET NUMBER:

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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
**ISSUED FOR BID - NOT
FOR CONSTRUCTION**

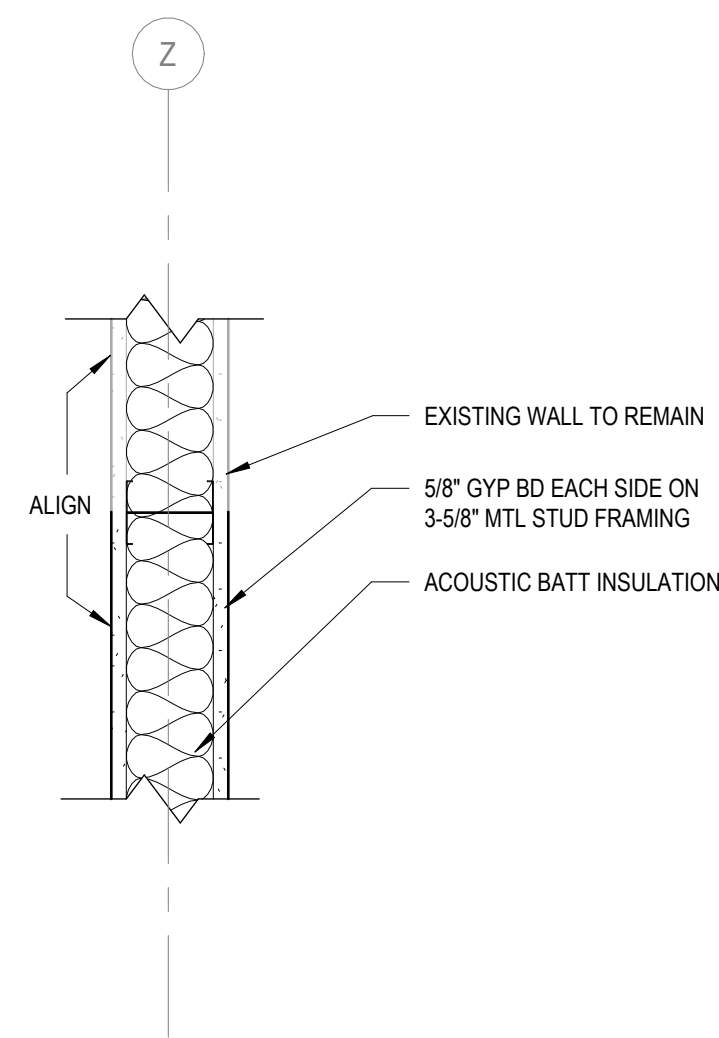
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**INTERIOR
ELEVATIONS &
DETAILS - BP1**

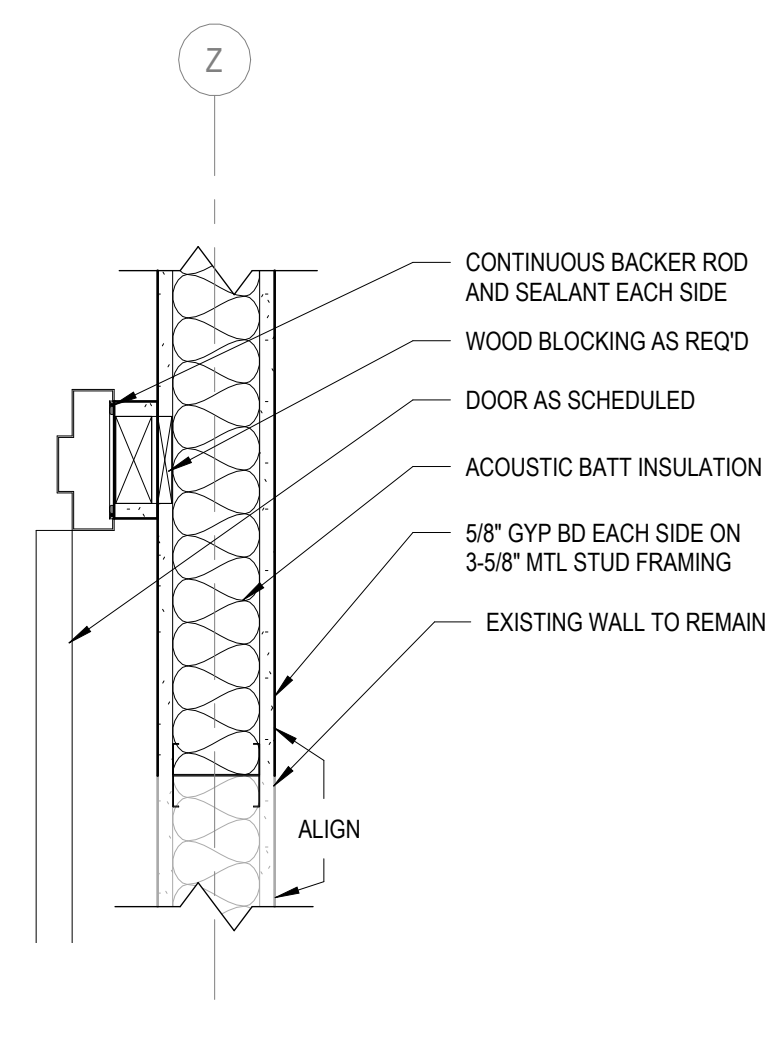
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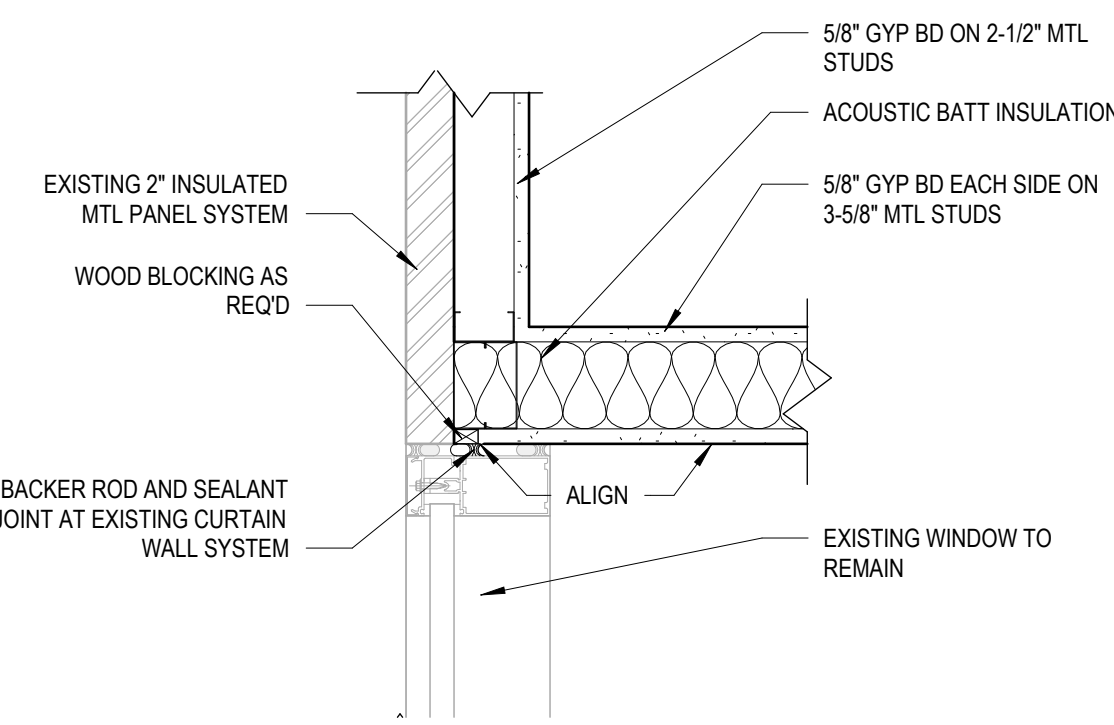
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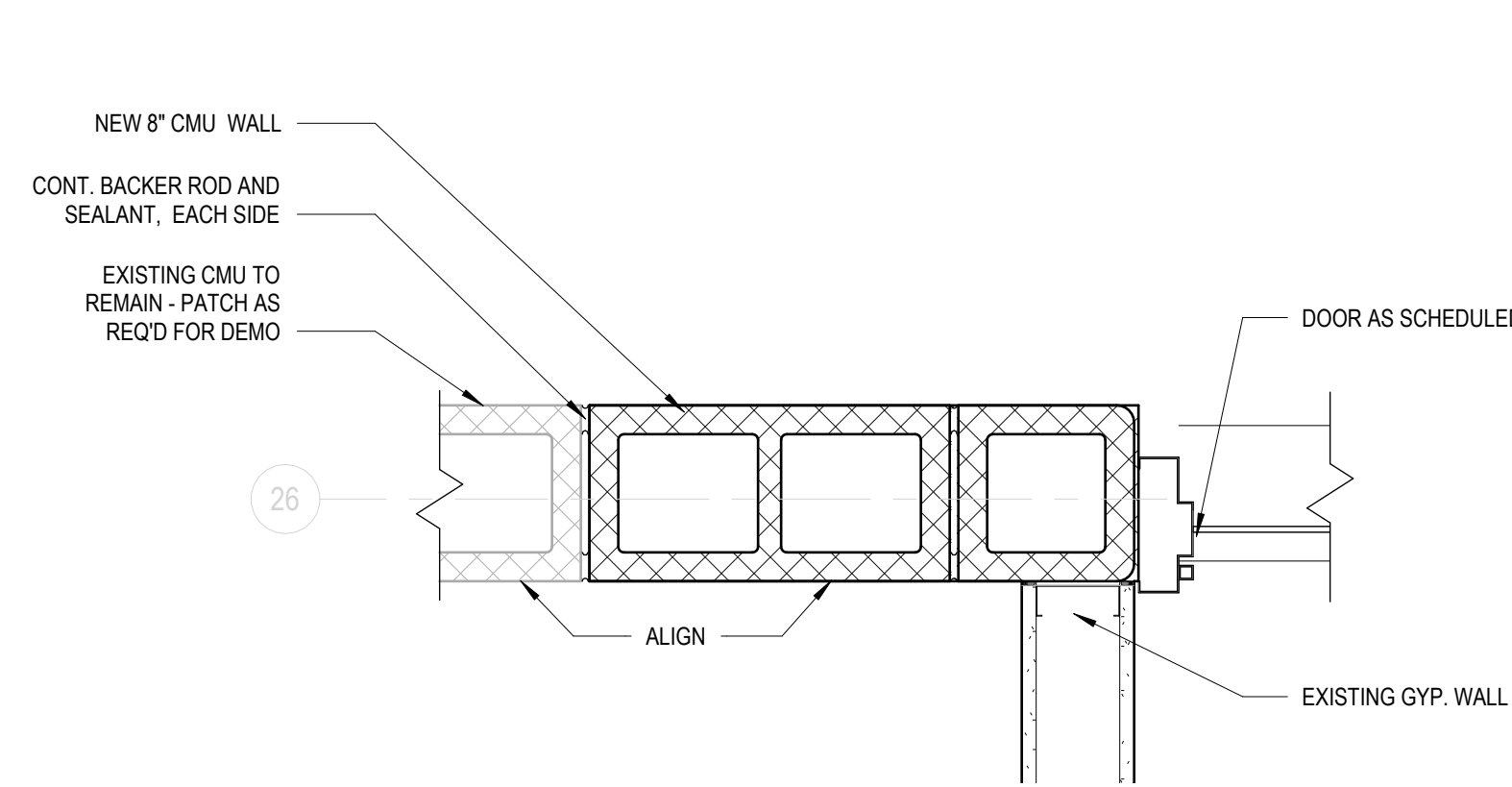
1 PLAN DETAIL
1 1/2" = 1'-0"



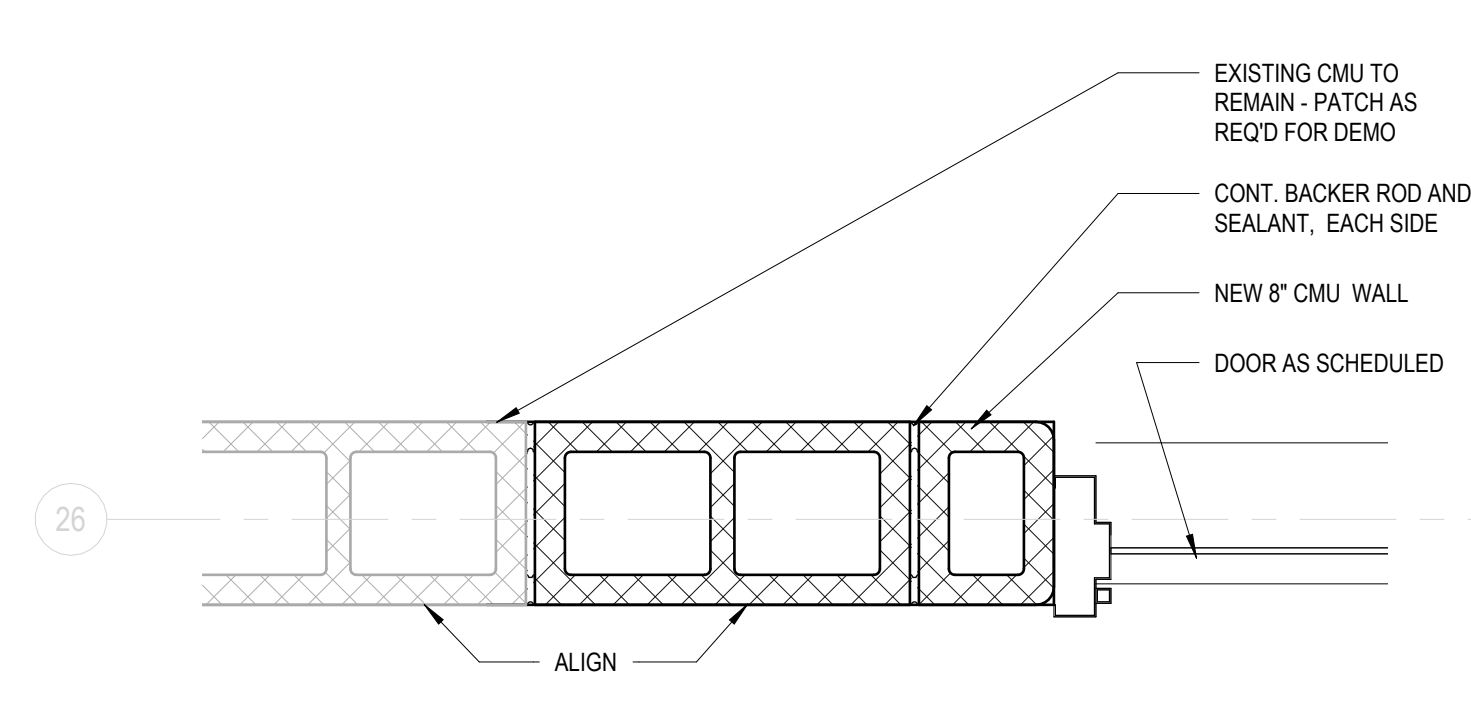
2 PLAN DETAIL
1 1/2" = 1'-0"



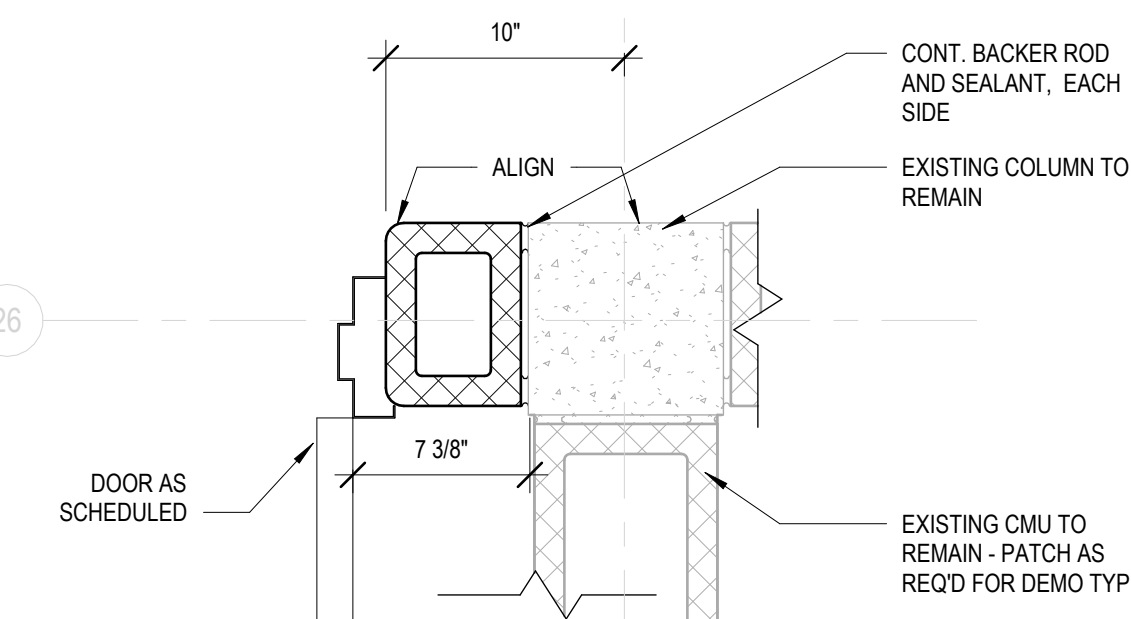
3 Detail 5
1 1/2" = 1'-0"



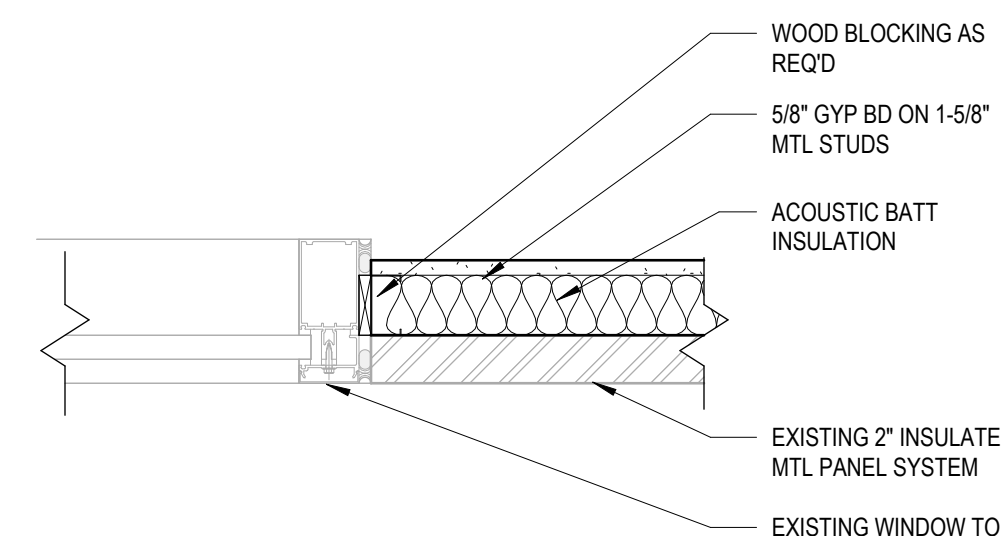
4 PLAN DETAIL
1 1/2" = 1'-0"



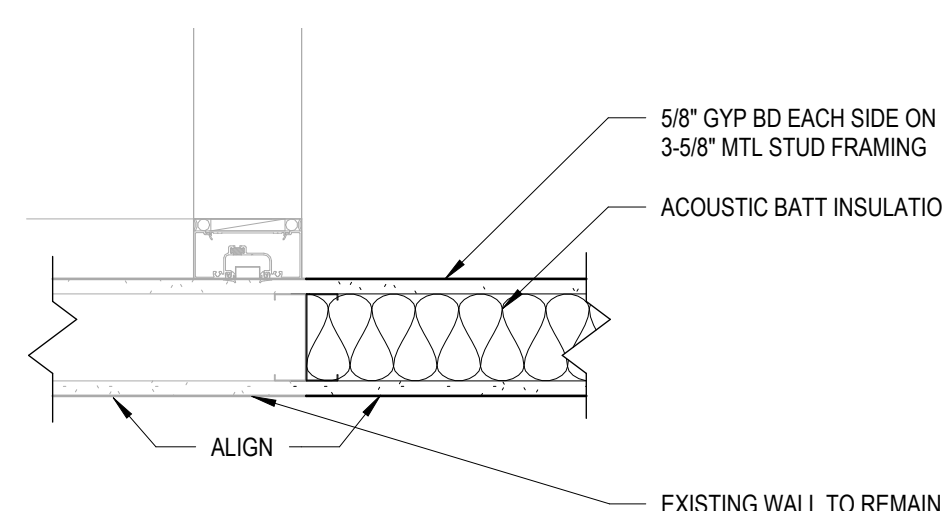
5 PLAN DETAIL
1 1/2" = 1'-0"



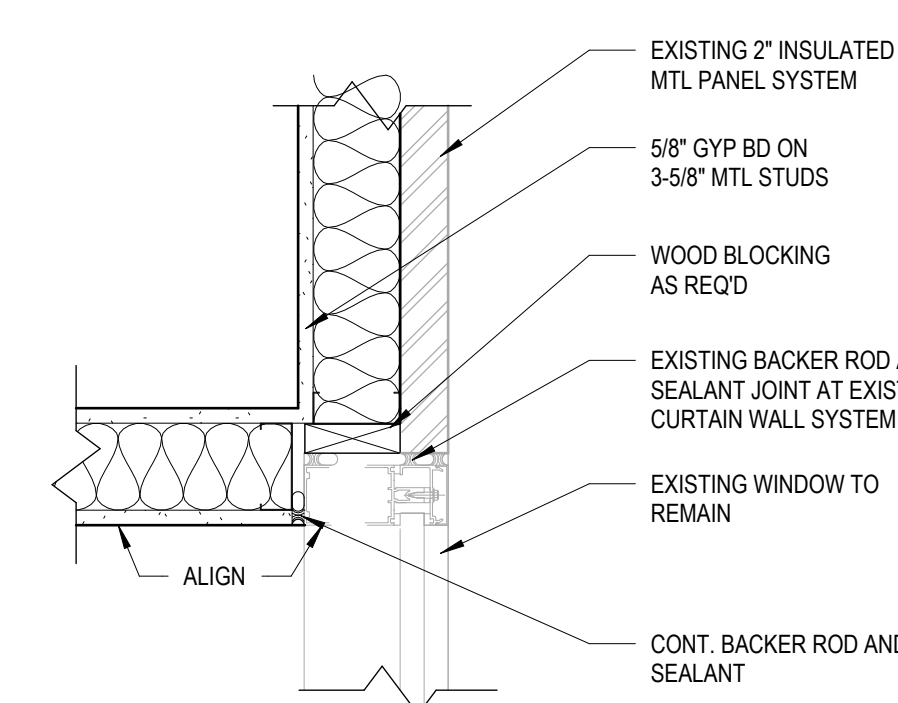
6 PLAN DETAIL
1 1/2" = 1'-0"



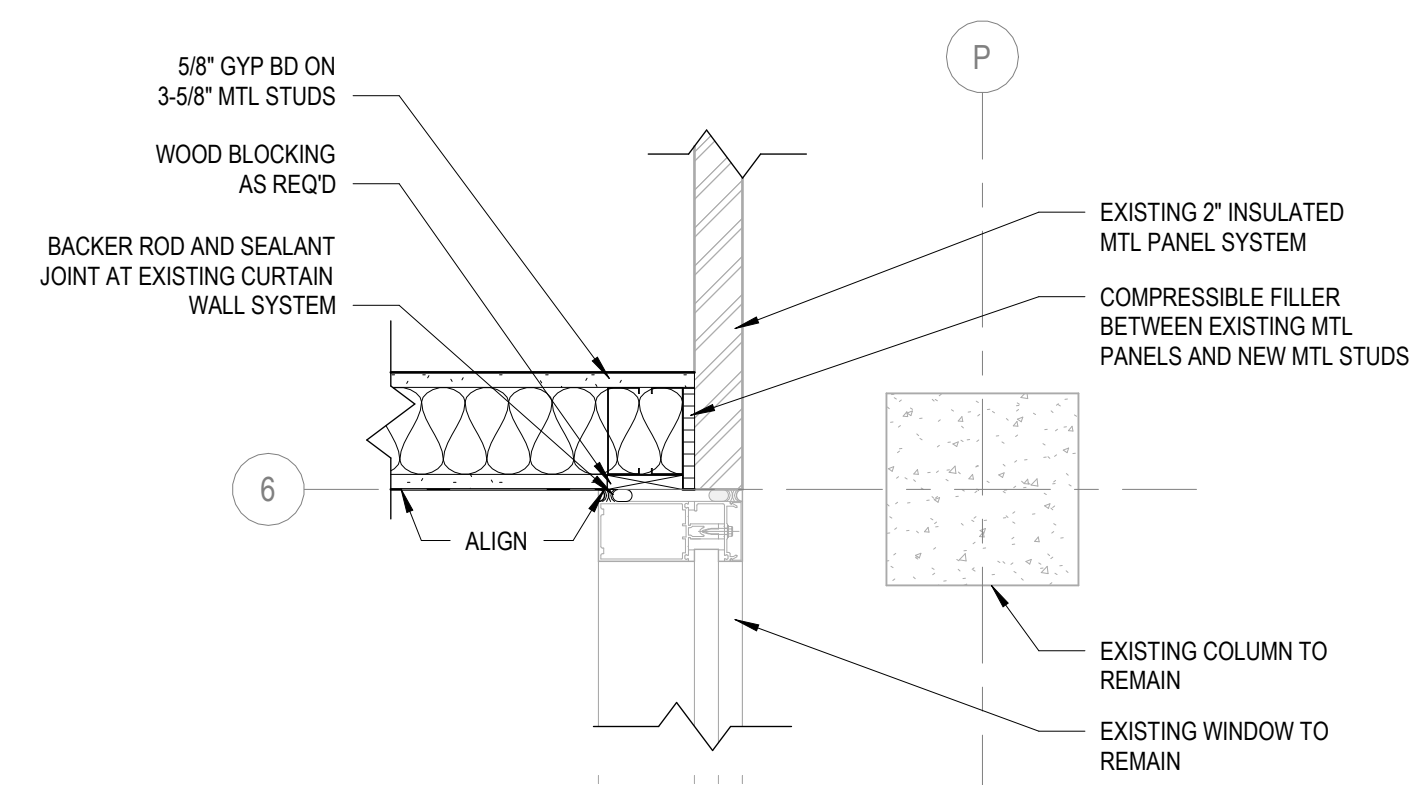
7 PLAN DETAIL
1 1/2" = 1'-0"



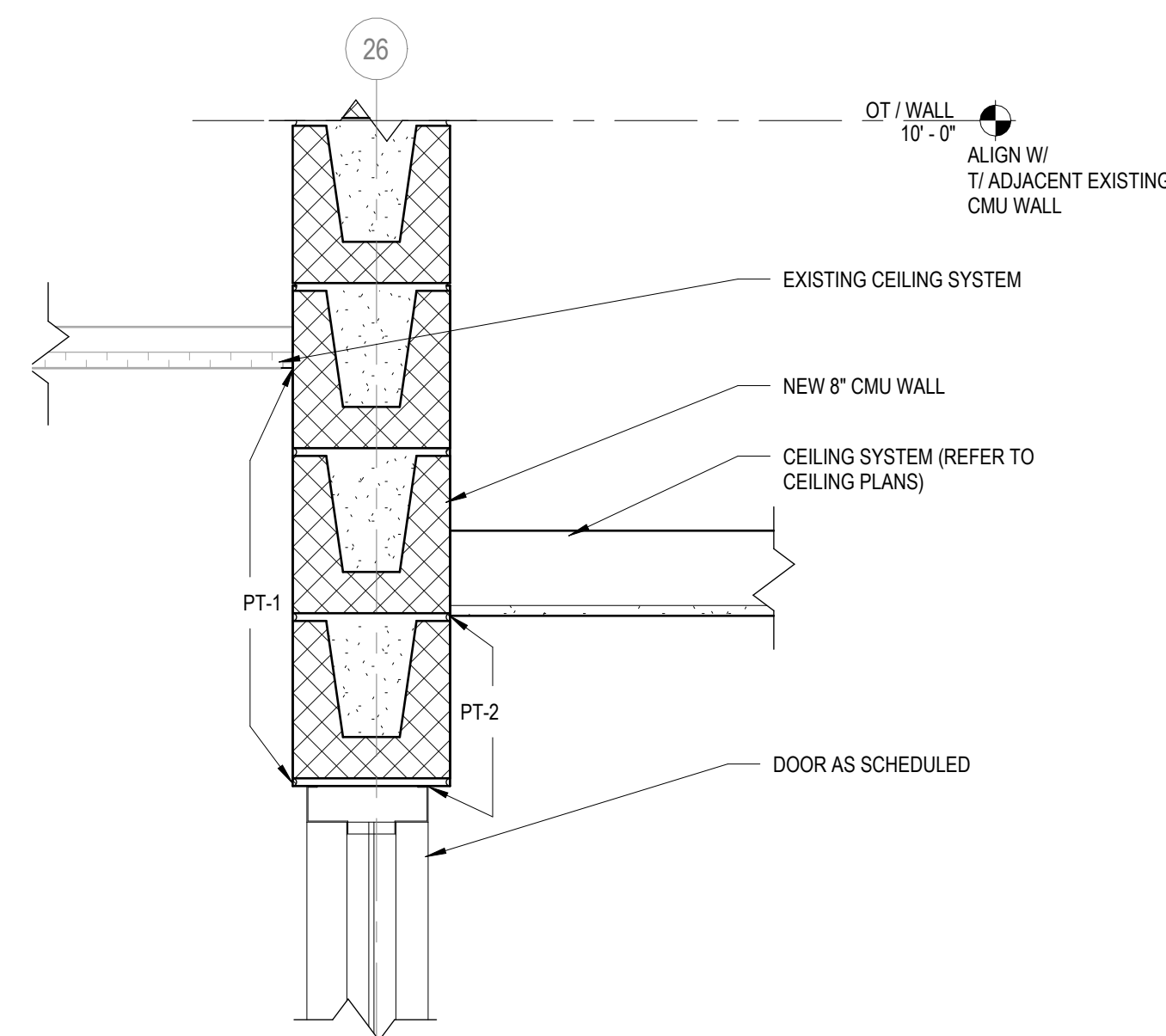
8 PLAN DETAIL
1 1/2" = 1'-0"



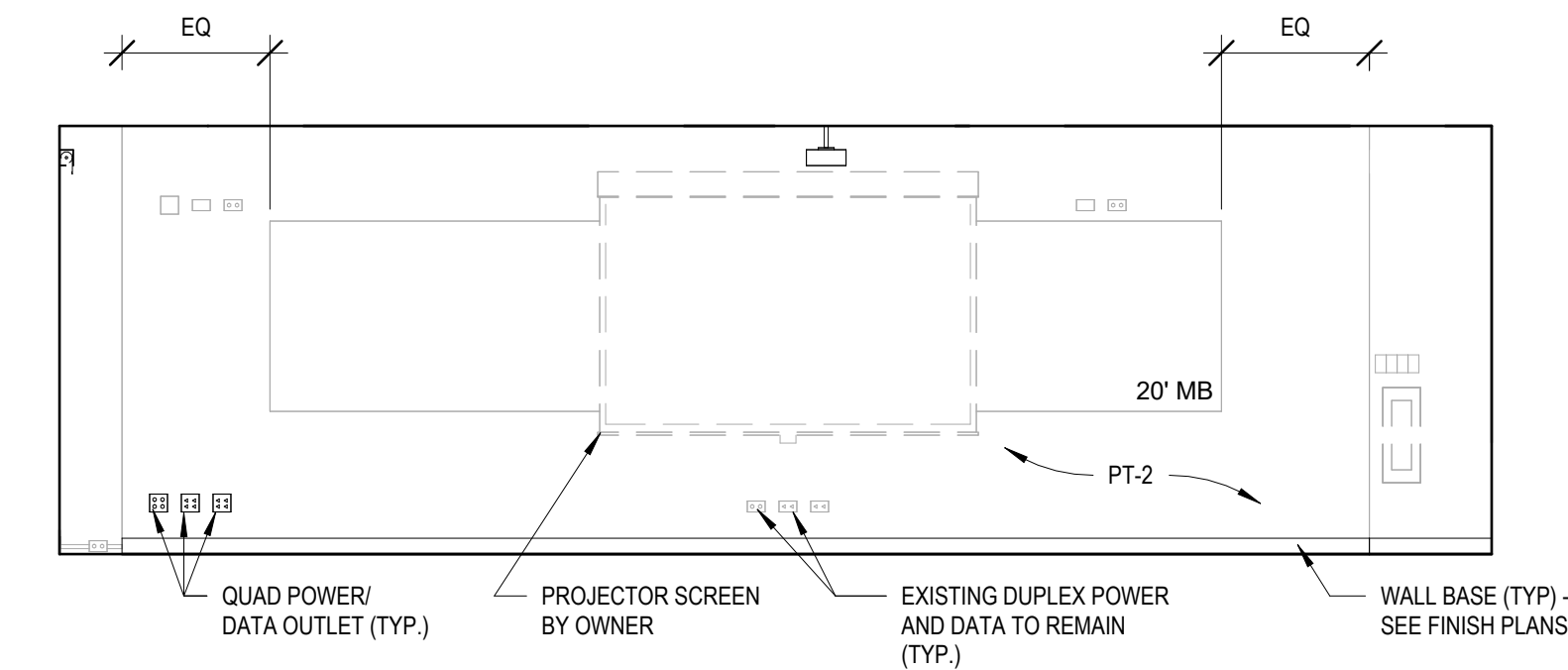
9 PLAN DETAIL
1 1/2" = 1'-0"



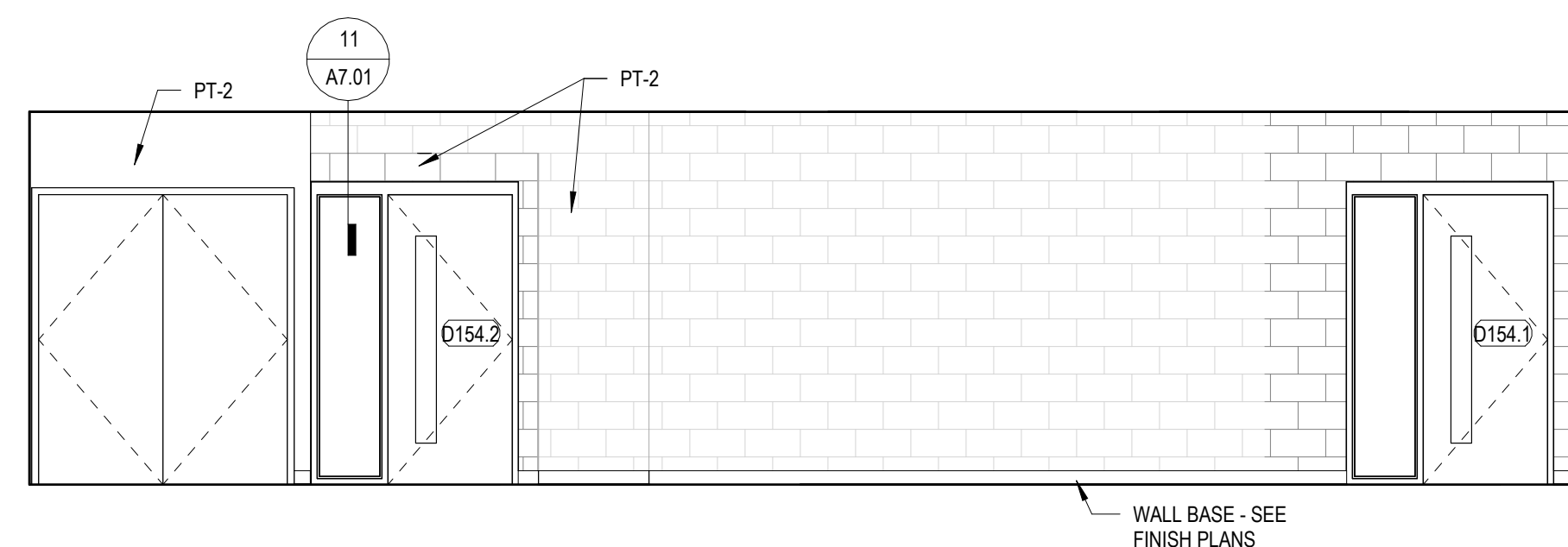
10 Detail 2
1 1/2" = 1'-0"



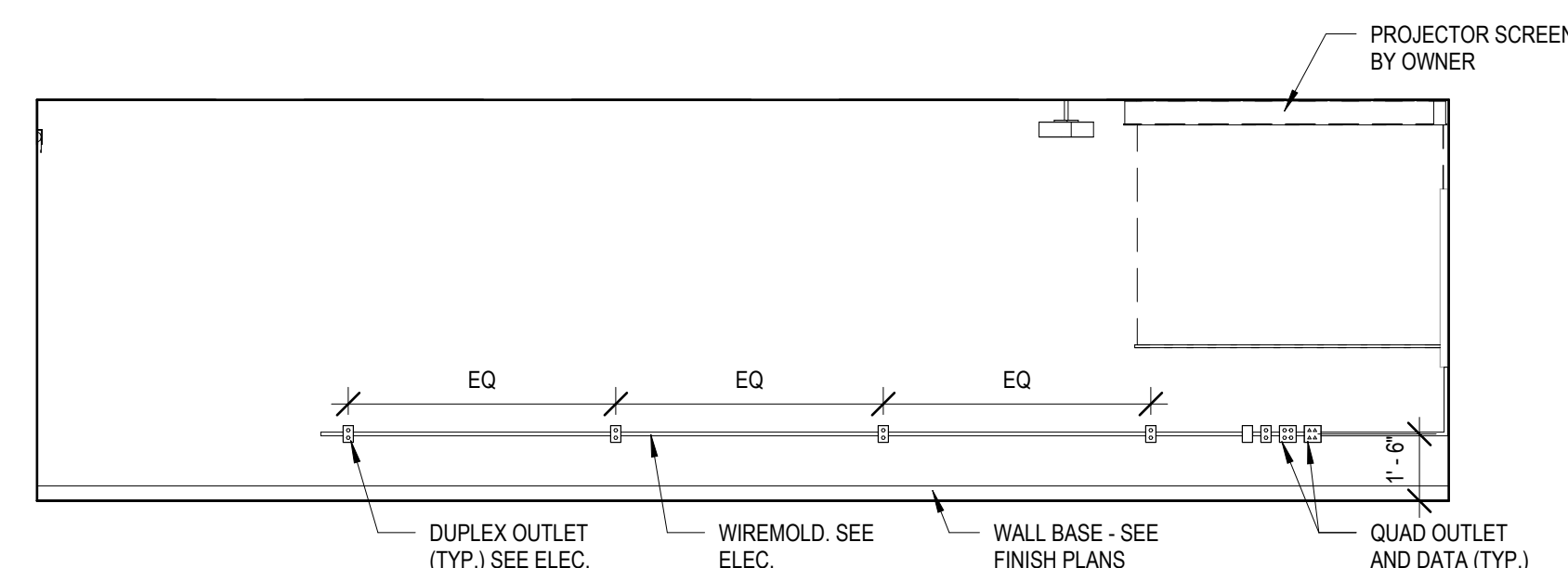
11 CEILING DETAIL
1 1/2" = 1'-0"



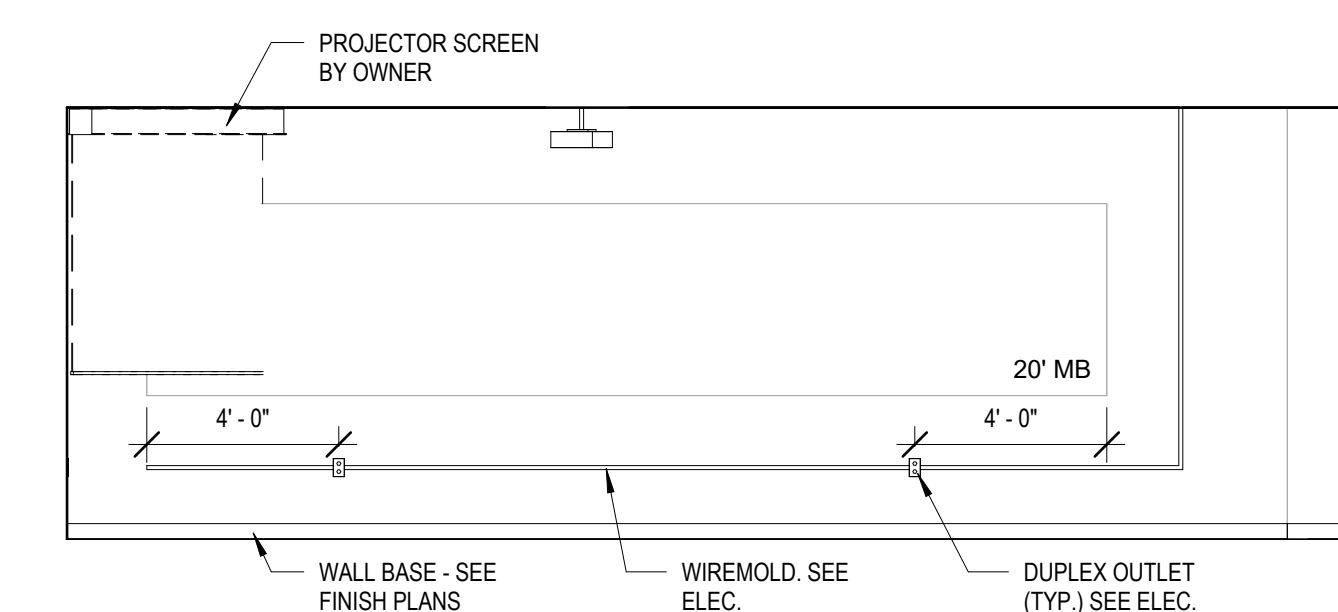
13 FIRE SCIENCE CLASSROOM - EAST ELEVATION
1/4" = 1'-0"



14 CAL CLASSROOM/ CONFERENCE - NORTH ELEVATION
1/4" = 1'-0"

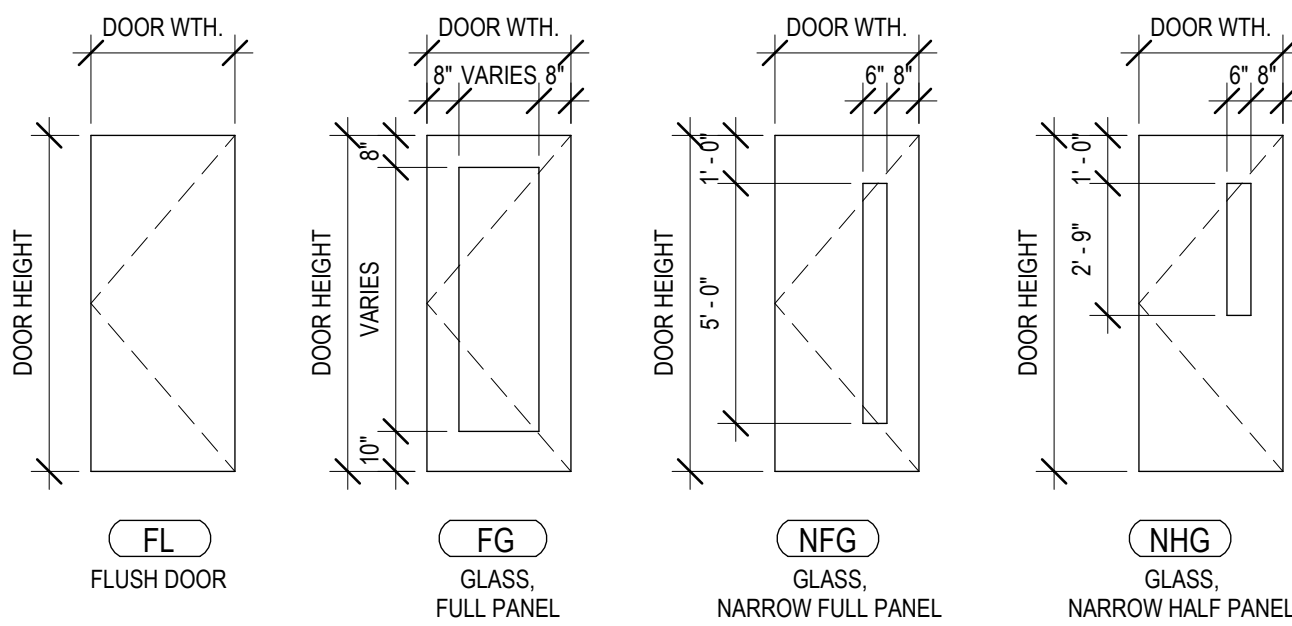


15 EMS CLASSROOM - NORTH ELEVATION
1/4" = 1'-0"

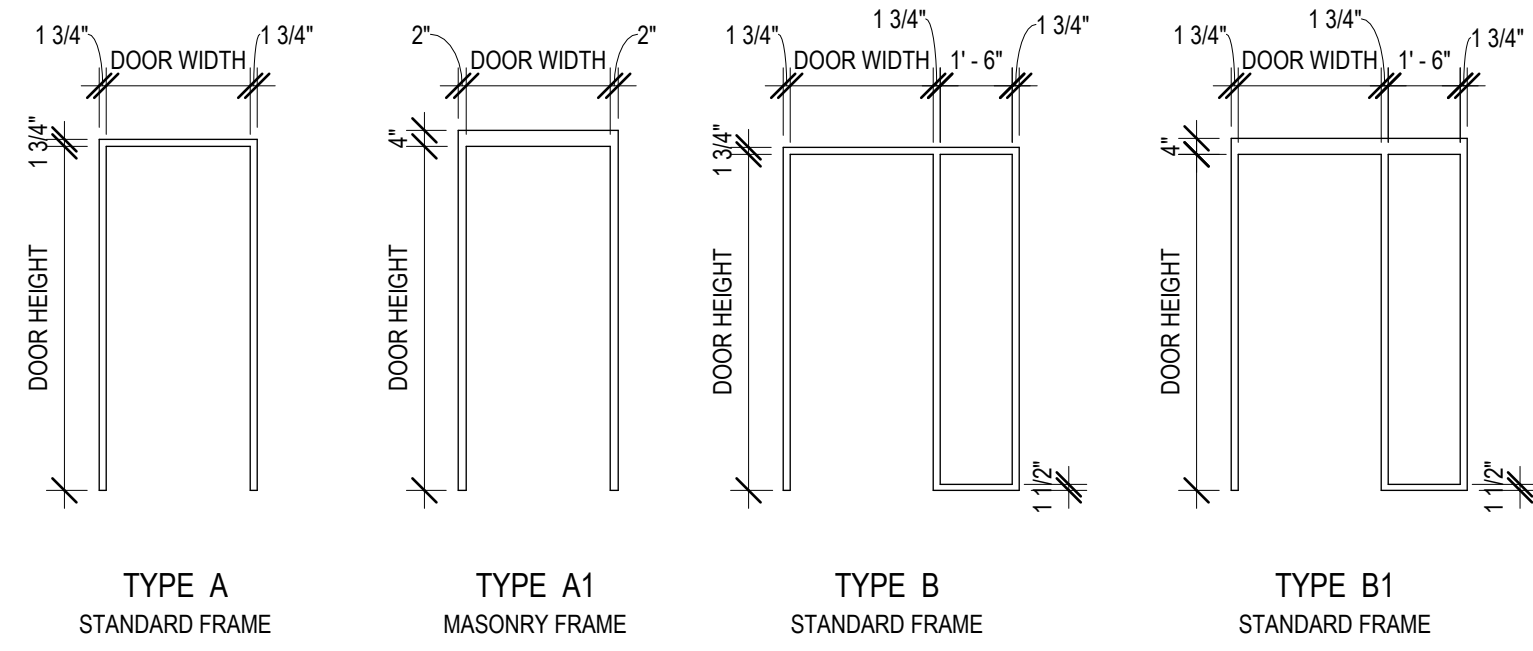


16 EMS CLASSROOM - EAST ELEVATION
1/4" = 1'-0"

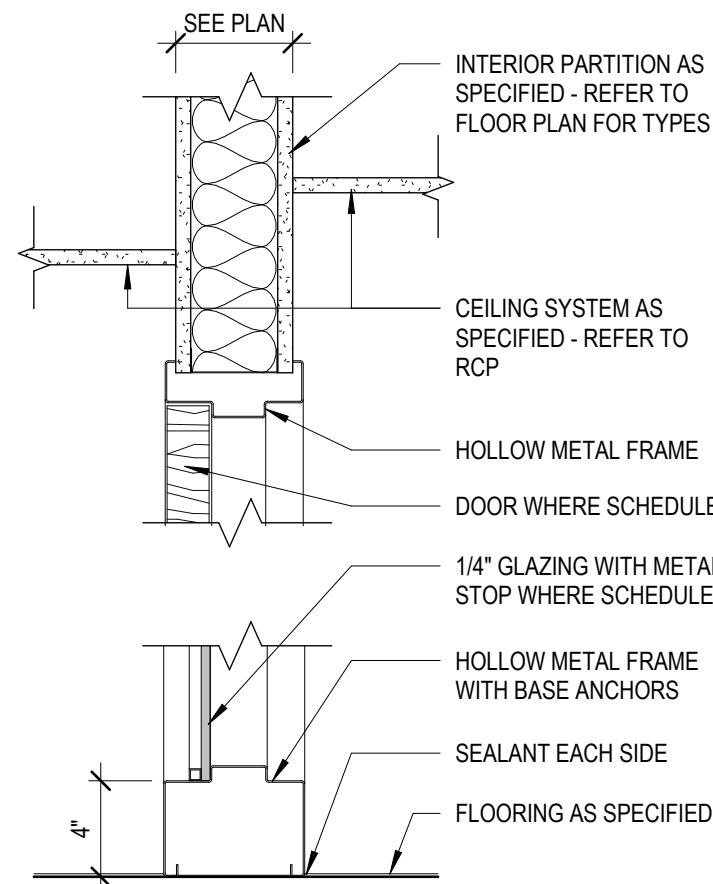
DOOR AND FRAME SCHEDULE												
DOOR							FRAME					
NUMBER	ROOM NAME	WIDTH	HEIGHT	FIRE RATING	MATERIAL	ELEV	GLAZING TYPE	MATERIAL	ELEV	GLAZING TYPE	HARDWARE SET	REMARKS
A229	CLASSROOM	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	AL	B	GL-02 (1/2")	HS-01	
A229D	OFFICE	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	AL	A	-	HS-02	
A229F	OFFICE	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	AL	A	-	HS-02	
A229G	OFFICE	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	AL	A	-	HS-02	
D154.1	CLASSROOM	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	HM	B1	GL-02 (1/2")	HS-01	
D154.2	CONFERENCE ROOM	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	HM	B1	GL-02 (1/2")	HS-01	
D154A	OFFICE	3'-0"	7'-0"	-	WD	FG	GL-03 (3/8")	HM	B	GL-02 (1/2")	HS-02	
D154B	OFFICE	3'-0"	7'-0"	-	WD	FG	GL-03 (3/8")	HM	B	GL-02 (1/2")	HS-02	
D154D	STORAGE	6'-0"	7'-0"	-	WD	FL	-	HM	A	-	HS-04	
E104A	OFFICE	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	HM	B	GL-02 (1/2")	HS-02	
E104B	STORAGE	3'-0"	7'-0"	-	WD	FL	-	HM	A	-	HS-03	



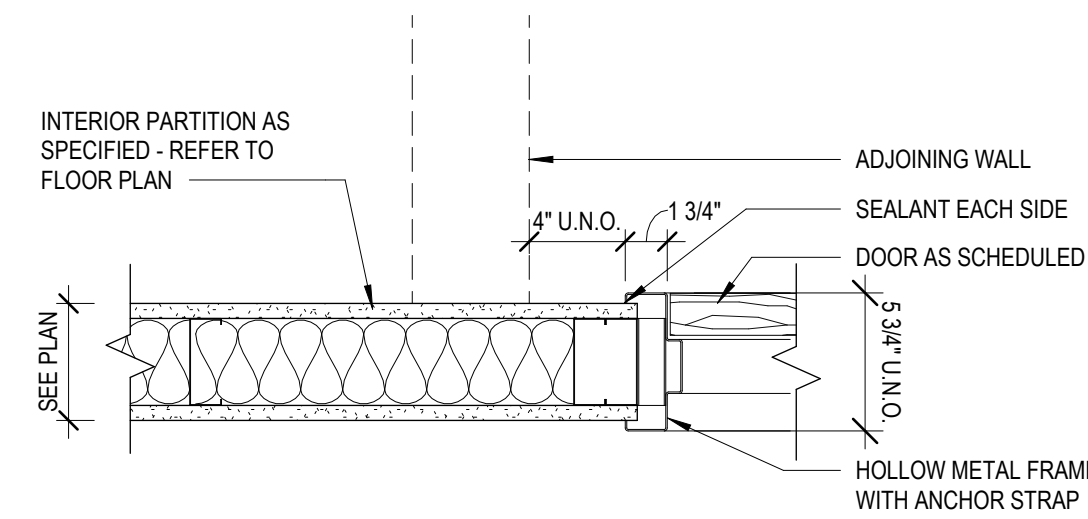
1 DOOR ELEVATIONS
1/4" = 1'-0"



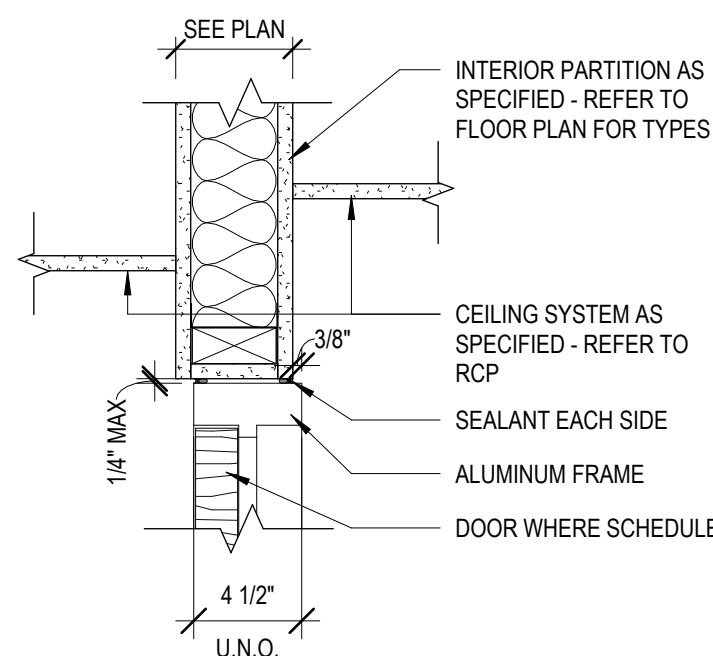
2 FRAME ELEVATIONS
1/4" = 1'-0"



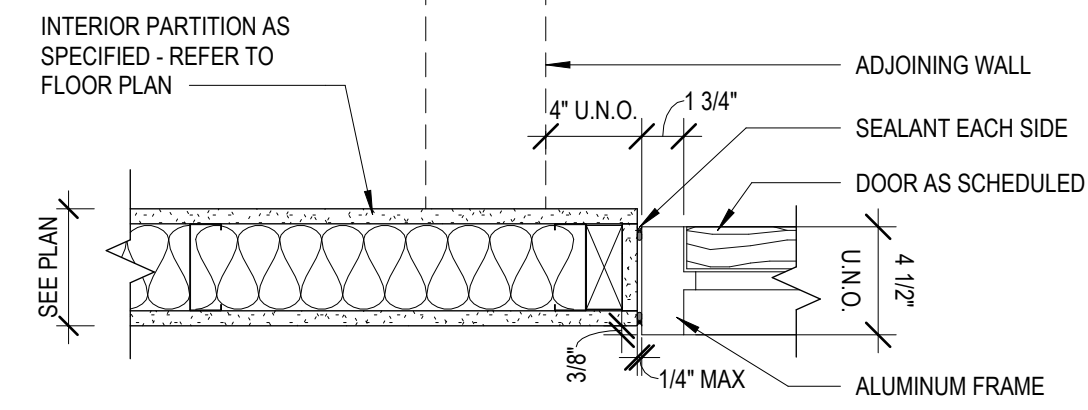
3 HOLLOW METAL FRAME - HEAD & SILL
1 1/2" = 1'-0"



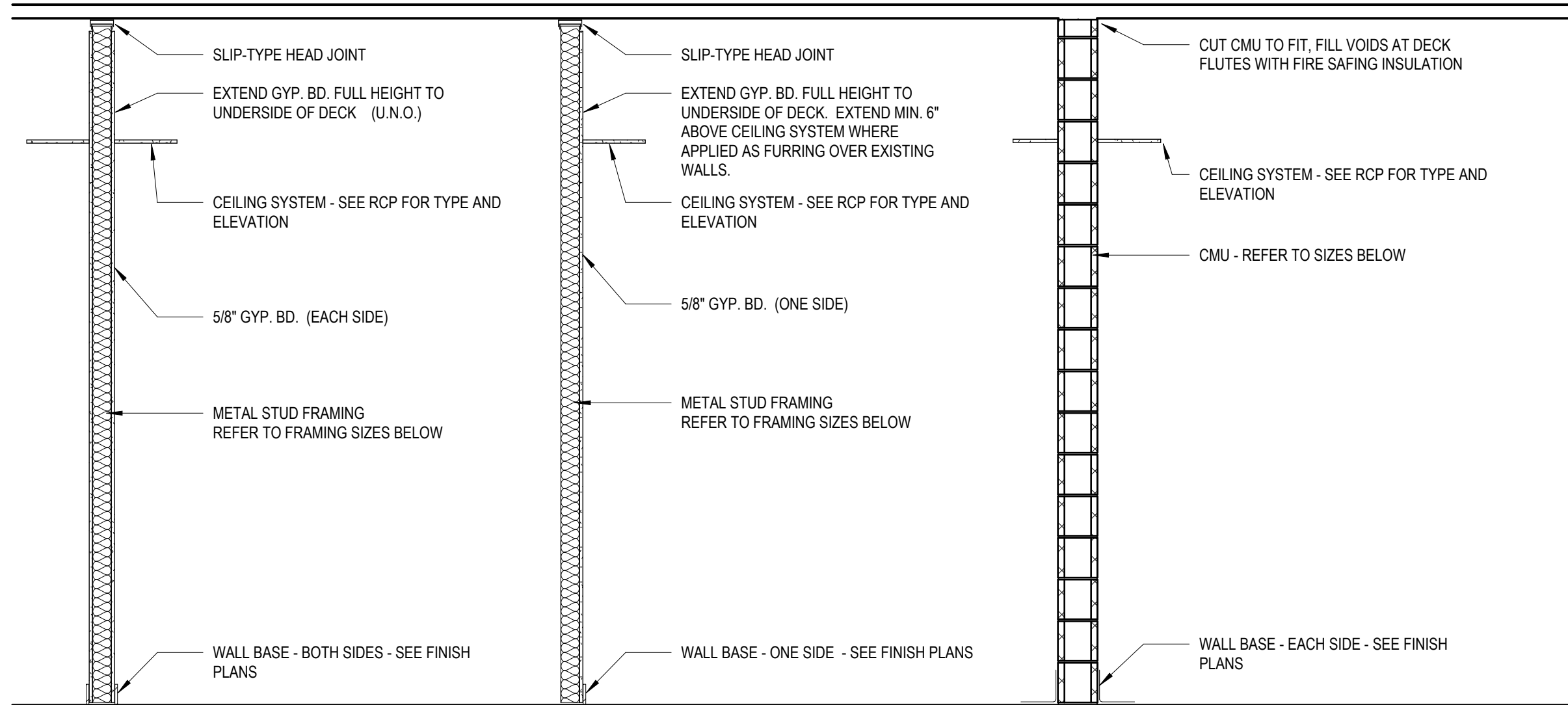
4 HOLLOW METAL FRAME - JAMB
1 1/2" = 1'-0"



5 ALUMINUM FRAME - HEAD
1 1/2" = 1'-0"



6 ALUMINUM FRAME - JAMB
1 1/2" = 1'-0"

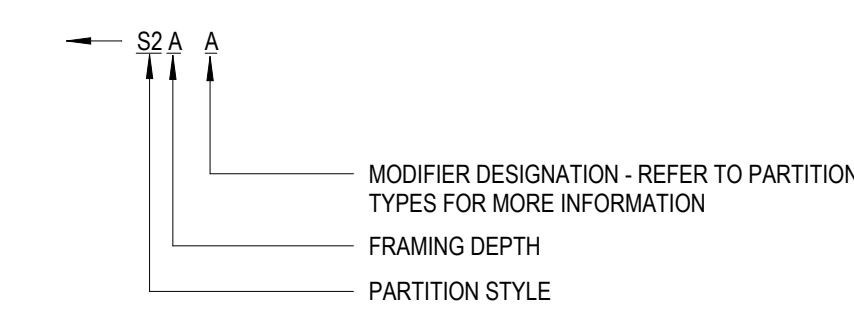


- A - GYP BD EACH SIDE
CONSTRUCT PER UL U419 AT SMOKE AND
1-HR FIRE RESISTANCE RATED PARTITIONS
- S1A 1-5/8" METAL STUD FRAMING
 - S2A 2-1/2" METAL STUD FRAMING
 - S3A 3-5/8" METAL STUD FRAMING
 - S4A 4" METAL STUD FRAMING
 - S6A 6" METAL STUD FRAMING

- B - GYP BD ONE SIDE
- S1B 1-5/8" METAL STUD FRAMING
 - S2B 2-1/2" METAL STUD FRAMING
 - S3B 3-5/8" METAL STUD FRAMING
 - S4B 4" METAL STUD FRAMING
 - S6B 6" METAL STUD FRAMING

- C - MASONRY WALL
- M4C 4" CMU
 - M6C 6" CMU
 - M8C 8" CMU
 - M10C 10" CMU
 - M12C 12" CMU

PARTITION TYPE LEGEND



PARTITION TYPE GENERAL NOTES:

- ALL INTERIOR PARTITIONS SHALL BE TYPE S1A (U.N.O.)
- ALL GYP BD ENCLOSURES AROUND COLUMNS SHALL BE TYPE S2D (U.N.O.)
- PROVIDE SOLID FIRE RESISTANT TREATED WOOD BLOCKING, FLAT METAL STRAPS, OR METAL BACKING PLATES AT ALL WALL MOUNTED FIXTURES AND ACCESSORIES, INCLUDING BUT NOT LIMITED TO, DOOR STOPS, MILLWORK, DIGITAL DISPLAYS, VISUAL DISPLAY BOARDS, TOILET PARTITIONS, AND SIMILAR CONDITIONS.
- PROVIDE MOISTURE RESISTANT GYP BD AT ALL PLUMBING PARTITIONS NOT SCHEDULED TO RECEIVE TILE.
- SEE SPECIFICATIONS FOR ORIENTATION OF GYP BD PANELS, SIZING, AND SPACING OF METAL STUD FRAMING.
- SEE SPECIFICATIONS FOR TYPE AND SPACING OF CMU HORIZONTAL JOINT REINFORCEMENT.
- SEE INTERIOR ELEVATIONS FOR ANY GYP BD REVEAL PATTERNS.
- FIRE RESISTANCE RATED SEPARATIONS
 - A. SEE CODE COMPLIANCE PLANS FOR LOCATIONS AND TYPES OF FIRE RESISTANCE-RATED SEPARATIONS.
 - B. AT SMOKE PARTITIONS, FIRE PARTITIONS AND FIRE BARRIERS, WALL ASSEMBLY CONSTRUCTION SHALL EXTEND FROM TOP OF FLOOR TO THE UNDERSIDE OF THE FLOOR, ROOF SLAB, OR DECK ABOVE.
 - C. ALL PARTITIONS SHALL HAVE THE FOLLOWING PERMANENTLY AFFIXED MARKINGS AND IDENTIFICATION:
 - a. 1/2" HIGH LETTERING, INDICATING RATING AND FIRE RESISTANCE RATED PARTITION TYPE, I.E. "2-HR FIRE WALL" OR "1-HR FIRE BARRIER", AND SHALL ALSO INCLUDE THE FOLLOWING SUFFIX: "PROTECT ALL OPENINGS AND PENETRATIONS"
 - b. LOCATE LETTERING ABOVE ACCESSIBLE CEILINGS AT INTERVALS NOT TO EXCEED 30'-0". THERE SHOULD BE A MINIMUM OF ONE MARKING PER WALL, PER ROOM.



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2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
**ISSUED FOR BID - NOT
FOR CONSTRUCTION**

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
**DOOR SCHEDULE AND
WALL TYPES - BP1**

SHEET NUMBER:

A10.00

7/24/2024 2:16:51 PM



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
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DKA PROJECT NO: 24-031

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SHEET STATUS: 7/24/2024
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NO.	DESCRIPTION:	DATE:

SHEET TITLE:
FINISH PLANS - BP1

SHEET NUMBER:
A11.10

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FINISH PLAN SYMBOLS LEGEND:

X WALL FINISH TYPE X WALL BASE TYPE X FLOOR FINISH TYPE

FINISH PLAN GENERAL NOTES:

1. PAINT ALL EXPOSED CONDUIT, DUCTWORK, PIPING, ETC. IN ALL FINISHED SPACES. REFER TO INTERIOR FINISH PLANS AND REFLECTED CEILING PLANS FOR CLARIFICATIONS.
2. PAINT ALL EXPOSED METAL ON EXTERIOR INCLUDING, BUT NOT LIMITED TO: CONDUIT, PIPING, FLASHING, MECHANICAL FLUES AND DUCTS, AND HOLLOW METAL FRAMES AND DOORS.
3. PROVIDE CEMENTITIOUS SELF-LEVELING UNDERLAYMENT AT REMOVAL OF EXISTING FLOOR DRAINS AS REQUIRED TO PROVIDE A LEVEL SUBSTRATE FOR NEW FLOOR FINISH.
4. ALL FINISHES ARE MONUMENTAL PER ROOM UNLESS NOTED OTHERWISE.
5. HOLLOW METAL DOORS AND FRAMES TO BE PAINTED PT-3 UNLESS NOTED OTHERWISE.
6. AT ALL LOCATIONS WHERE EXISTING CASEWORK IS TO REMAIN, THE SUBSEQUENT BASE TYPE SPECIFIED FOR EACH ROOM SHALL BE INSTALLED OVER CASEWORK TOE KICKS UNLESS NOTED OTHERWISE. REFER TO FLOOR PLANS FOR CASEWORK LOCATIONS.
7. ALL CARPET TILE TO BE INSTALLED ASHLAR UNLESS SPECIFIED OTHERWISE.
8. ALL LUXURY VINYL TILE TO BE INSTALLED RANDOM STAGGERED UNLESS SPECIFIED OTHERWISE.

WALL FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
PT-1	GENERAL PAINT	BENJAMIN MOORE	2126-70 CHALK WHITE
PT-2	ACCENT PAINT	BENJAMIN MOORE	TBD
PT-3	HM PAINT	BENJAMIN MOORE	TBD

WALL BASE TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
RB1	4" CH COVE RUBBER BASE	JOHNSONITE	TBD

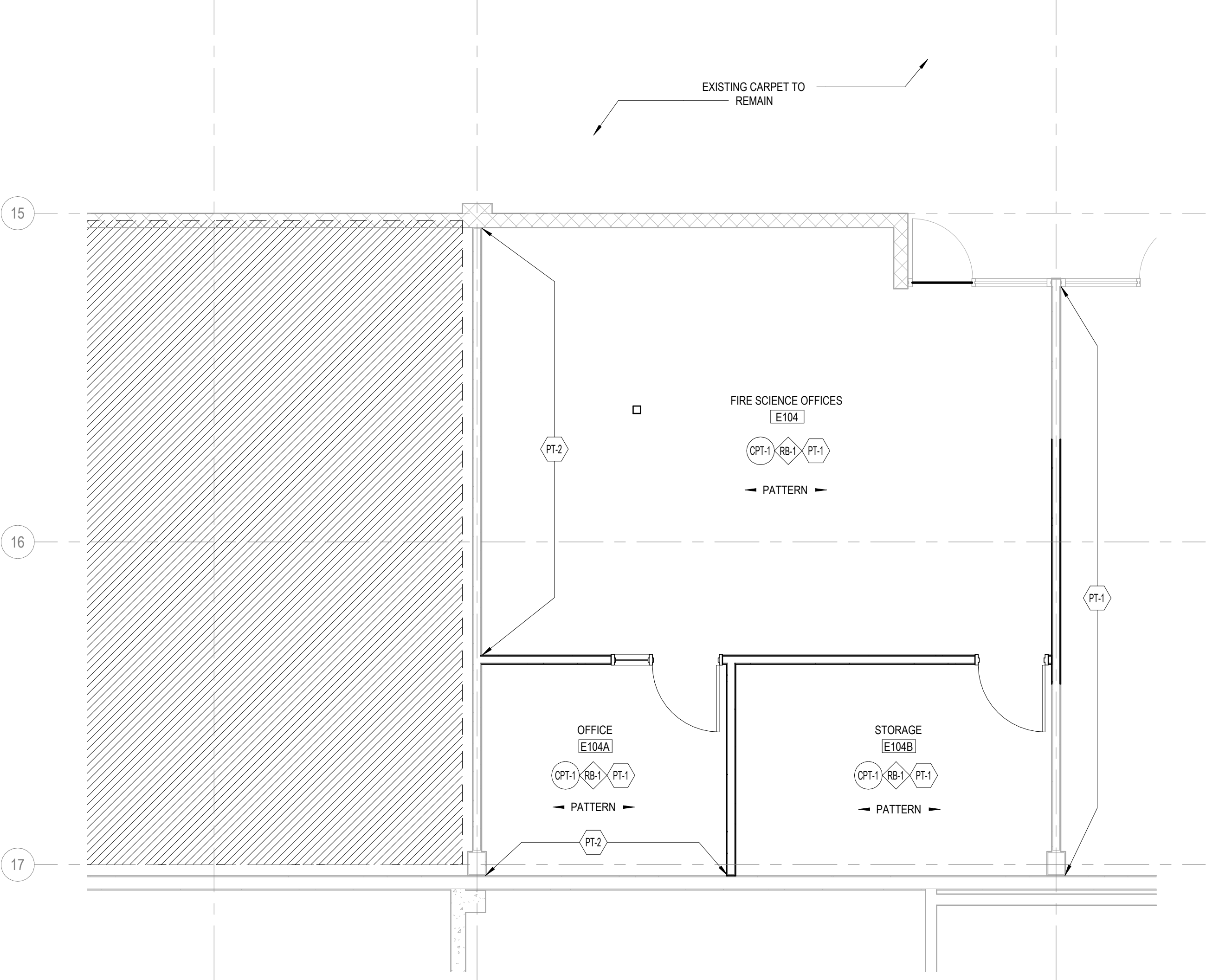
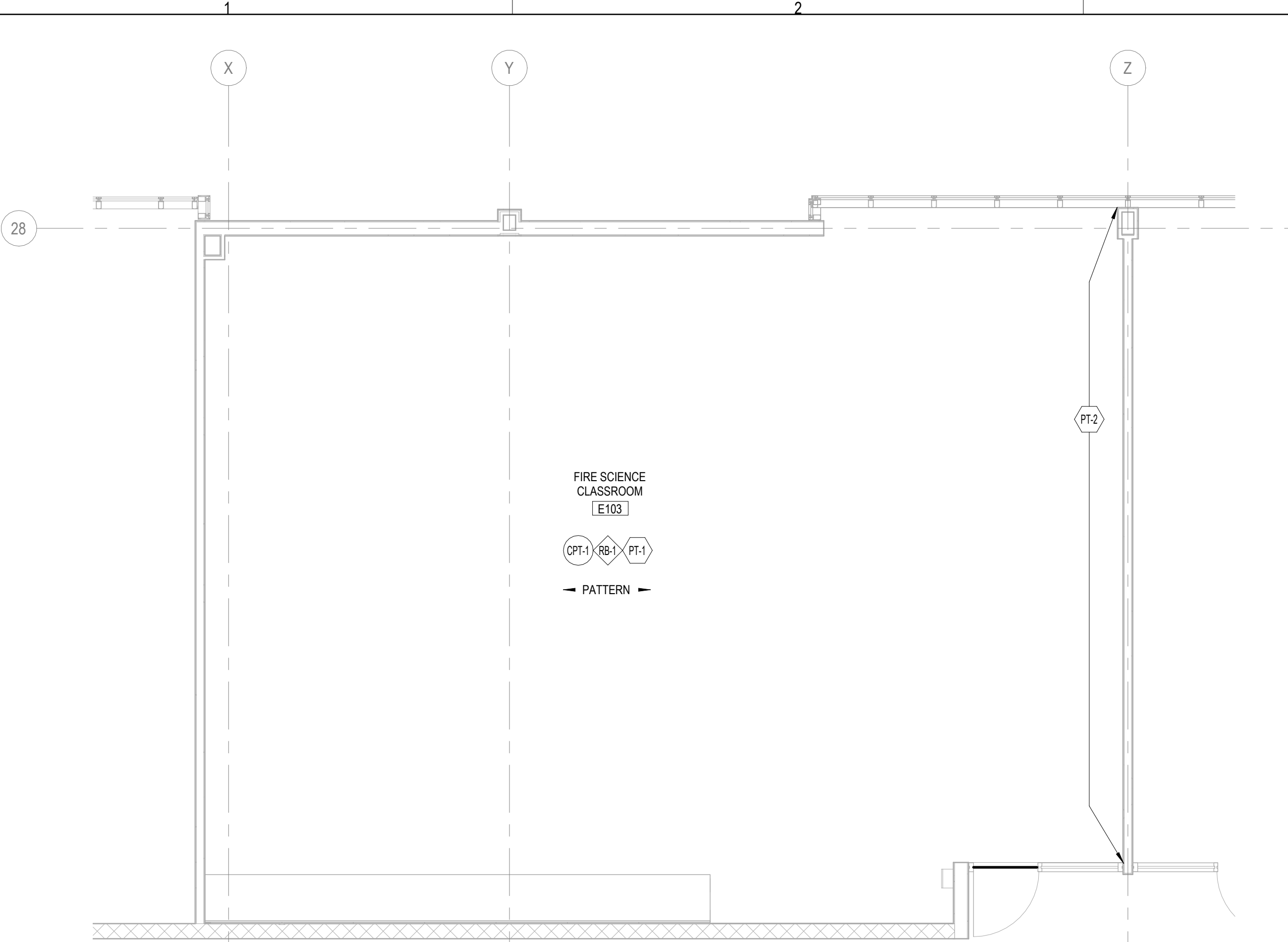
FLOOR FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
CPT-1	CARPET TILE	SHAW	BEVEL HEXAGON SIZE: 24" W X 28" D COLOR: BLACK INSTALL: RANDOM
LVT-1	LUXURY VINYL TILE	SHAW	NAME: BRANCHING OUT, SIZE: 6X48, COLOR: TBD, INSTALL: RANDOM STAGGERED
SC	SEALED CONCRETE	REFER TO SPEC	REFER TO SPEC

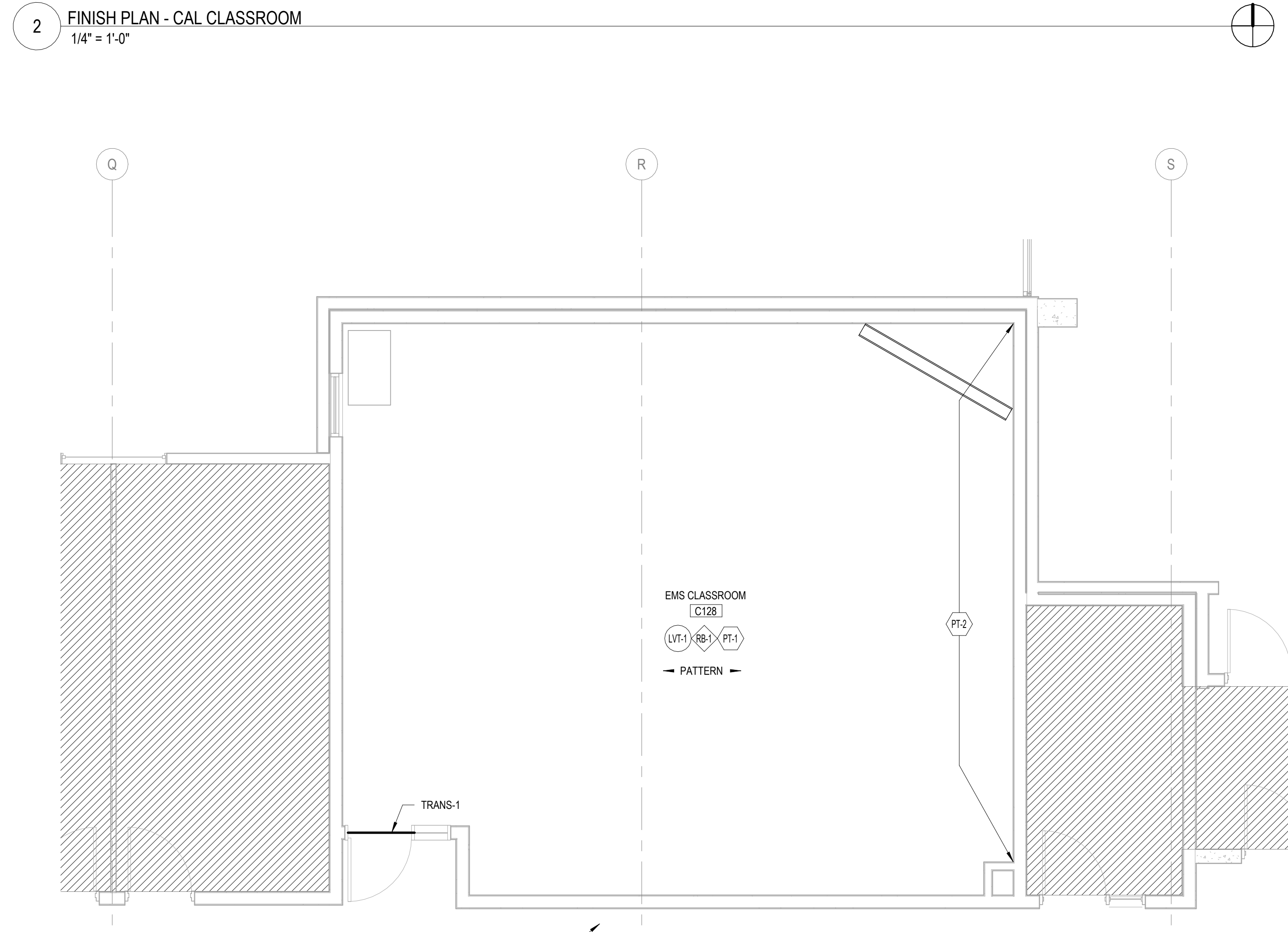
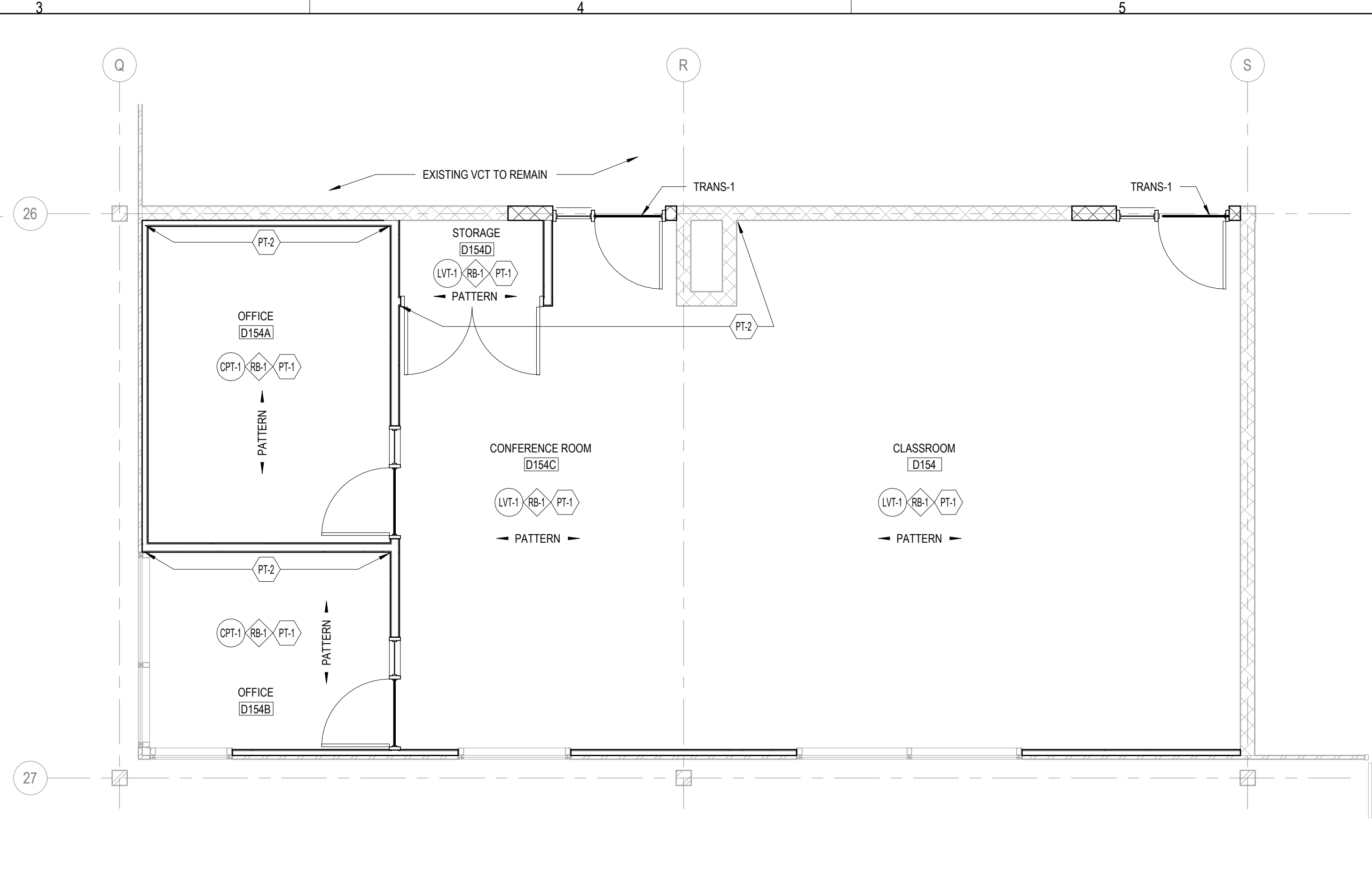
FLOOR TRANSITION TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
TRANS-1	1/4" TO 1/8"	JOHNSONITE	SLT-XX-A, COLOR TBD
TRANS-2	1/4" TO SUBFLOOR	JOHNSONITE	SLT-XX-A, COLOR TBD

FINISH PLAN REFERENCED NOTES:



1 FINISH PLAN - FIRE SCIENCE
1/4" = 1'-0"



3 FINISH PLAN - EMS CLASSROOM
1/4" = 1'-0"



FINISH PLAN SYMBOLS LEGEND:

X

 WALL FINISH TYPE

X

 WALL BASE TYPE

X

 FLOOR FINISH TYPE

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SC	SEALED CONCRETE	REFER TO SPEC	REFER TO SPEC

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FINISH PLAN REFERENCED NOTES:



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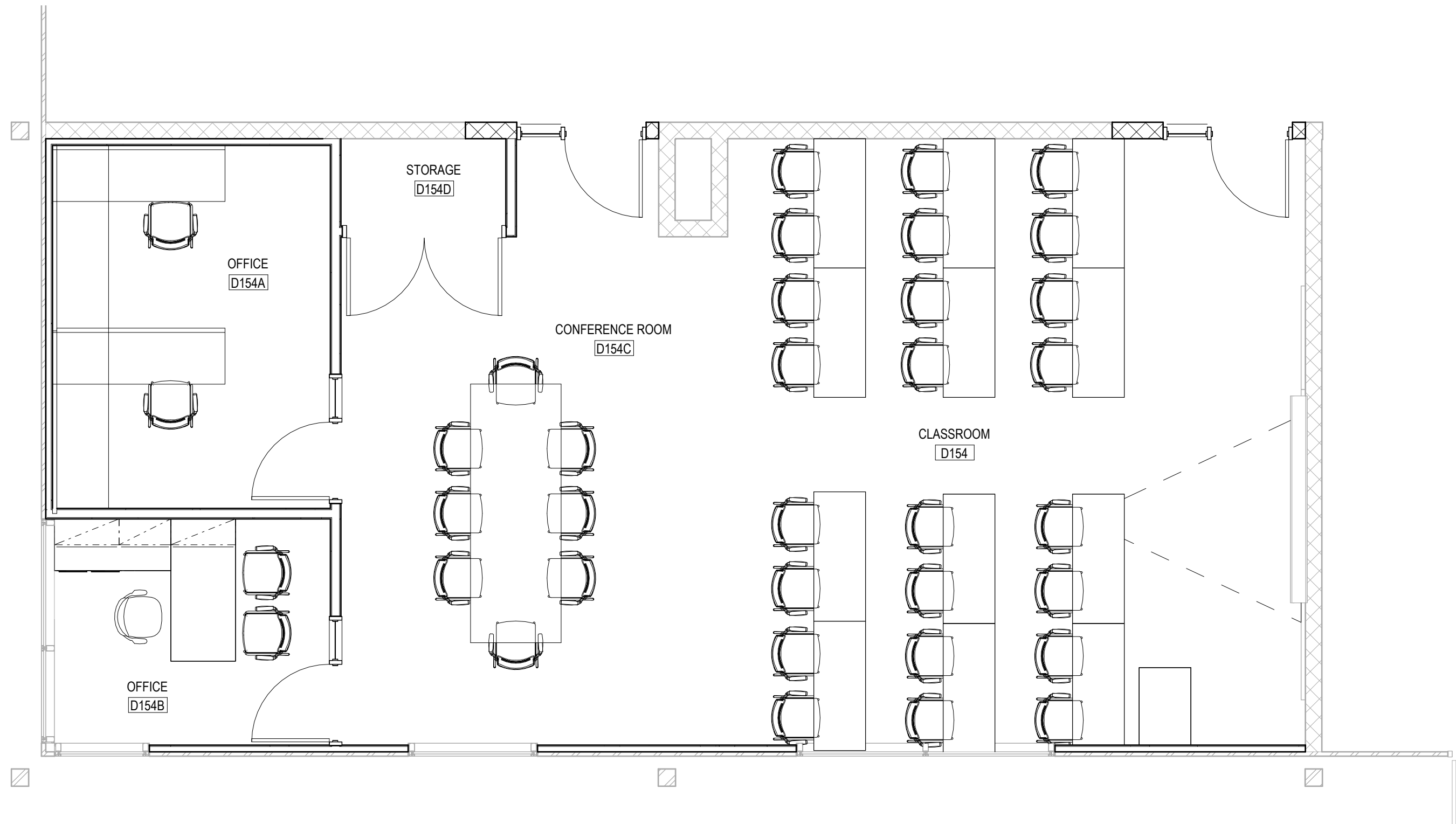
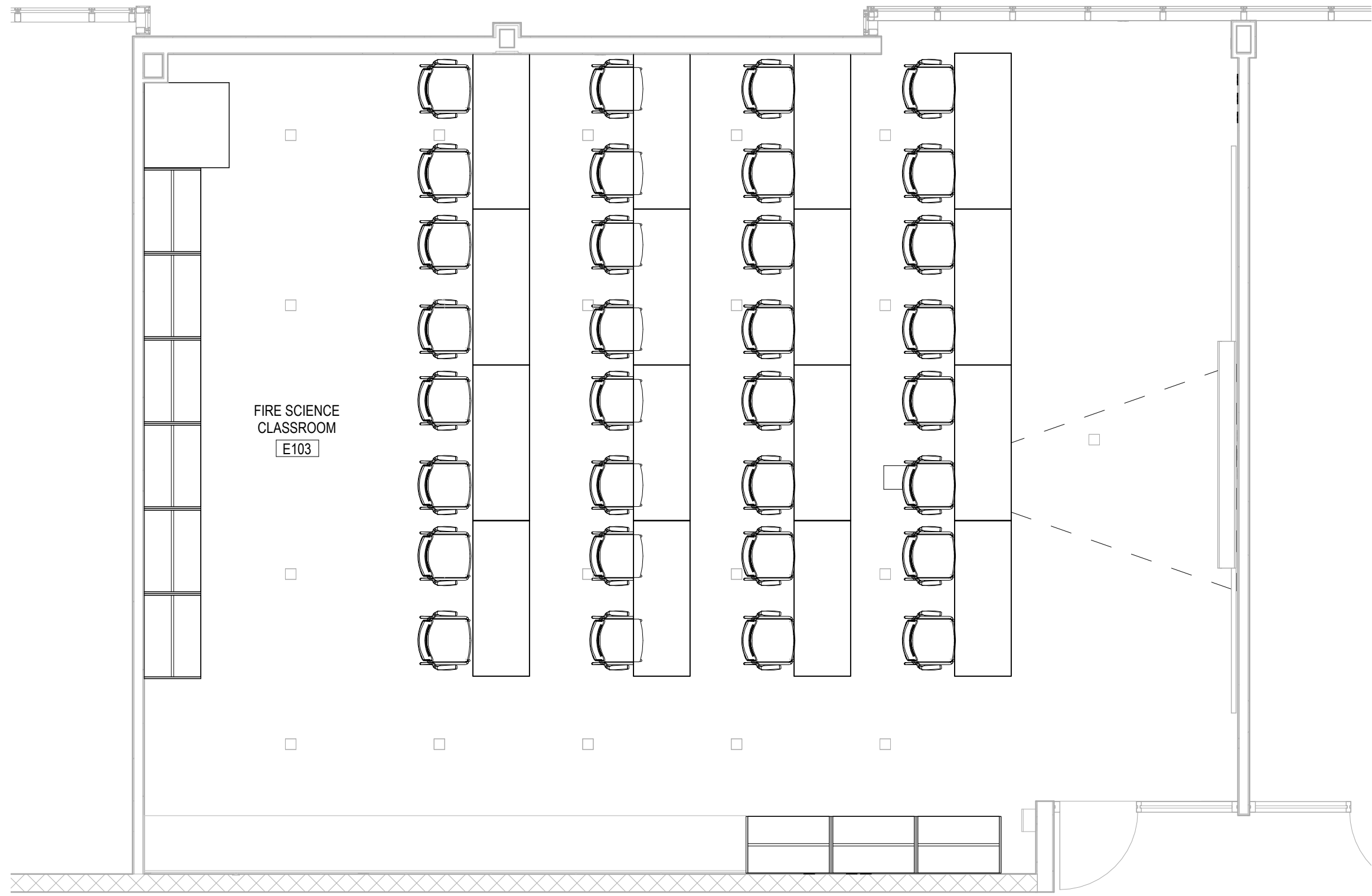
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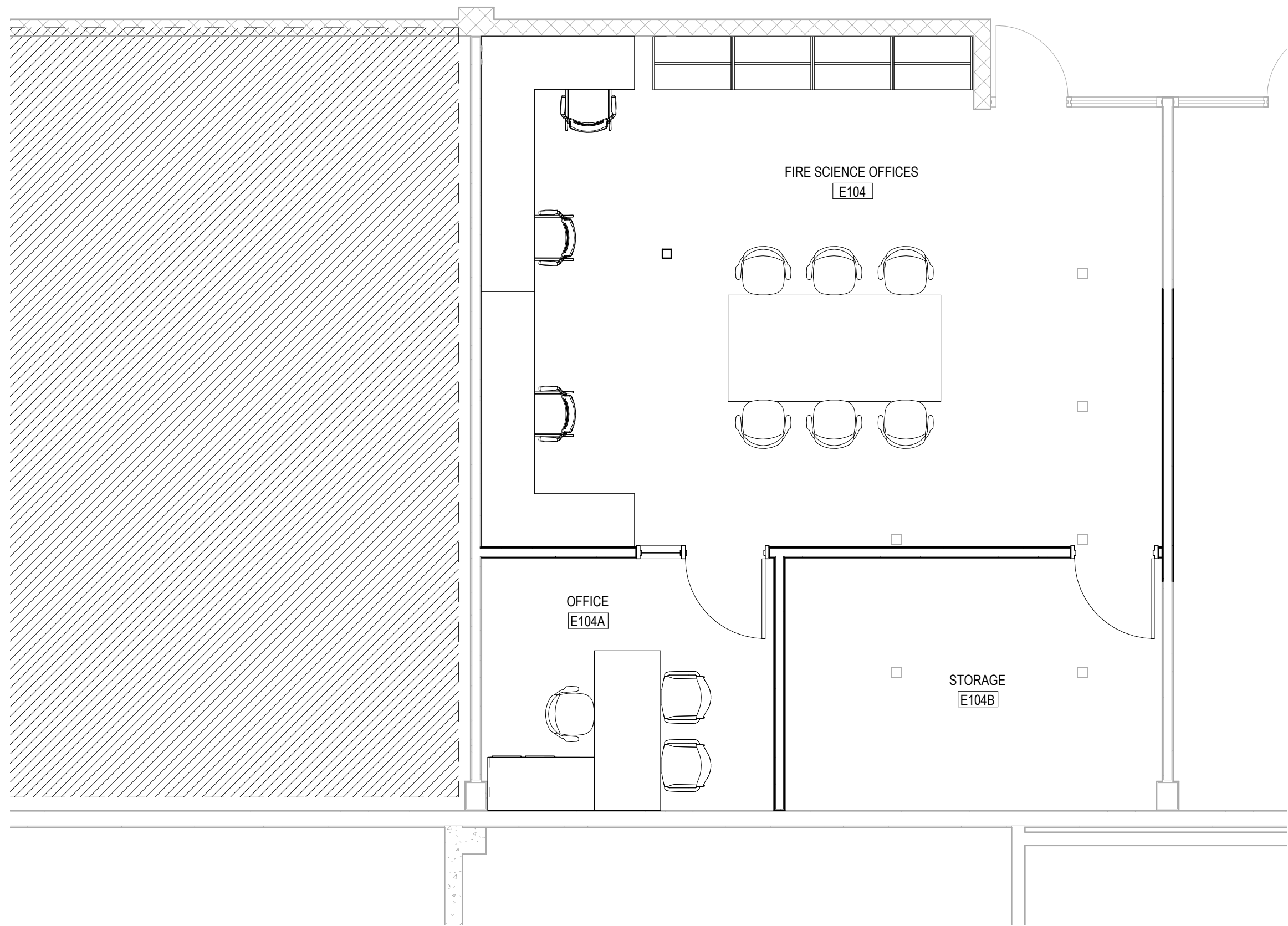
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**FURNITURE PLANS -
BP1**

SHEET NUMBER:
A12.10

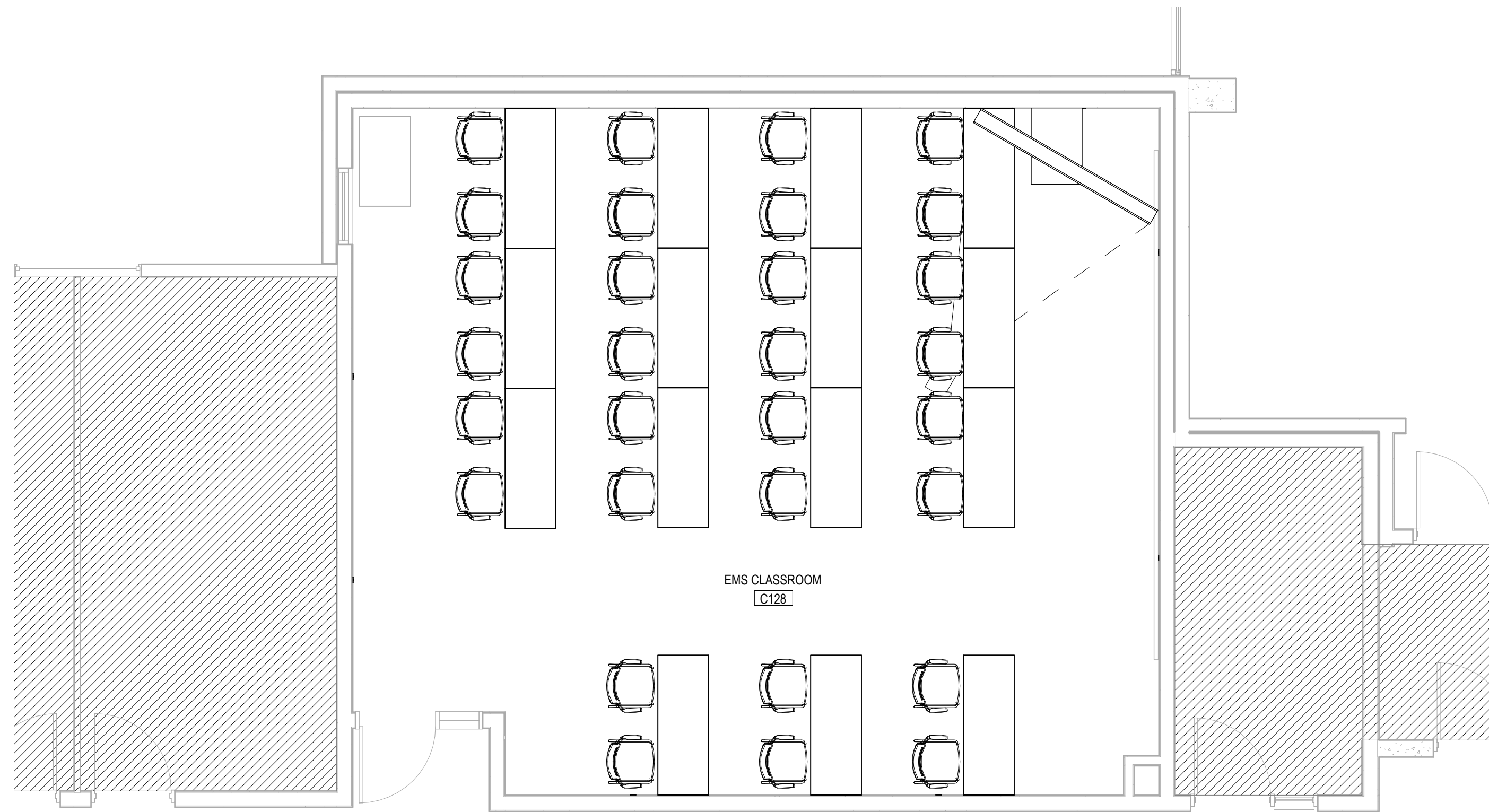
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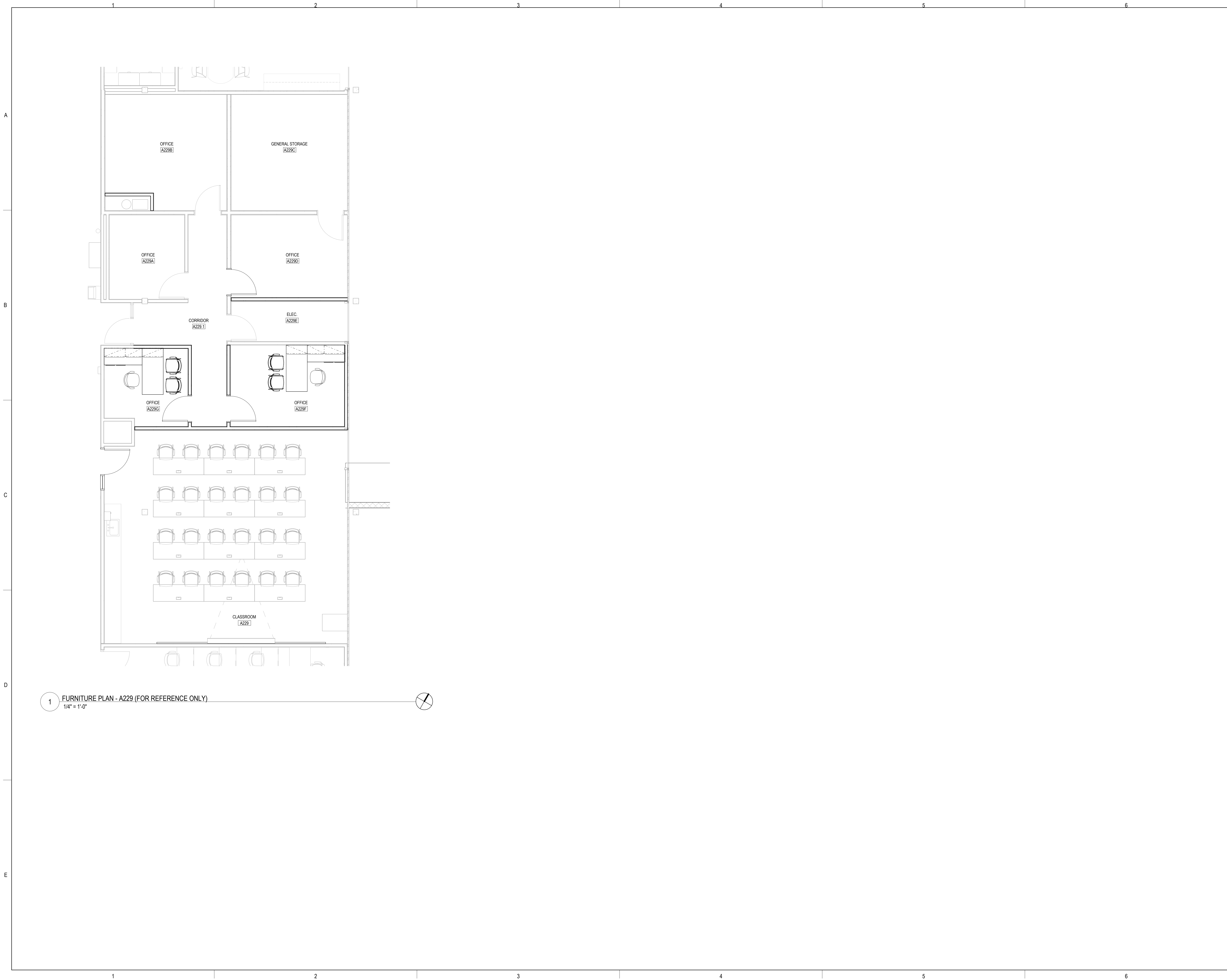
2 FURNITURE PLAN - CAL CLASSROOM (FOR
REFERENCE ONLY)
1/4" = 1'-0"



1 FURNITURE PLAN - FIRE SCIENCE (FOR REFERENCE
ONLY)
1/4" = 1'-0"



3 FURNITURE PLAN - EMS CLASSROOM (FOR
REFERENCE ONLY)
1/4" = 1'-0"



1 FURNITURE PLAN - A229 (FOR REFERENCE ONLY)
1/4" = 1'-0"



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A12.11

123456

GENERAL REMODELING NOTES - ALL CONTRACTORS

1.

ALL WORK SHOWN ON DRAWINGS SHALL BE CONSIDERED NEW AND IN CONTRACT UNLESS SPECIFICALLY INDICATED OTHERWISE.

2.

DRAWINGS ARE GENERALLY DIAGRAMMATIC. ROUTING OF PIPING, DUCTWORK, CONDUITS, RACEWAYS, ETC. AS SHOWN ON DRAWINGS, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. EACH CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.

3.

IT IS INTENDED THAT EQUIPMENT SHALL BE LOCATED SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS OF THE BUILDING, NOTWITHSTANDING THE FACT THAT LOCATIONS INDICATED BY THESE DRAWINGS MAY BE DISTORTED FOR CLEARNESS OF PRESENTATION.

4.

CONTRACTOR SHALL CHECK DRAWINGS OF OTHER TRADES TO VERIFY THAT SPACES IN WHICH THEIR WORK WILL BE INSTALLED ARE CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED TO MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITIONS AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, CONTRACTOR SHALL NOTIFY OWNER/ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE INSTALLATION OF THEIR WORK.

5.

CONTRACTOR SHALL FURNISH OTHER TRADES ADVANCE INFORMATION AND/OR SHOP DRAWINGS ON LOCATIONS AND SIZES OF PIPING, DUCTWORK, CONDUIT, RACEWAYS, EQUIPMENT, FRAMES, BOXES, SLEEVES AND OPENINGS, ETC. NEEDED FOR THEIR WORK TO PERMIT OTHER TRADES AFFECTED TO INSTALL THEIR WORK PROPERLY AND WITHOUT DELAY.

6.

WHERE THERE IS EVIDENCE THAT WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, ALL TRADES SHALL MEET ON JOB SITE TO WORK OUT SPACE CONDITIONS AND MAKE SATISFACTORY ADJUSTMENTS TO INSTALLATION OF THE NEW WORK. CONTRACTORS SHALL VERIFY EXACT LOCATIONS OF ALL DEVICES AND EQUIPMENT WITH FIELD CONDITIONS, SHOP DRAWINGS, AND WORK OF OTHER TRADES PRIOR TO ROUGH-IN. EACH CONTRACTOR SHALL BE RESPONSIBLE, AT THEIR OWN EXPENSE, FOR THE REMOVAL AND REINSTALLATION OF ANY PART OF THEIR WORK IF SAME WAS INSTALLED WITHOUT CONSULTING WITH OTHER TRADES BEFORE INSTALLING THEIR WORK.

7.

CONTRACTOR SHALL PROVIDE SLEEVES IN BEAMS, FLOORS, COLUMNS AND WALLS AS SHOWN ON THE DRAWINGS, AS REQUIRED BY JOB SITE CONDITIONS, AND/OR AS SPECIFIED, WHEN INSTALLING THEIR WORK. ALL BEAMS AND COLUMNS WHICH ARE REQUIRED TO BE SLEEVED SHALL BE CUT AND REINFORCED AS REQUIRED BY FIELD CONDITIONS AND LOCATIONS AND SIZES SHALL BE CHECKED AND APPROVED BY ARCHITECT BEFORE CONTRACTOR CUTS ANY STRUCTURAL BUILDING MEMBER.

8.

THE SEQUENCE FOR THE INSTALLATION OF ALL WORK SHALL BE COORDINATED BETWEEN ALL CONTRACTORS ON THE PROJECT AND IN STRICT ACCORDANCE WITH ARCHITECT/ENGINEER AND OWNERS STIPULATION AS DIRECTED.

9.

CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL CONTRACT DRAWINGS (BEFORE SUBMITTING THEIR BIDS) TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF THE GENERAL CONTRACTOR'S WORK, CEILING HEIGHTS AND CLEARANCE FOR INSTALLING THEIR WORK.

10.

CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING AND REMOVAL/REPLACEMENT OF NEW OR EXISTING BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED AND PAID FOR BY THE INSTALLING CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT. (NOTE: CONTRACTOR SHALL VERIFY EXISTING BUILDING'S ROOF WARRANTY AND EMPLOY OTHER SUBCONTRACTOR(S) AS REQUIRED BY ROOF MANUFACTURER'S REPRESENTATIVE SO AS NOT TO VOID OWNER'S ROOF WARRANTY.)

11.

SOME OF THE EXISTING ITEMS AND EQUIPMENT SCHEDULED TO BE REMOVED SHALL BE TURNED OVER TO THE OWNER. ANY ITEMS THAT THE OWNER WANTS TO RETAIN SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE THEM. ALL OTHER ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE.

12.

CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN CLEAN-UP DURING CONSTRUCTION. IF CONTRACTOR FAILS TO PROVIDE SUCH CLEAN-UP, THE ARCHITECT/ENGINEER WILL DIRECT ANOTHER CONTRACTOR TO PERFORM THE CLEAN-UP AND THE NEGLIGENT CONTRACTOR SHALL PAY THE ASSOCIATED BACK-CHARGES AS DEEMED APPROPRIATE BY THE ARCHITECT/ENGINEER.

13.

CONTRACTOR SHALL INSTALL ALL AUXILIARY SUPPORTING STEEL AS REQUIRED FOR THE SUPPORTING OF THEIR PIPING, DUCTWORK, CONDUIT, TANKS, EQUIPMENT, ETC. ALL SUPPORTING STEEL FOR ITEMS ABOVE A SUSPENDED CEILING SHALL BE FROM BUILDING STRUCTURAL MEMBERS ONLY.

14.

IT IS MANDATORY THAT THE COMPLETE EXISTING BUILDING REMAIN IN CONTINUOUS AND NON-INTERRUPTED OPERATION DURING REMODELING/ALTERING OF SAID EXISTING BUILDING. THE SPECIFIC AREA(S) BEING REMODELED/ALTERED AT ANY SCHEDULED TIME ARE OBVIOUSLY EXCLUSIVE OF THIS STATEMENT. SERVICES TO EXISTING BUILDING SHALL BE KEPT IN CONTINUOUS OPERATION INCLUDING POWER, SIGNAL SYSTEMS, LIGHTING, TELEPHONE, HEATING, COOLING, VENTILATING, TEMPERATURE CONTROL, SEWERS AND HOT AND COLD WATER. ANY ABSOLUTELY NECESSARY INTERRUPTION OF THESE SERVICES TO ACCOMPLISH CONTRACT WORK SHALL BE ARRANGED WITH THE OWNER A MINIMUM OF TEN (10) WORKING DAYS IN ADVANCE. SUCH INTERRUPTIONS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AS FAR AS TIME INTERVAL IS INVOLVED AND TEMPORARY SERVICES SHALL BE FURNISHED AND INSTALLED UNDER THIS CONTRACT WHERE NECESSARY TO ACCOMPLISH THIS PURPOSE. TEMPORARIES SHALL BE REMOVED BY THE CONTRACTOR ONLY AFTER NEW PERMANENT SERVICES ARE INSTALLED AND FULLY OPERATIONAL.

15.

UNLESS INDICATED OTHERWISE, THE ARCHITECT/ENGINEER MAKES NO REPRESENTATION AS TO WHETHER OR NOT ANY HAZARDOUS OR CONTAMINATED MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS, PCBs, CONTAMINATED SOILS, ETC.) ARE PRESENT WITHIN THE EXISTING BUILDING OR ON THE SITE. WORK SHOWN ON THE DRAWINGS AND/OR INDICATED IN THE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CALL FOR CONTACT WITH ANY OF THESE MATERIALS. IF THESE MATERIALS ARE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL NOT DISTURB THEM AND SHALL CONTACT THE ARCHITECT/ENGINEER IMMEDIATELY.

16.

WHERE WORK CALLED FOR ON THE DRAWINGS OR IN THE SPECIFICATIONS INVOLVES THE REMOVAL OR RELOCATION OF PIPING OR EQUIPMENT CONTAINING REFRIGERANT, ALL REFRIGERANT SHALL BE RECOVERED BY APPROVED METHODS PER EPA REGULATIONS.

17.

CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT SHIPPED TO THE SITE IN A PROTECTED AREA. IF MATERIAL IS STORED OUTSIDE OF THE BUILDING, IT MUST BE STORED OFF THE GROUND A MINIMUM OF SIX INCHES (6") SET ON 6 X 6 PLANKS AND/OR WOOD PALLETS. ALL MATERIAL AND EQUIPMENT MUST BE COMPLETELY COVERED WITH WATERPROOF TARPS OR VISQUIN. ALL PIPING AND DUCTWORK WILL HAVE THE ENDS CLOSED TO KEEP OUT DIRT AND OTHER DEBRIS. NO EQUIPMENT WILL BE ALLOWED TO BE STORED OUTSIDE THE BUILDING ON THE SITE UNLESS IT IS SUPPORTED OFF THE GROUND AND COMPLETELY PROTECTED WITH WEATHERPROOF COVERS.

18.

THE DRAWINGS, SCHEDULES AND SPECIFICATIONS HAVE BEEN PREPARED USING ONE MANUFACTURER FOR EACH PIECE OF EQUIPMENT AS THE BASIS FOR DIMENSIONAL DESIGN. IF THE CONTRACTOR PURCHASES EQUIPMENT FROM A SPECIFIED ACCEPTABLE MANUFACTURER, BUT NOT THE SCHEDULED MANUFACTURER USED FOR THE BASE DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL THE DIMENSIONS OF THE EQUIPMENT TO VERIFY THAT IT WILL FIT IN THE SPACE SHOWN ON THE DRAWINGS. MINOR DEVIATIONS IN DIMENSIONS WILL BE PERMITTED, PROVIDED THE RATINGS MEET THOSE SHOWN ON THE DRAWINGS AND EQUIPMENT WILL PHYSICALLY FIT INTO THE SPACE ALLOCATED WITH SUITABLE ACCESS AROUND EQUIPMENT FOR OPERATION AND MAINTENANCE OF THE EQUIPMENT. WHEN EQUIPMENT SUBMITTED FOR REVIEW DOES NOT MEET THE PHYSICAL SIZE OR ARRANGEMENT OF THAT SCHEDULED AND SPECIFIED, CONTRACTOR SHALL PAY FOR ALL ALTERATIONS REQUIRED TO ACCOMMODATE SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR WILL ALSO PAY ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT TO FIT IN THE SPACE AND FUNCTION AS INTENDED.

19.

CONTRACTOR AND/OR MANUFACTURER SHALL VERIFY THAT THE CHARACTERISTICS OF THE EQUIPMENT SUBMITTED FOR REVIEW MEETS THE CAPACITY AND DUTY SPECIFIED. WHEN EQUIPMENT SUBMITTED FOR REVIEW REQUIRES MODIFICATIONS TO THE WORK OF OTHER CONTRACTORS, SUBMITTING CONTRACTOR SHALL PAY FOR ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT FUNCTION SAFELY AND PROPERLY.

20.

CONTRACTOR SHALL FIELD VERIFY THE SIZE OF EXISTING OPENINGS, WINDOWS, DOORS, CORRIDORS, ROOMS, ETC. FOR ACCESS OF THE NEW EQUIPMENT INTO OR REMOVAL OF EXISTING EQUIPMENT FROM THE BUILDING. IF OPENINGS ARE TOO SMALL FOR ACCESS THEN CONTRACTOR SHALL, AT THEIR OWN EXPENSE, PROVIDE NEW OR ENLARGED OPENINGS AND RESTORE SAME TO ORIGINAL SIZE AND CONDITION. CONTRACTOR MAY ELECT TO ORDER THE EQUIPMENT DISASSEMBLED AND/OR WITH SPLIT HOUSING FOR ENTRANCE INTO THE EXISTING SPACE OR BUILDING. CONTRACTOR SHALL REASSEMBLE EQUIPMENT AFTER IT IS IN THE SPACE AT THEIR OWN EXPENSE.

21.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THEIR ASSOCIATED FEES.

22.

CONTRACTOR SHALL SUBMIT DIGITAL COPIES OF SHOP DRAWINGS OF ALL EQUIPMENT, DIFFUSERS, REGISTERS, TEMPERATURE CONTROL SYSTEM, FIRE DAMPERS, LIGHTING FIXTURES, PANELBOARDS, ELECTRICAL DEVICES, PLUMBING FIXTURES, ETC. TO ENGINEER FOR APPROVAL PRIOR TO ORDERING ANY ITEMS OR FABRICATING ANY DUCTWORK.

23.

CONTRACTOR SHALL PROVIDE OWNER TRAINING ON ALL EQUIPMENT AND BUILDING SYSTEMS PROVIDED/ALTERED BY THEIR WORK. TRAINING SHALL BE ACCOMPLISHED DURING TIME DEDICATED FOR THAT PURPOSE, NOT IN CONJUNCTION WITH SERVICE WORK. SEE SPECIAL TEMPERATURE CONTROL TRAINING INSTRUCTIONS ELSEWHERE.

24.

AT COMPLETION OF PROJECT, CONTRACTOR SHALL SUBMIT ONE PHYSICAL AND DIGITAL COPIES OF OPERATION AND MAINTENANCE MANUALS FOR ALL WORK PROVIDED BY THEM ON PROJECT. MANUALS SHALL BE CLEARLY ORGANIZED AND CONTAIN COPIES OF APPROVED EQUIPMENT, SHOP DRAWINGS, EQUIPMENT PARTS LISTS, SERVICE CONTACTS, CONTRACTOR AND MANUFACTURER WARRANTIES, AND 'AS BUILT' FLOOR PLANS.

25.

CONTRACTOR SHALL PROVIDE WARRANTY FOR ALL MATERIAL AND GUARANTEE ALL WORKMANSHIP PROVIDED BY THEM FOR 1 (ONE) YEAR FROM SUBSTANTIAL COMPLETION OF WORK INVOLVED.

26.

CONTRACTOR SHALL MAINTAIN A CURRENT CRYSTAL LAKE LICENSE THROUGHOUT ALL PHASES OF CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE ALL INSPECTIONS WITH THE CRYSTAL LAKE OFFICIALS. CONTRACTOR SHALL PROVIDE ANY MINIMUM PRIOR NOTICE FOR INSPECTIONS WITH CRYSTAL LAKE OFFICIALS.

27.

IDENTIFY ALL PIPING AND DUCTWORK WITH PLASTIC LABELS INDICATING CONTENTS AND FLOW DIRECTION. MARKERS TO BE PLACED AT A MAXIMUM OF 50 FT. INTERVALS AT BRANCH CONNECTIONS, AND AT BOTH SIDES OF WALL/FLOOR PENETRATIONS. IDENTIFY VALVES, EQUIPMENT, AND PANELS WITH ENGRAVED 3-LAYER PLASTIC LAMINATED TAGS OR SIGNS. IN ADDITION TO PROVIDING ENGRAVED PLASTIC NAMEPLATES ON THE VAV AND FFB BOXES, PROVIDE ENGRAVED PLASTIC NAMEPLATES ON THE CEILING GRID BELOW THE BOX. THE NAMEPLATE SHALL BE NO WIDER THAN THE WIDTH OF THE GRID (WHITE WITH BLACK LETTERS).



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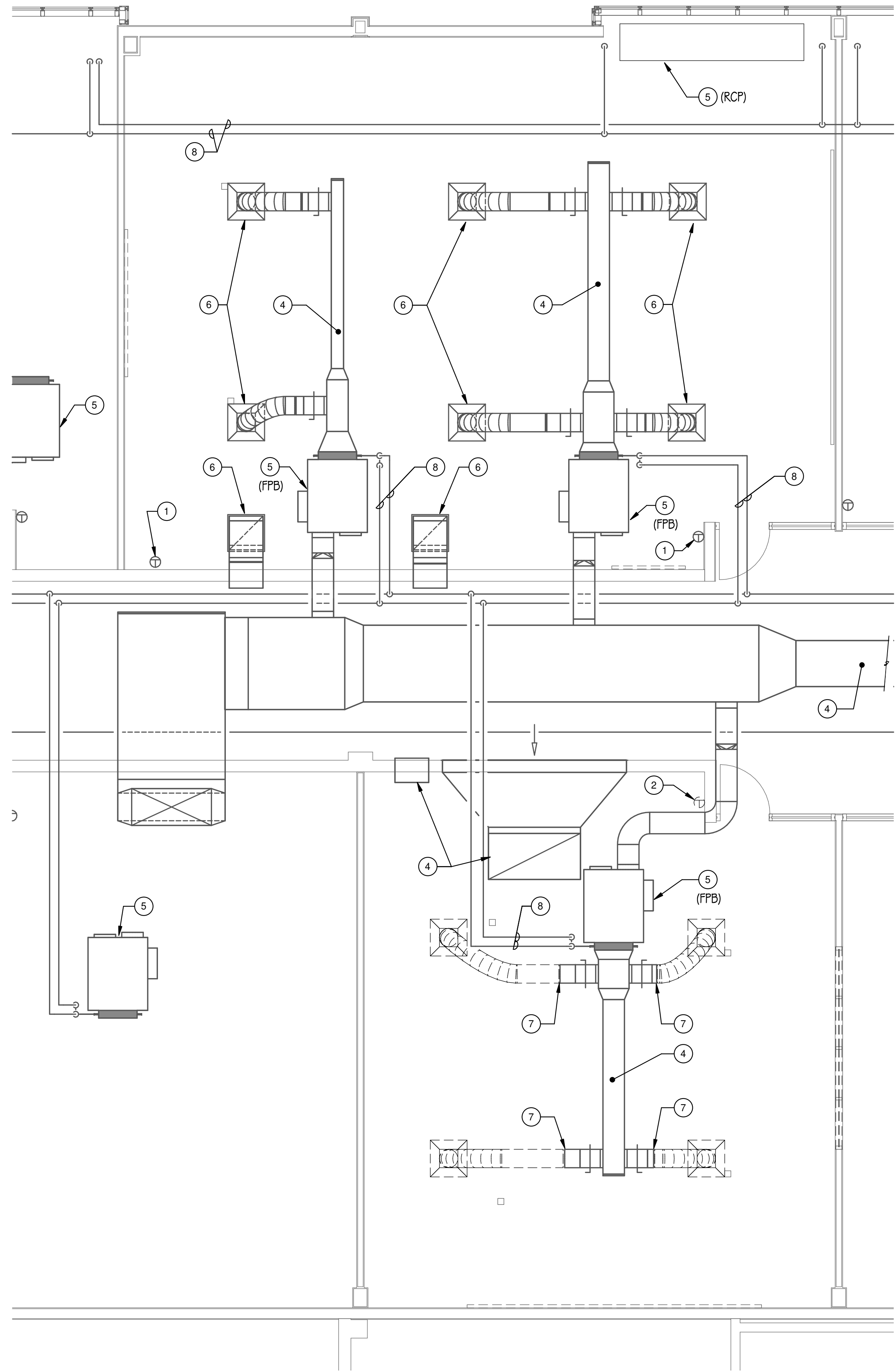
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SHEET TITLE:
DEMOLITION HVAC
PLANS - BP1

SHEET NUMBER:

HVD1.10

7/24/2024 11:27:52 AM

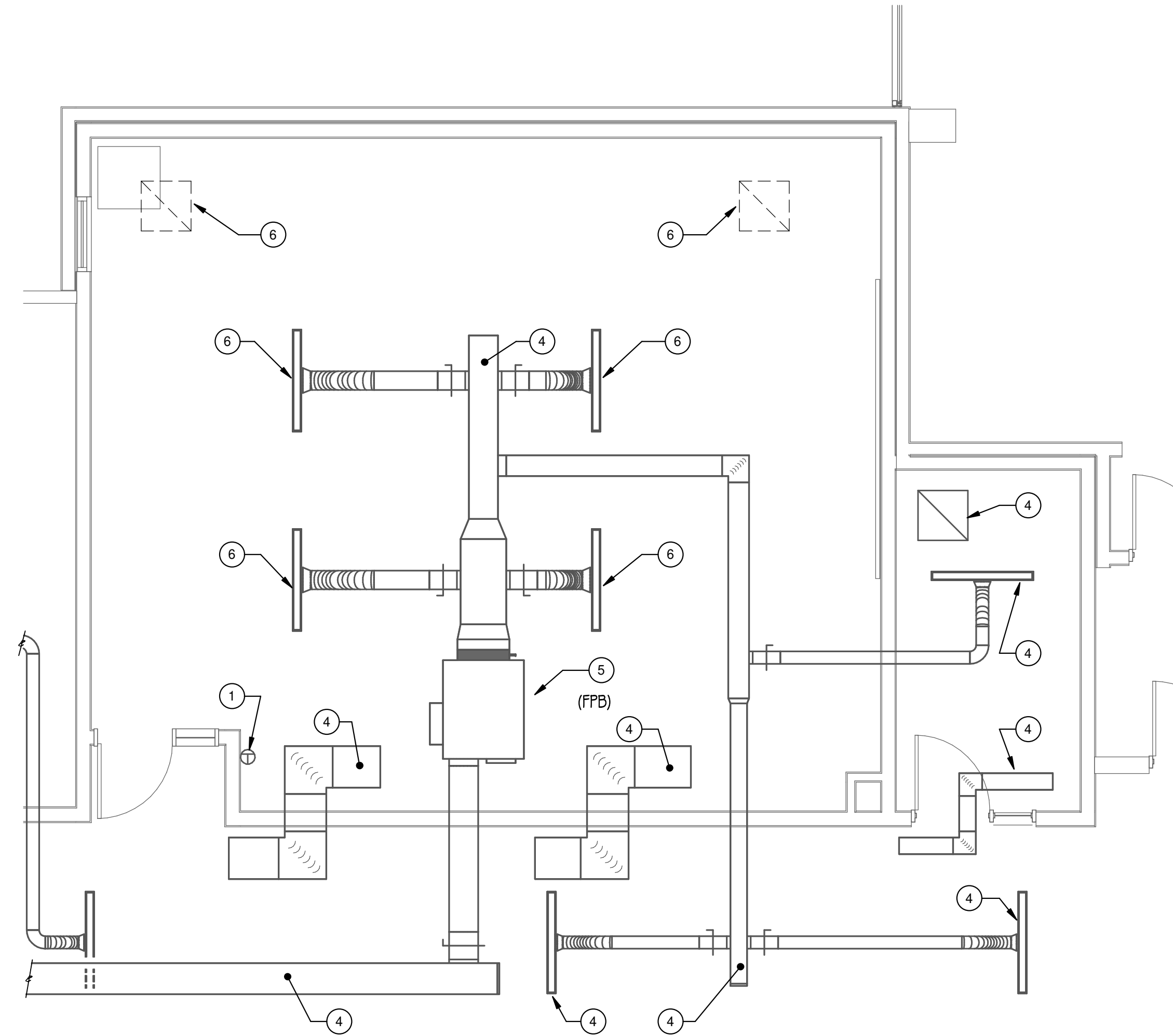


3 LEVEL 1 - FIRE SCIENCE HVAC DEMOLITION PLAN
1/4" = 1'-0"

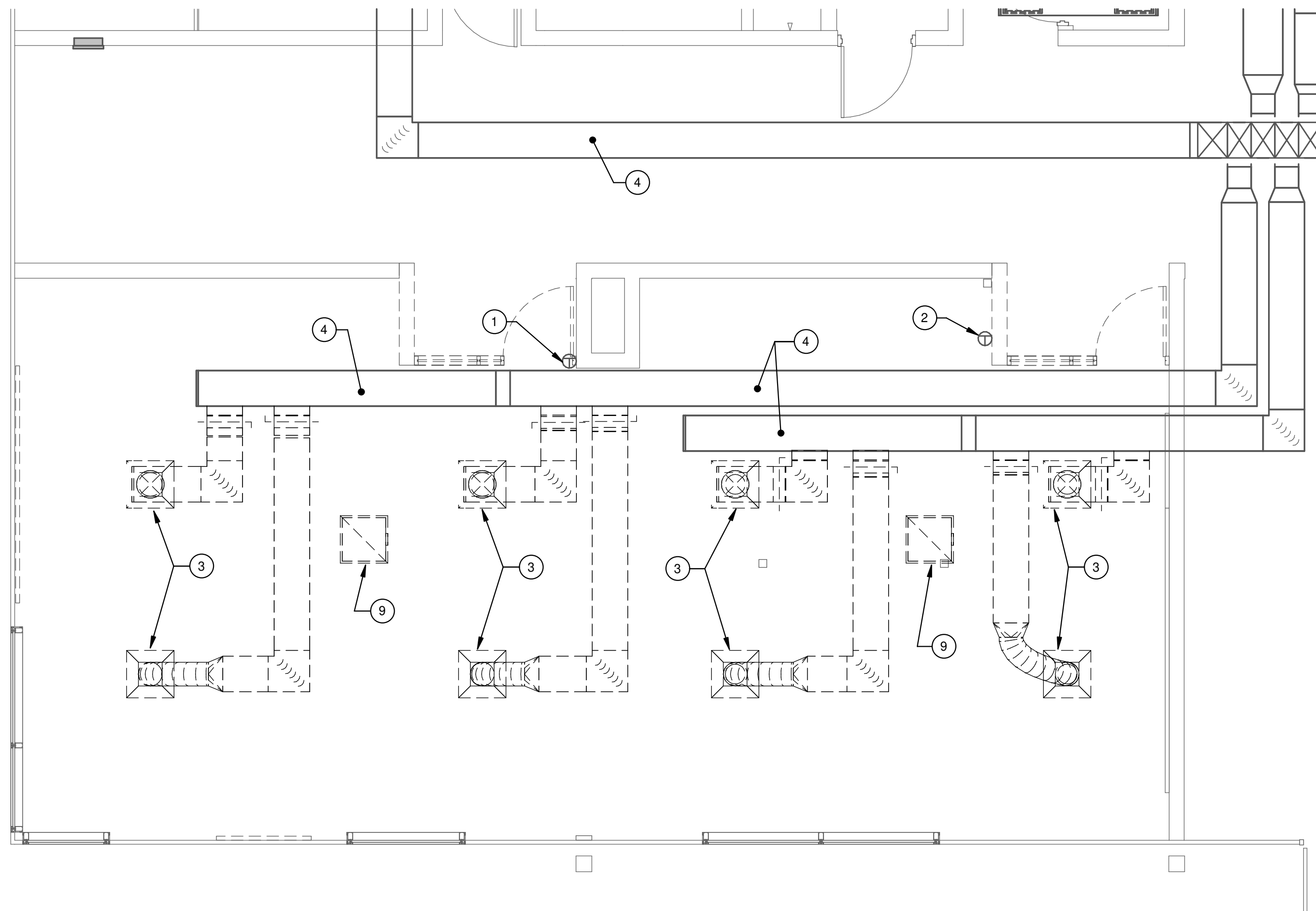
DRAWING NOTES

- EXISTING THERMOSTAT TO REMAIN.
- CAREFULLY REMOVE EXISTING THERMOSTAT INCLUDING ASSOCIATED CONDUIT, WIRING, PNEUMATIC TUBING, ETC. LOCATED ABOVE ANY ACCESSIBLE CEILING BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS. INSTALL AT NEW LOCATION AS INDICATED ON NEW WORK PLANS. PROVIDE BLANK COVER PLATE OVER ALL ABANDONED JUNCTION BOXES IN WALLS THAT ARE TO REMAIN.
- REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED AND CAP ANY UNUSED OPENING AT MAIN.
- EXISTING DUCTWORK, DIFFUSERS, REGISTERS, AND GRILLES TO REMAIN.
- EXISTING HVAC EQUIPMENT TO REMAIN.
- SUPPORT EXISTING DIFFUSERS, REGISTERS, GRILLES AND ASSOCIATED DUCTWORK AS REQUIRED TO ACCOMMODATE LIGHTING AND CEILING WORK THIS AREA. MODIFY/EXTEND DUCTWORK AS REQUIRED TO REINSTALL EXISTING DIFFUSER IN CEILING.
- NEW CONNECTION TO BE MADE AT THIS LOCATION. REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED BEYOND THIS POINT.
- EXISTING PIPING AND VALVING TO REMAIN.
- REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED.

BIDDING NOTE:
PRIOR TO ANY WORK PERFORMED OR SYSTEM MODIFICATIONS, MEASURE EXISTING SUPPLY/RETURN/EXHAUST AIR FLOW RATES AT EACH EXISTING DIFFUSER/REGISTER/GRILLE WITHIN AREA OF WORK. MEASURE AIRFLOW RATE AT SUPPLY AND RETURN MAIN DUCTWORK AT EQUIPMENT PRIOR TO ANY TAKEOFFS. PROVIDE REPORT TO ENGINEER INDICATING EXISTING AIR FLOW RATES MEASURED, AND INCLUDE A MAP INDICATING WHERE EACH READING WAS TAKEN. INCLUDE IN REPORT ANY DUCTWORK OR SYSTEM DEFICIENCIES IDENTIFIED DURING EXISTING SYSTEM AIR FLOW TESTING.



2 LEVEL 1 - EMS CLASSROOM HVAC DEMOLITION PLAN
1/4" = 1'-0"



1 LEVEL 1 - CAL CLASSROOM HVAC DEMOLITION PLAN
1/4" = 1'-0"



ARCHITECT OF RECORD
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SCHAUMBURG, IL 60173
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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
**ISSUED FOR BID - NOT
FOR CONSTRUCTION**

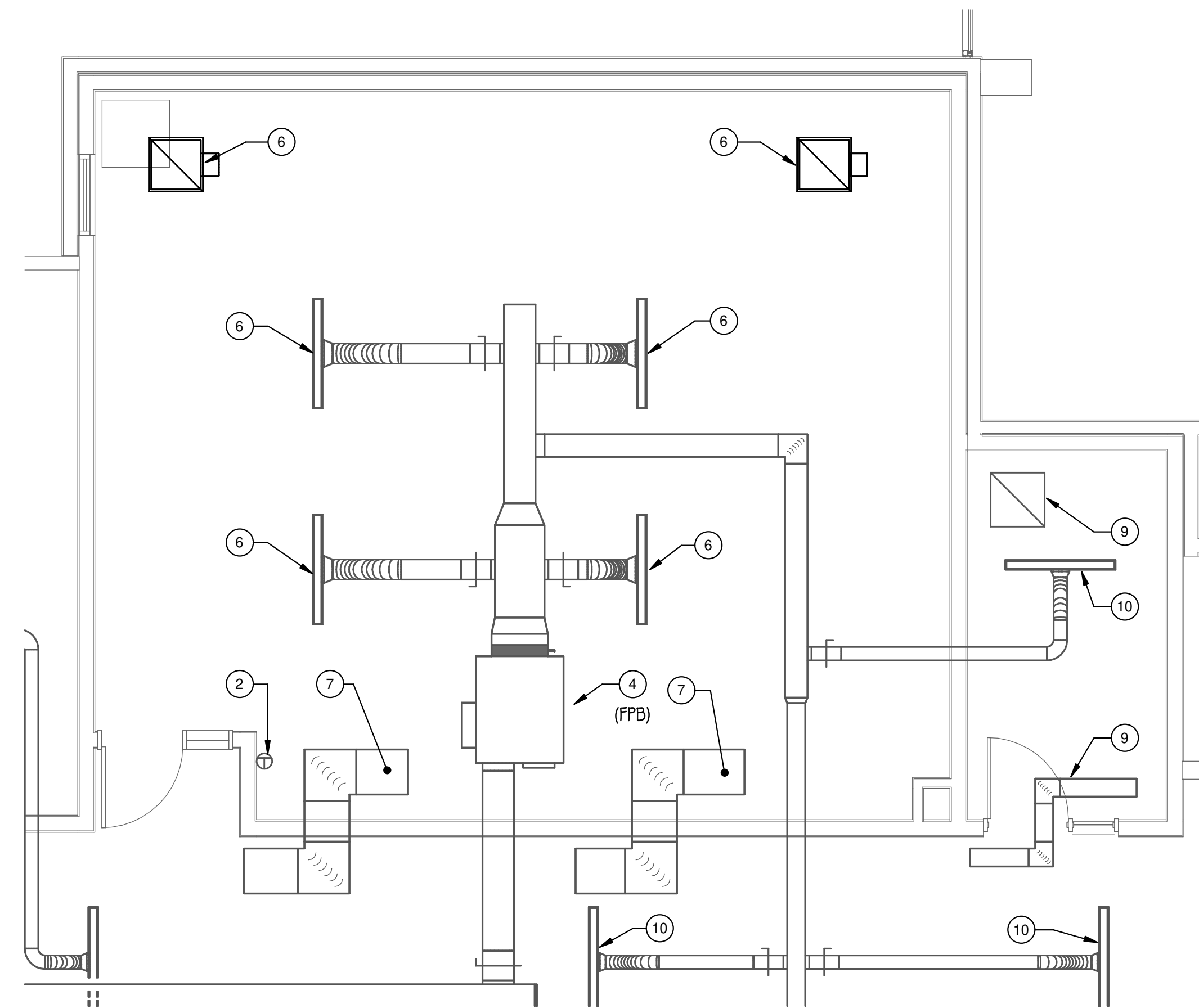
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SHEET TITLE:
HVAC PLANS-BP1

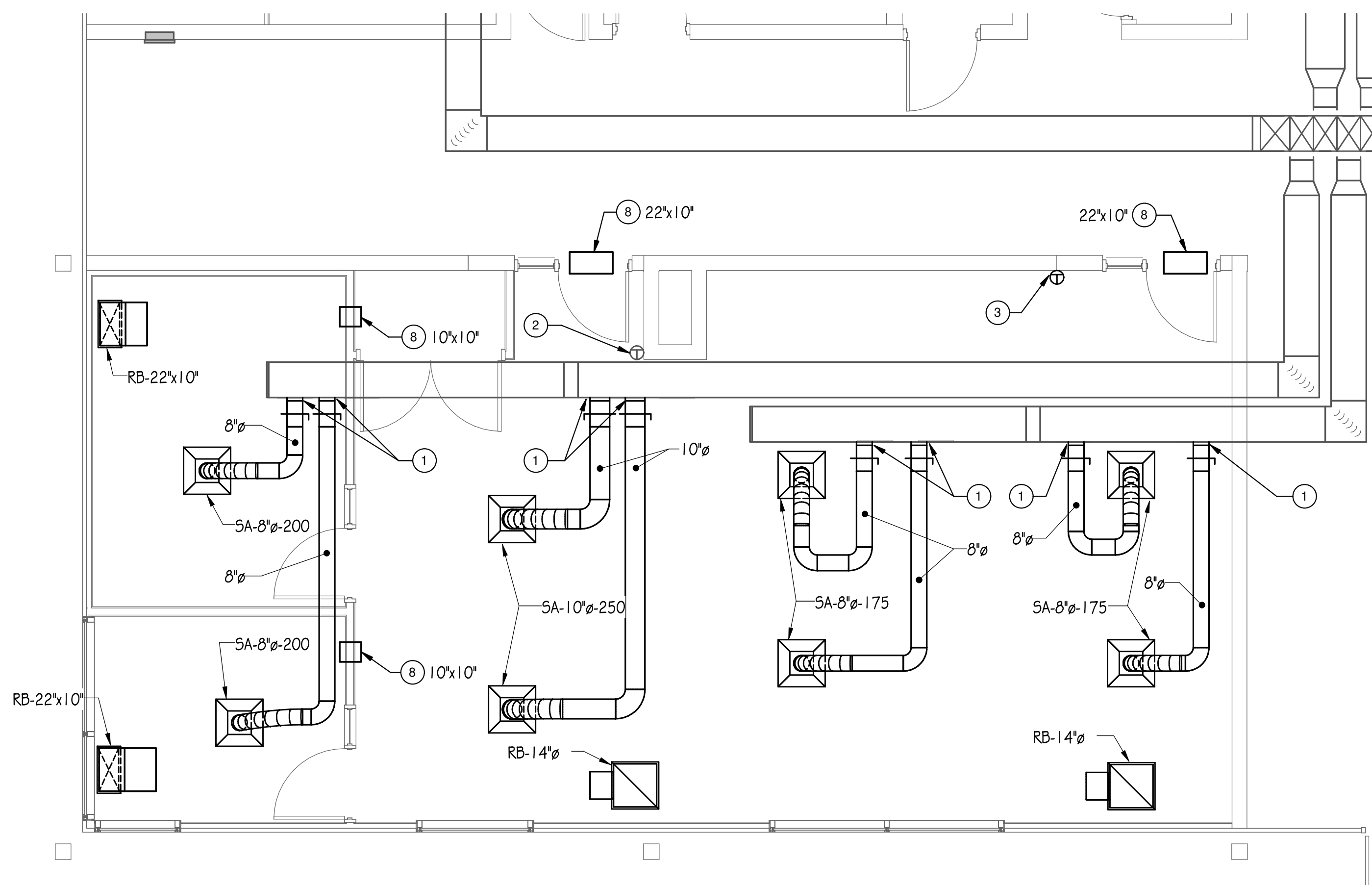
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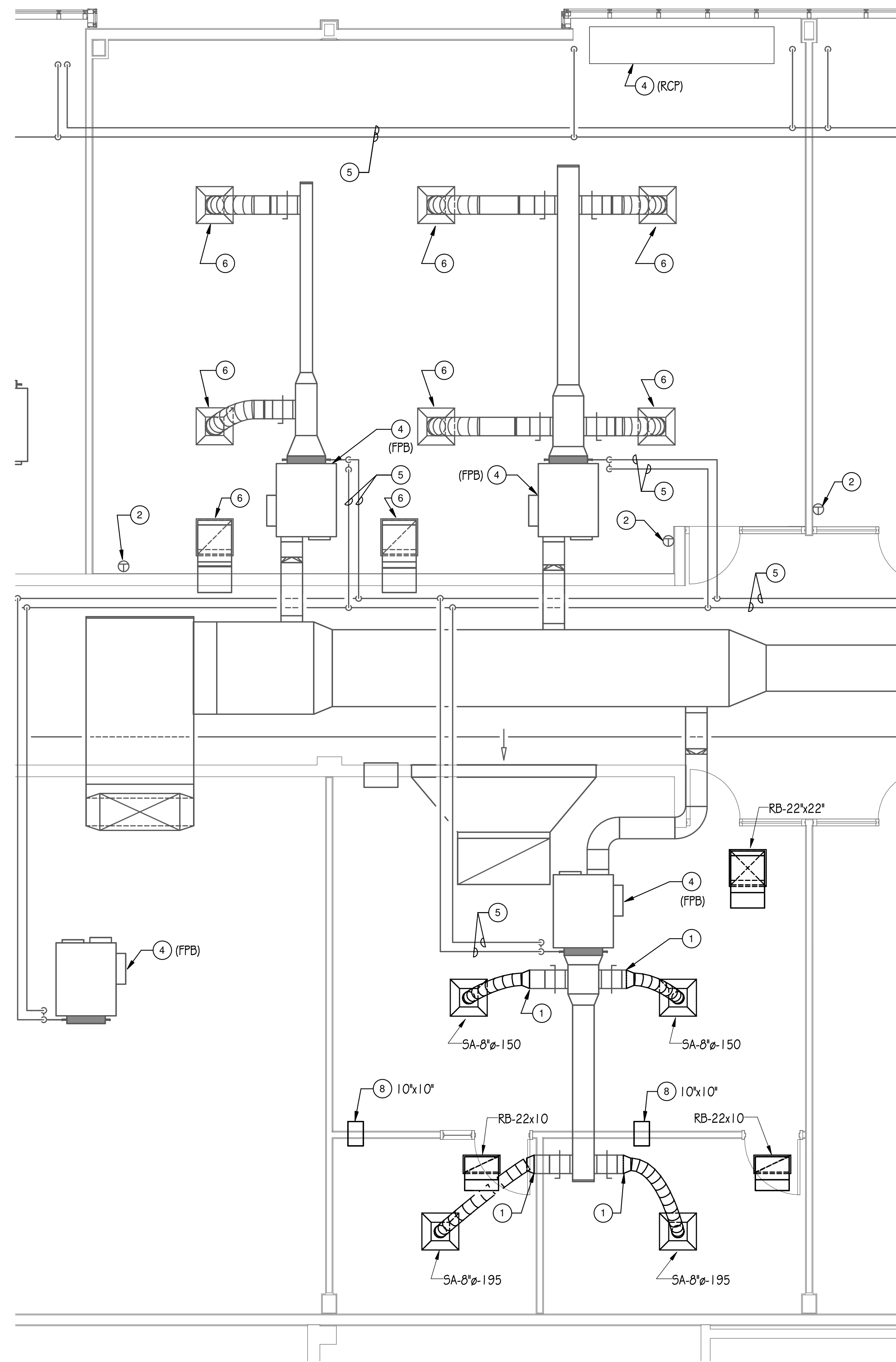
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2 LEVEL 1 - EMS CLASSROOM HVAC PLAN
1/4" = 1'-0"



1 LEVEL 1 - CAL CLASSROOM HVAC PLAN
1/4" = 1'-0"



3 LEVEL 1 - FIRE SCIENCE HVAC PLAN
1/4" = 1'-0"

DRAWING NOTES

- 1 MAKE NEW CONNECTION TO EXISTING DUCTWORK AT THIS LOCATION.
- 2 EXISTING THERMOSTAT TO REMAIN.
- 3 NEW LOCATION OF EXISTING THERMOSTAT. MODIFY/EXTEND CONDUIT, WIRING, PNEUMATIC TUBING, ETC. BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS.
- 4 EXISTING HVAC EQUIPMENT TO REMAIN.
- 5 EXISTING PIPING AND VALVING TO REMAIN.
- 6 EXTEND/MODIFY EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE INSTALLATION OF EXISTING DIFFUSER, REGISTER, OR GRILLE INTO CEILING. CLEAN TO BE FREE OF DUST/DIRT. BALANCE TO AIRFLOW RATE MEASURED PRIOR TO SYSTEM MODIFICATIONS.
- 7 EXISTING DUCTWORK, DIFFUSERS, REGISTERS, AND GRILLES TO REMAIN.
- 8 PROVIDE TRANSFER DUCT ABOVE CEILING OF SIZE INDICATED.
- 9 SUPPORT EXISTING DIFFUSERS, REGISTERS, GRILLES AND ASSOCIATED DUCTWORK AS REQUIRED TO ACCOMMODATE LIGHTING AND CEILING WORK THIS AREA. MODIFY/EXTEND DUCTWORK AS REQUIRED TO REINSTALL EXISTING DIFFUSER IN CEILING.
- 10 BALANCE EXISTING DIFFUSER TO AIRFLOW RATE MEASURED PRIOR TO SYSTEM MODIFICATIONS.



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
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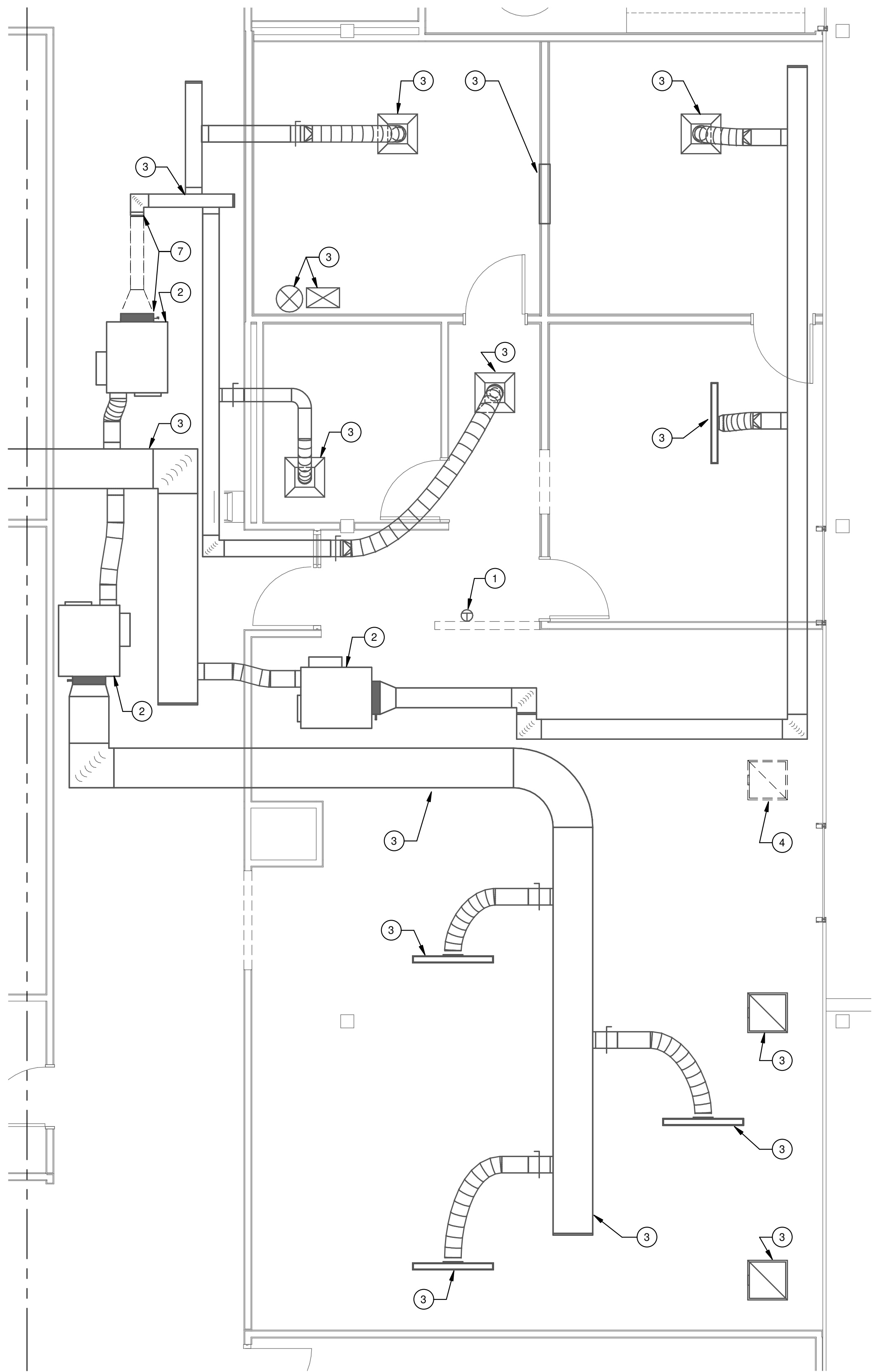
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SHEET TITLE:
HVAC PLANS - BP1

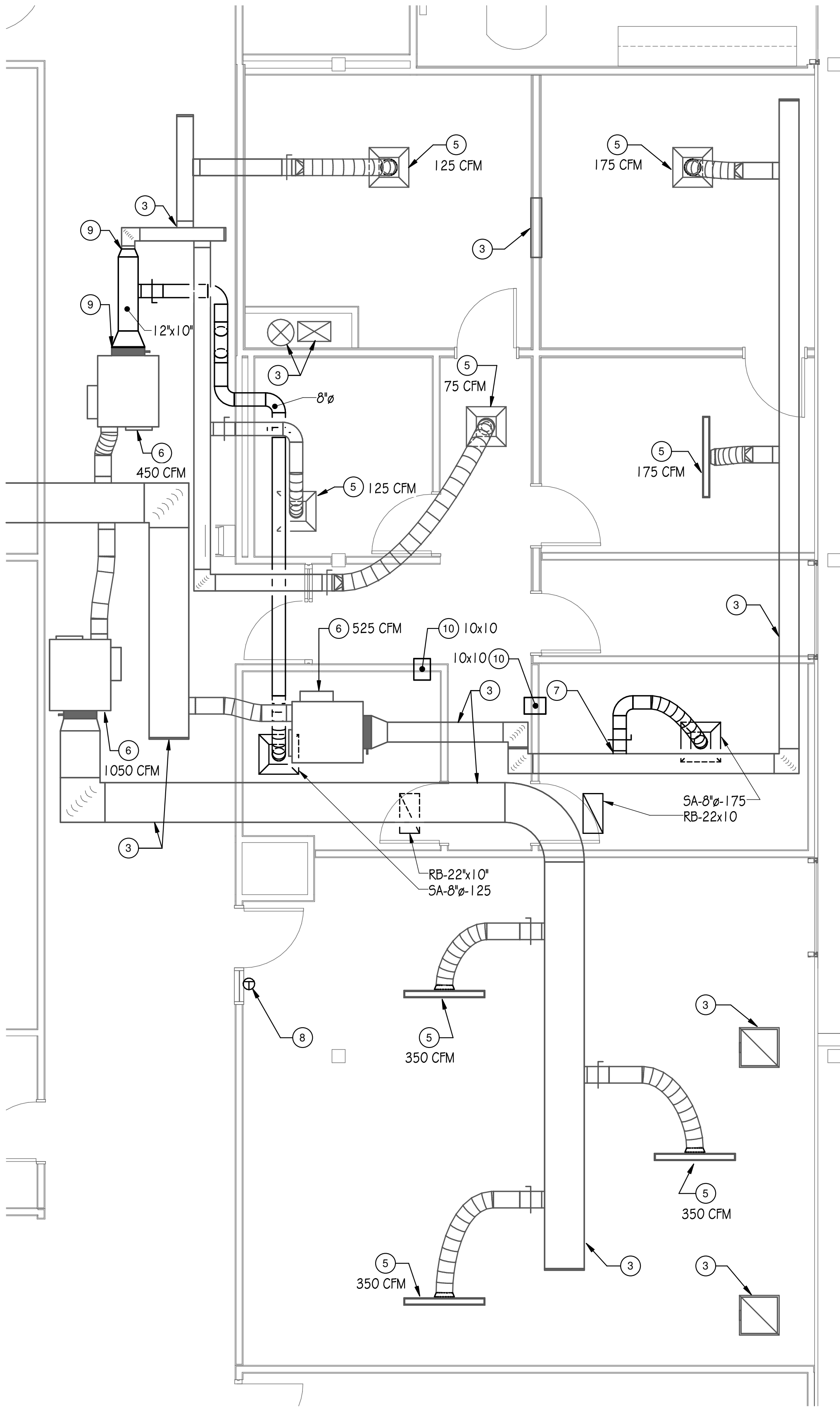
SHEET NUMBER:
HV1.11

7/24/2024 11:27:54 AM

- DRAWING NOTES**
- CAREFULLY REMOVE EXISTING THERMOSTAT INCLUDING ASSOCIATED CONDUIT, WIRING, PNEUMATIC TUBING, ETC. LOCATED ABOVE ANY ACCESSIBLE CEILING BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS. INSTALL AT NEW LOCATION AS INDICATED ON NEW WORK PLANS. PROVIDE BLANK COVER PLATE OVER ALL ABANDONED JUNCTION BOXES IN WALLS THAT ARE TO REMAIN.
 - EXISTING HVAC EQUIPMENT TO REMAIN.
 - EXISTING DUCTWORK, DIFFUSERS, REGISTERS, AND GRILLES TO REMAIN.
 - REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED.
 - BALANCE EXISTING DIFFUSER TO AIRFLOW RATE MEASURED PRIOR TO SYSTEM MODIFICATIONS.
 - BALANCE EXISTING HVAC EQUIPMENT TO AIRFLOW RATE INDICATED.
 - NEW CONNECTION TO BE MADE AT THIS LOCATION. REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED BEYOND THIS POINT.
 - NEW LOCATION OF EXISTING THERMOSTAT. MODIFY/EXTEND CONDUIT, WIRING, PNEUMATIC TUBING, ETC. BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS.
 - MAKE NEW CONNECTION TO EXISTING DUCTWORK AT THIS LOCATION.
 - PROVIDE TRANSFER DUCT ABOVE CEILING OF SIZE INDICATED.







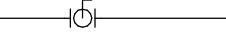














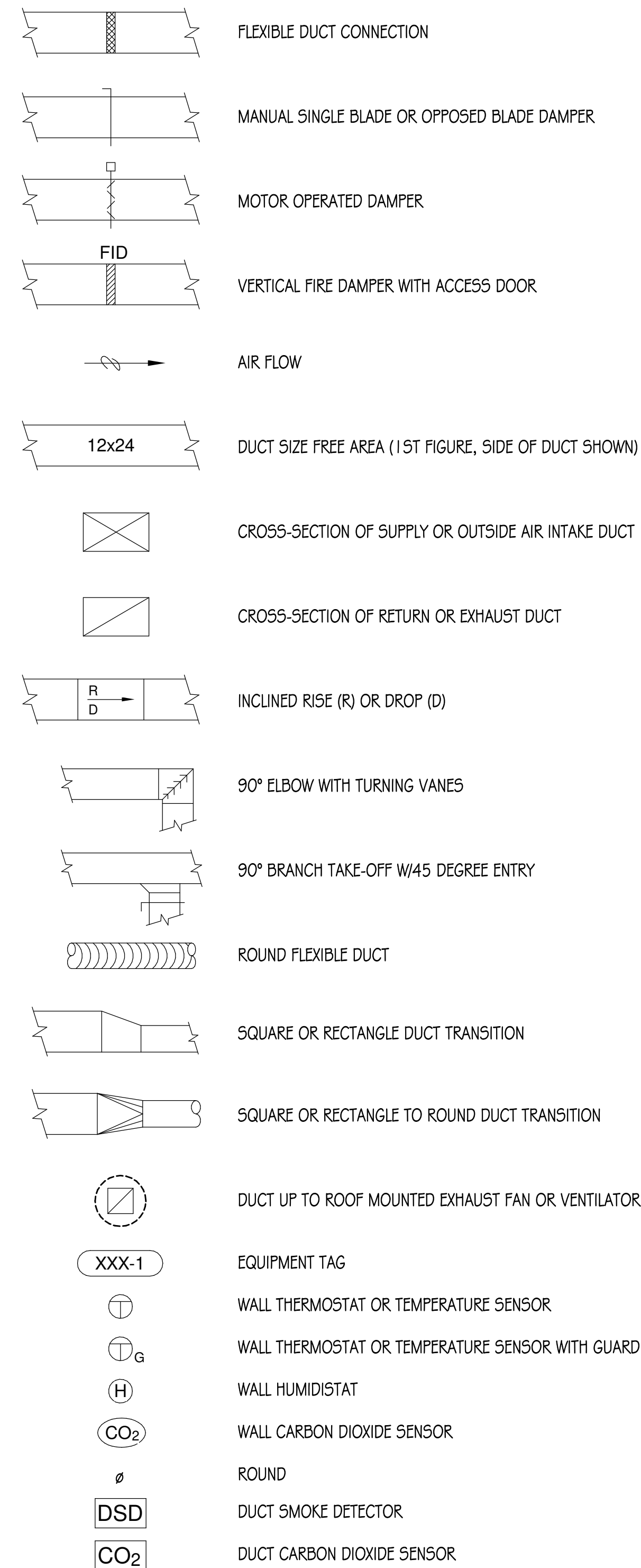
1 HVAC DEMOLITION PLAN - A229
1/4" = 1'-0"



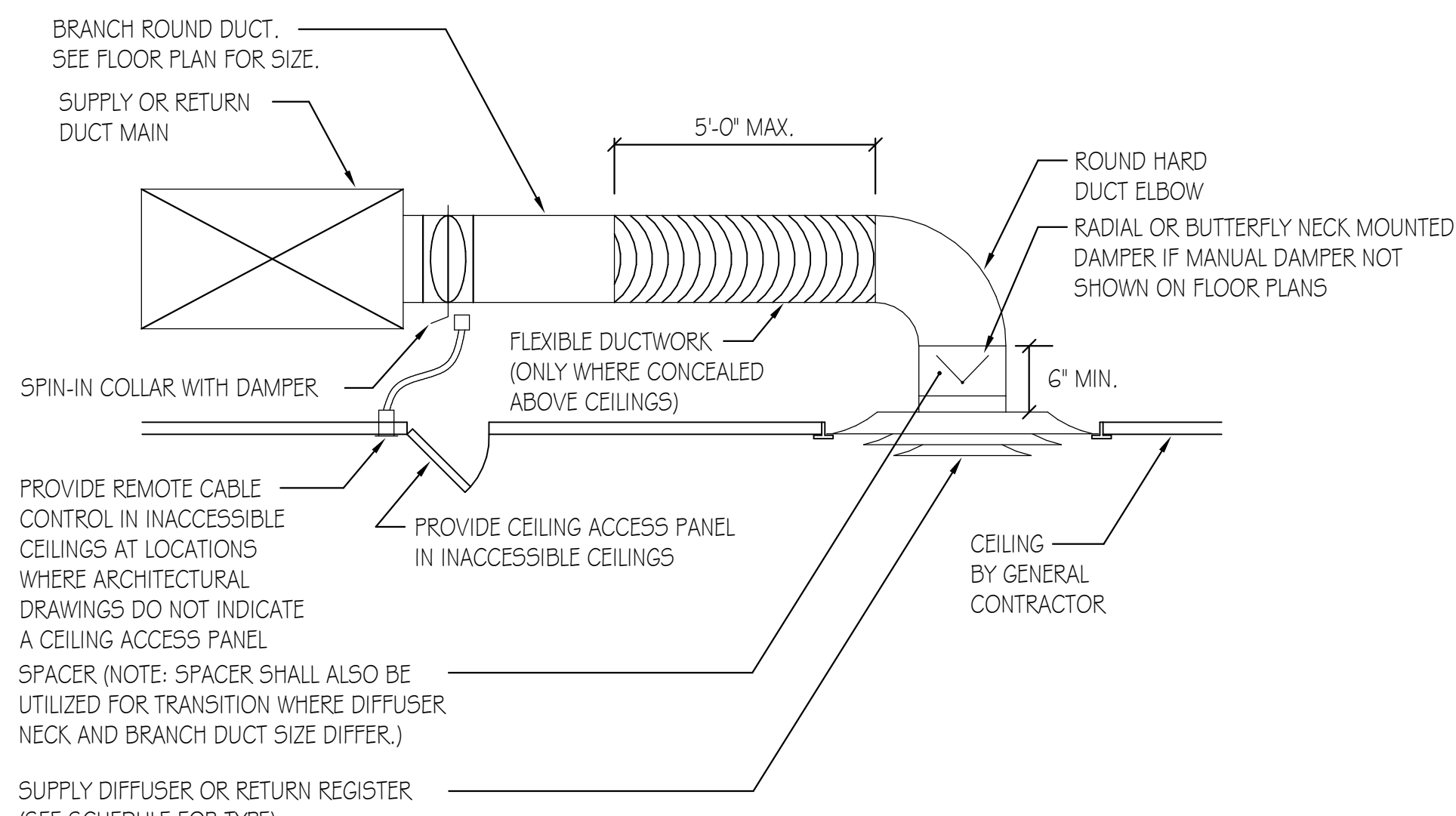
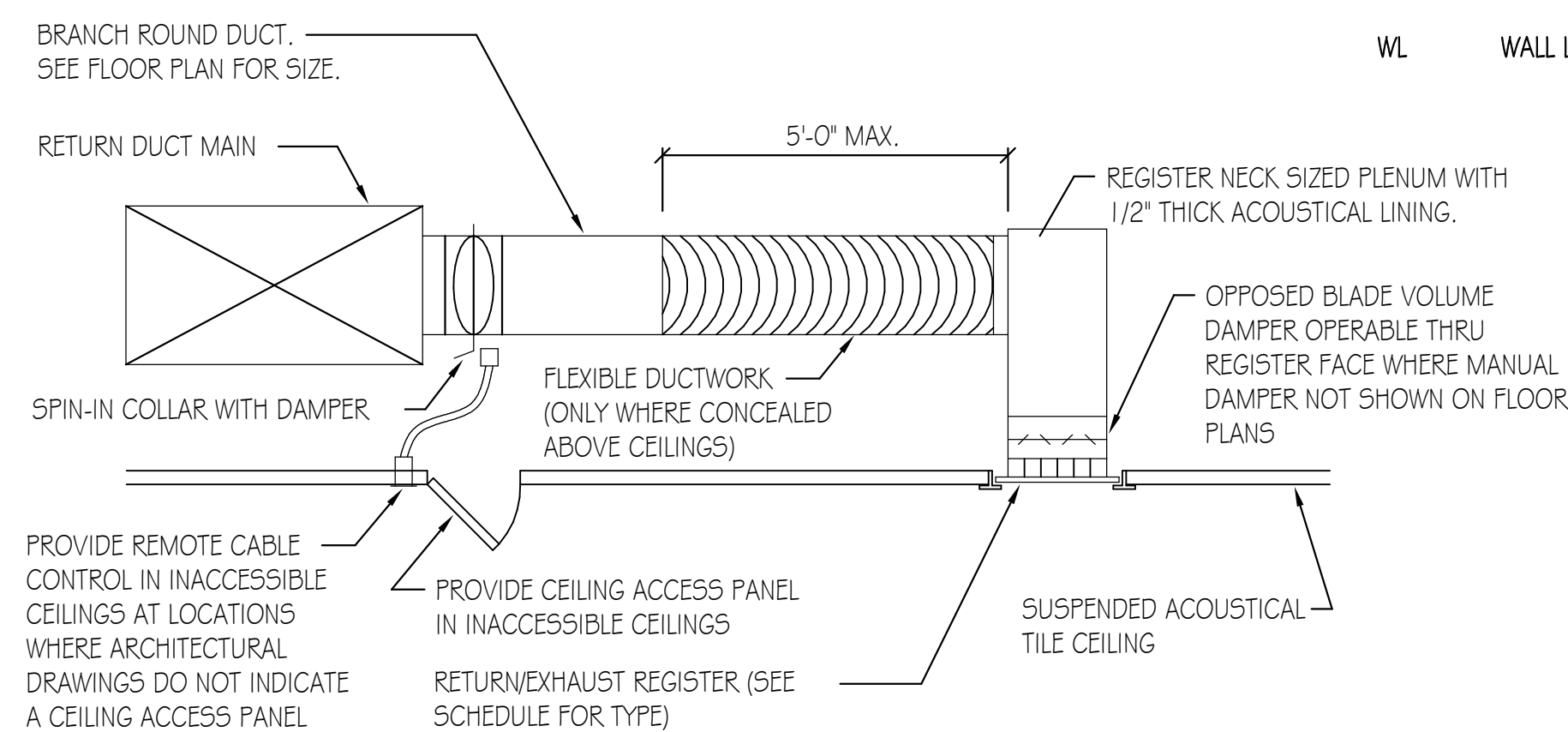
2 HVAC PLAN - A229
1/4" = 1'-0"

ACCU	AIR COOLED CONDENSING UNIT	FTR	FINNED TUBE RADIATION
AD	ACCESS DOOR	G	GAS PIPING
A.F.F.	ABOVE FINISHED FLOOR	GC	GENERAL CONTRACTOR
AHU	AIR HANDLING UNIT	GPM	GALLONS PER MINUTE
AP	ACCESS PANEL	HE	HEAT EXCHANGER
BAS	BUILDING AUTOMATION SYSTEM	HP	HORSEPOWER
BHP	BRAKE HORSEPOWER	HWC	HOT WATER COIL
BOP	BOTTOM OF PIPE	HWR	HOT WATER RETURN
BTU	BRITISH THERMAL UNIT	HWS	HOT WATER SUPPLY
BTUH	BRITISH THERMAL UNIT PER HOUR	LAT	LEAVING AIR TEMPERATURE
CFM	CUBIC FEET PER MINUTE	LWT	LEAVING WATER TEMPERATURE
CU	CONDENSING UNIT	MCA	MINIMUM CIRCUIT AMPS
CUH	CABINET UNIT HEATER	MOCF	MAXIMUM OVERCURRENT PROTECT
CV	CONVECTOR	MOD	MOTOR OPERATED DAMPER
D	DRAIN LINE	NC	NEW CONNECTION
DB	DRY BULB	NK	NECK
DG	DOOR GRILLE	N.I.C.	NOT IN CONTRACT
DN.	DOWN	PD	PRESSURE DROP
DS	DUCT SILENCER	PH	PHASE
DSD	DUCT SMOKE DETECTOR	PSI	POUNDS PER SQUARE INCH
EAT	ENTERING AIR TEMPERATURE	RPM	REVOLUTIONS PER MINUTE
EF	EXHAUST FAN	RTU	ROOFTOP UNIT
EFT	ELECTRIC FINNED TUBE	SP	STATIC PRESSURE
ESP	EXTERNAL STATIC PRESSURE	SUH	SUSPENDED UNIT HEATER
EWT	ENTERING WATER TEMPERATURE	TC	TEMPERATURE CONTROL
F	FAHRENHEIT	TSP	TOTAL STATIC PRESSURE
FD	FLOOR DRAIN	TYP.	TYPICAL
FID	FIRE DAMPER	UC	UNDERCUT DOOR
FPB	SERIES FAN POWERED BOX	VAV	VARIABLE AIR VOLUME BOX
FPB	PARALLEL FAN POWERED BOX	VD	VOLUME DAMPER
FPF	FINS PER FOOT	VFD	VARIABLE FREQUENCY DRIVE
FPM	FEET PER MINUTE	WB	WET BULB
		W.C.	WATER COLUMN
		WL	WALL LOUVER

	HOT WATER SUPPLY
	HOT WATER RETURN
	COMPRESSED AIR (NON-MEDICAL)
	NATURAL GAS
	REFRIGERANT SUCTION
	REFRIGERANT LIQUID
	DRAIN LINE
	BALL VALVE (2" & SMALLER)
	BUTTERFLY VALVE (2 1/2" & LARGER)
	DIRECTION OF FLOW
	PITCH OF PIPE (DOWN)
	PIPE ELBOW (TURNED UP)
	PIPE ELBOW (TURNED DOWN)
	PIPE TEE DOWN (DROP)
	PIPE TEE UP
	PIPE TEE UP OR ANGLE
	PIPE TEE DOWN OR ANGLE
	NEW CONNECTION
	GAS PRESSURE REGULATOR



1. ALL NEW WORK AND MATERIALS SHALL CONFORM TO CRISTAL LAKE CODE AND BUILDING STANDARDS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS AND PAYING THEIR ASSOCIATED FEES.
3. NOISE AND VIBRATION WILL NOT BE TOLERATED. CONTRACTOR SHALL BID ON FURNISHING EVERY DETAIL TO ASSURE THIS END.
4. PATCH AND REFINISH ALL DAMAGED INSULATED SURFACES OF ALL EXISTING DUCTWORK, PIPING AND ASSOCIATED FITTINGS TO MATCH EXISTING WHERE NEW CONNECTIONS ARE BEING MADE.
5. CONTRACTORS SHALL PROVIDE A ONE YEAR WARRANTY ON ALL MATERIALS, EQUIPMENT AND LABOR FROM DATE OF SUBSTANTIAL COMPLETION OF WORK.
6. THE LOCATIONS SHOWN FOR ALL DIFFUSERS, REGISTERS AND GRILLES, ETC. ARE DIAGRAMMATIC. EXACT LOCATION SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS AND/OR ON THE JOB SITE BY THE ARCHITECT/ENGINEER REPRESENTATIVES.
7. EXCEPT AS NOTED OTHERWISE, ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE GALVANIZED SHEET METAL WITH SEALED JOINTS CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH CURRENT SMACNA MANUAL. SIZES SHOWN ARE INSIDE FACE TO INSIDE FACE.
8. ROUND EXPOSED SUPPLY OR RETURN DUCTWORK SHALL BE SINGLE WALL SPIRAL GALVANIZED.
9. THE GAUGES OF IRON FOR DUCTS AND CASINGS AND SIZE OF STRUCTURAL REINFORCING ANGLES FOR DUCTS AND CASING SHALL BE SUCH AS TO PROVIDE ABSOLUTELY AIR TIGHT CONSTRUCTION FREE FROM PULSATION, DEFORMATION, OR VIBRATION AT NORMAL OPERATING PRESSURES.
10. ALL NEW CONCEALED SUPPLY DUCTWORK OUTSIDE OF MECHANICAL ROOM ASHALL BE EXTERNALLY INSULATED WITH MINIMUM 1 1/2" THICK WITH FLEXIBLE FIBERGLASS INSULATION WITH VAPOR BARRIER JACKET.
11. ALL ROUND CONCEALED FLEXIBLE DUCT SHALL BE WIREMOLD OR THERMOFLEX FACTORY INSULATED 1" THICK MAXIMUM OF 5'-0" LONG TO DIFFUSERS/REGISTERS, MAXIMUM OF 3'-0" LONG TO VAV OR FAN POWERED BOXES. FLEXIBLE DUCT MAY BE UTILIZED ONLY WHERE CONCEALED ABOVE ACCESSIBLE CEILING.
12. ALL NEW RECTANGULAR RETURN AND TRANSFER DUCTWORK SHALL BE INTERNALLY LINED MINIMUM 1" THICK WITH MATT FACED FIBERGLASS DUCT LINER.
13. PROVIDE MANUAL VOLUME DAMPERS AT EACH BRANCH DUCT TAKEOFF IN SUPPLY DUCTWORK (DOWNSTREAM OF PPB AND VAV BOXES) AND IN RETURN/EXHAUST DUCTWORK. PROVIDE TURNING VANES IN ALL SQUARE DUCT ELBOWS.
14. FIRE DAMPERS SHALL BE RUSKIN MODEL D1BD WITH BLADE STACK OUTSIDE OF THE AIRSTREAM. PROVIDE DUCT ACCESS DOOR ADJACENT.
15. PAINT ALL INTERIOR DUCTWORK VISIBLE THROUGH AIR INLETS OR OUTLETS FLAT BLACK.
16. CONTRACTOR SHALL PROVIDE NEW FILTERS AND CLEAN CONDENSER COIL FOR EXISTING MECHANICAL EQUIPMENT SERVING AREAS OF WORK WHERE MECHANICAL SYSTEMS ARE MODIFIED.
17. BALANCE DUCT SYSTEMS TO ACCOMPLISH AIR QUANTITIES SHOWN AT ALL INLETS/OUTLETS (NEW AND EXISTING) AS SHOWN ON DRAWING AND SUBMIT TEST REPORT FOR REVIEW BY OWNER AND ENGINEER.
18. HOT WATER HEATING SUPPLY AND RETURN PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH WELDED OR SCREWED FITTINGS OR TYPE 1" COPPER WITH SOLDERED OR PRESSED FITTINGS, INSULATED WITH 1 1/2" THICK (1 1/4" AND BELOW OR 2" THICK (1 1/2" AND ABOVE) FIBERGLASS WITH ALL SERVICE JACKET. PROVIDE DIELECTRIC NIPPLES OR BRASS VALVES BETWEEN DISSIMILAR PIPE MATERIALS.
19. NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK AND CONFORM WITH ASTM STANDARDS WELDED FOR PIPE SIZES 2 1/2" AND OVER AND SCREWED FOR PIPE SIZES 2" AND UNDER. WIRE BRUSH CLEAN AND PAINT ALL PIPING AND FITTINGS WITH 2 COATS OF RUST RESISTANT PAINT.
20. ALL PIPING SHALL BE SUSPENDED WITH CLEVIS AND/OR TRAPEZE PIPE HANGERS. INSULATED PIPING SHALL REST ON SHEET METAL INSULATION SHIELDS. (ANCHORS SHALL BE DRILLED INTO EXISTING FLOOR CONSTRUCTION).
21. PITCH ALL SUPPLY AND RETURN WATER LINES TO DRAIN COMPLETELY THROUGH LOWER EQUIPMENT, UNIONS, OR DRAIN VALVES. INSTALL A 1/2" DRAIN VALVE WITH HOSE THREAD OUT IN ALL MAIN PIPING RUNS WHICH WOULD NOT BE ABLE TO DRAIN THRU A LOWER PIECE OF EQUIPMENT. PROVIDE MANUAL AIR VENTS IN ALL PIPE DROPS IN DIRECTION OF FLOW.
22. FLUSH, CLEAN, PRESSURE TEST AND CHARGE ALL NEW PIPING SYSTEMS AND EXTENSION TO PIPING SYSTEMS. TESTING SHALL BE MINIMUM 50 PSI HIGHER THAN NORMAL OPERATING PRESSURE OF SYSTEM. CLEANING OF SYSTEM SHALL BE ACCOMPLISHED WITH H-O-H C-312 (OR EQUAL) CHEMICAL SOLUTION MULTIPURPOSE CLEANER UTILIZED IN STRICT ACCORDANCE WITH CHEMICAL TREATMENT SUPPLIERS INSTRUCTION.
23. ALL HYDRONIC SYSTEMS TO BE PROVIDED WITH H-O-H C5-39 (OR EQUAL) CHEMICAL SOLUTION CORROSION INHIBITOR IN CONCENTRATIONS RECOMMENDED BY AND INSTALLED IN STRICT ACCORDANCE WITH CHEMICAL SUPPLIERS INSTRUCTION. PROVIDE 30% PROPYLENE GLYCOL FOR ALL CLOSED WATER SYSTEMS SUBJECT TO FREEZING.
24. BALL VALVES SHALL BE STOCKHAM, MILWAUKEE, OR NIBCO M55 SP 110, 400 PSI WOG, ONE PIECE BRONZE BODY, CHROME PLATED BRASS BALL, FULL PORT, TEFLON SEATS, BLOW-OUT PROOF STEM, SOLDER ENDS, LEVER HANDLE.
25. PROVIDE GAS SHUT-OFF VALVE AT EACH PIECE OF EQUIPMENT AND PRESSURE REGULATORS WHERE REQUIRED. VENT ALL PRESSURE REGULATORS WITHIN THE BUILDING FLOOR SIZE TO BUILDING EXTERIOR.
26. BALANCE HOT WATER HEATING SYSTEM TO ACCOMPLISH WATER FLOW SHOWN AT ALL TERMINALS AS SHOWN ON DRAWINGS AND SUBMIT TEST REPORT FOR REVIEW BY OWNER AND ENGINEER.
27. ALL TEMPERATURE CONTROL WORK SHALL MATCH EXISTING SYSTEM CURRENTLY INSTALLED IN BUILDING.
28. LOW VOLTAGE WIRING SHALL BE UL LISTED AND PLENUM RATED (LOW SMOKE PRODUCING). WIRING SHALL BE CONCEALED IN WALLS AND MAY BE INSTALLED WITHOUT CONDUIT ABOVE ACCESSIBLE LAY-IN CEILING SPACES ONLY.



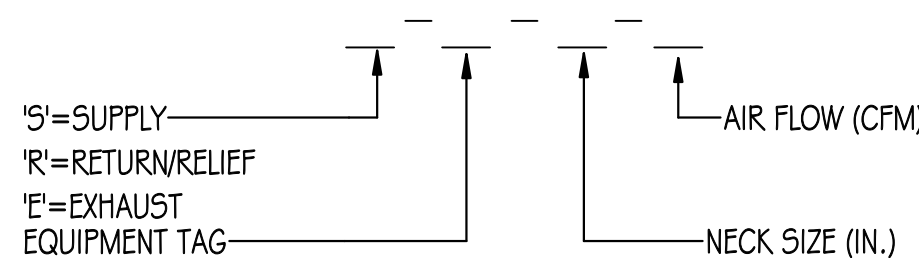
NO SCALE

DIFFUSER, REGISTER, AND GRILLE SCHEDULE							
TAG	MANUFACTURER	MODEL	TYPE	NOMINAL FACE SIZE	MATERIAL	MAX. N.C.	NOTES
A	TITUS	OMNI	SQUARE PANEL FACE	24"x24"	STEEL	30	1,2,3
B	TITUS	50F	EGG GRATE	VARIES	ALUMINUM	30	1,2,3,4
C	TITUS	30R	HEAVY DUTY O DEG. DEFLECTION GRILLE	VARIES	STEEL	30	1,2,3

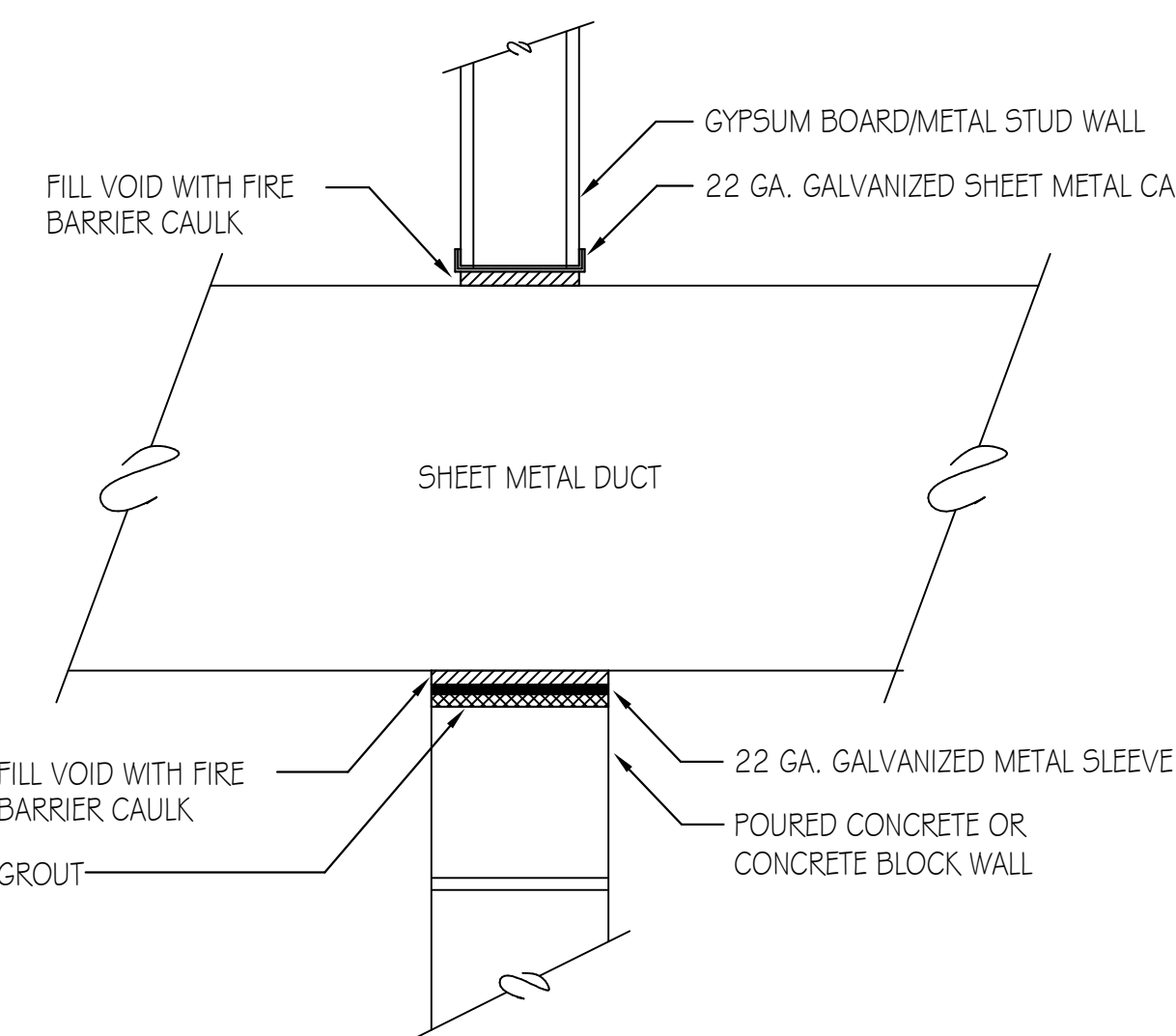
NOTES:

1. OTHER ACCEPTABLE MANUFACTURERS: PRICE CARNES.
2. FINISH AS SELECTED BY ARCHITECT.
3. OPPOSED BLADE DAMPER WHERE BRANCH DAMPER NOT INDICATED ON DRAWINGS.
4. $1/2" \times 1/2" \times 1"$ OR $1/2" \times 1/2" \times 1/2"$ W/ 45 DEG. DEFLECTION GRID.

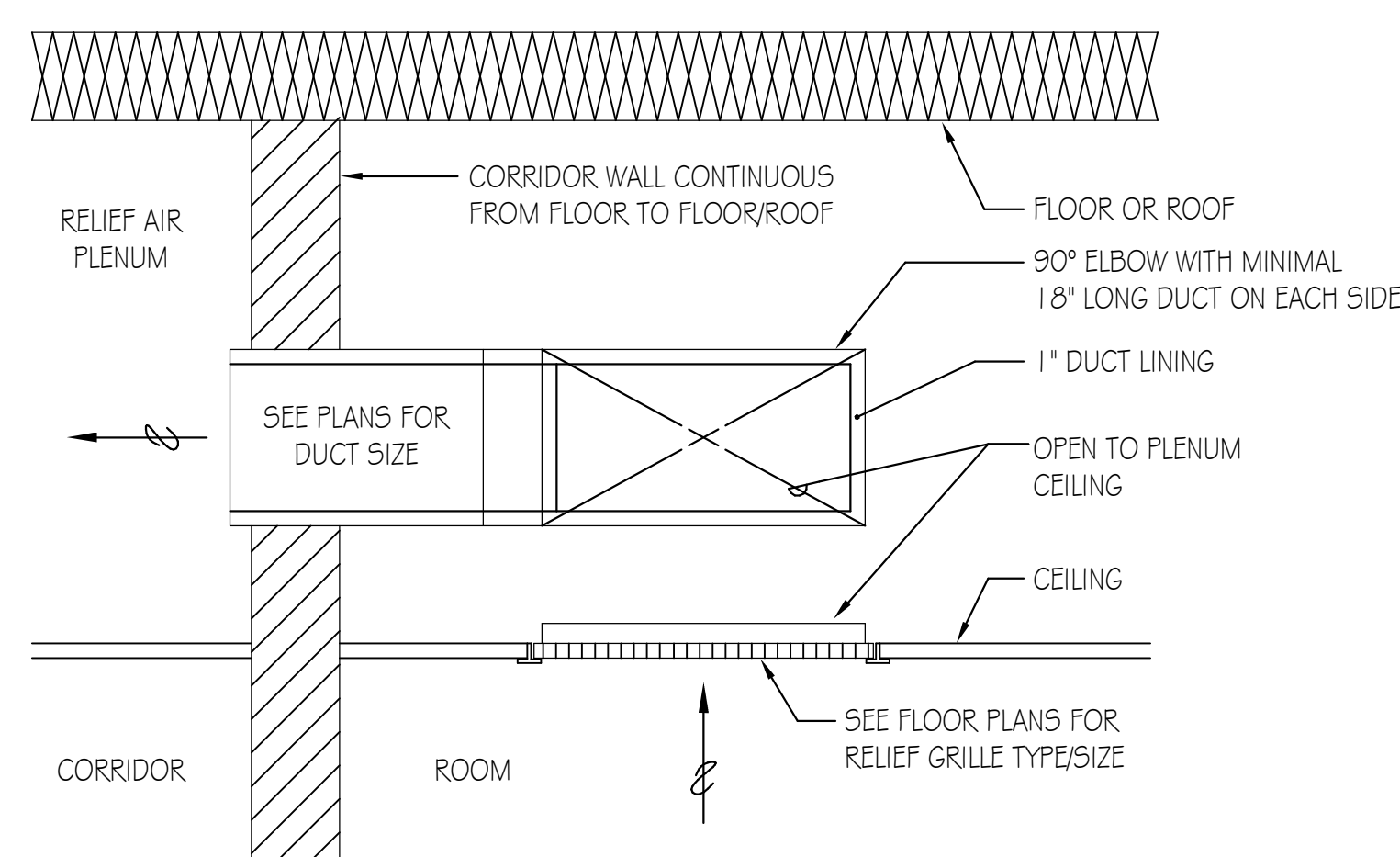
FLOOR PLAN TAG LEGEND:

**BIDDING NOTE:**

SEE DRAWINGS ME 1.00 FOR GENERAL NOTES AND
ADDITIONAL DETAILS APPLICABLE TO THIS TRADE'S
WORK.

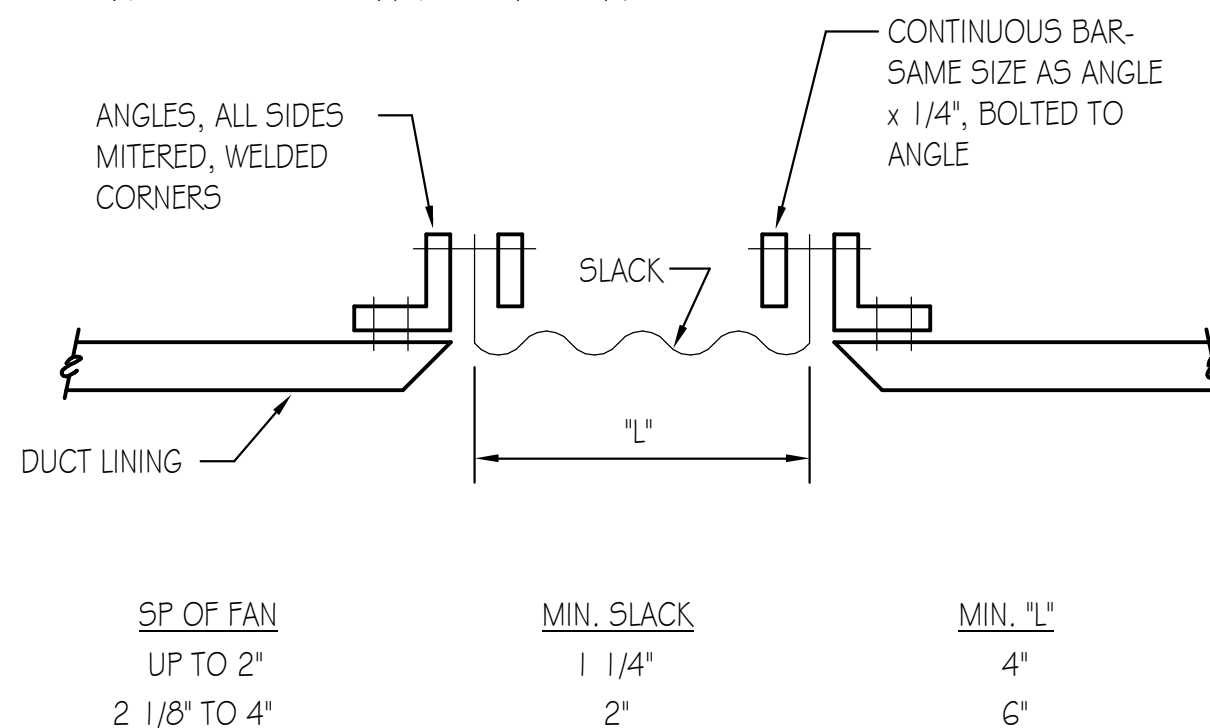


NO SCALE



NO SCALE

NOTE:
FLEXIBLE CONNECTION TO ISOLATE ALL DUCTS FROM ALL
FANS AND FAN ENCLOSURES TO PREVENT TRANSMISSION
OF VIBRATION TO DUCTWORK AND STRUCTURE.



NO SCALE



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

KEY PLAN

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT
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[illegible]

SHEET TITLE:

**HVAC DETAILS,
NOTES, SYMBOLS
AND ABBREVIATIONS**

SHEET NUMBER: _____

HV2.00



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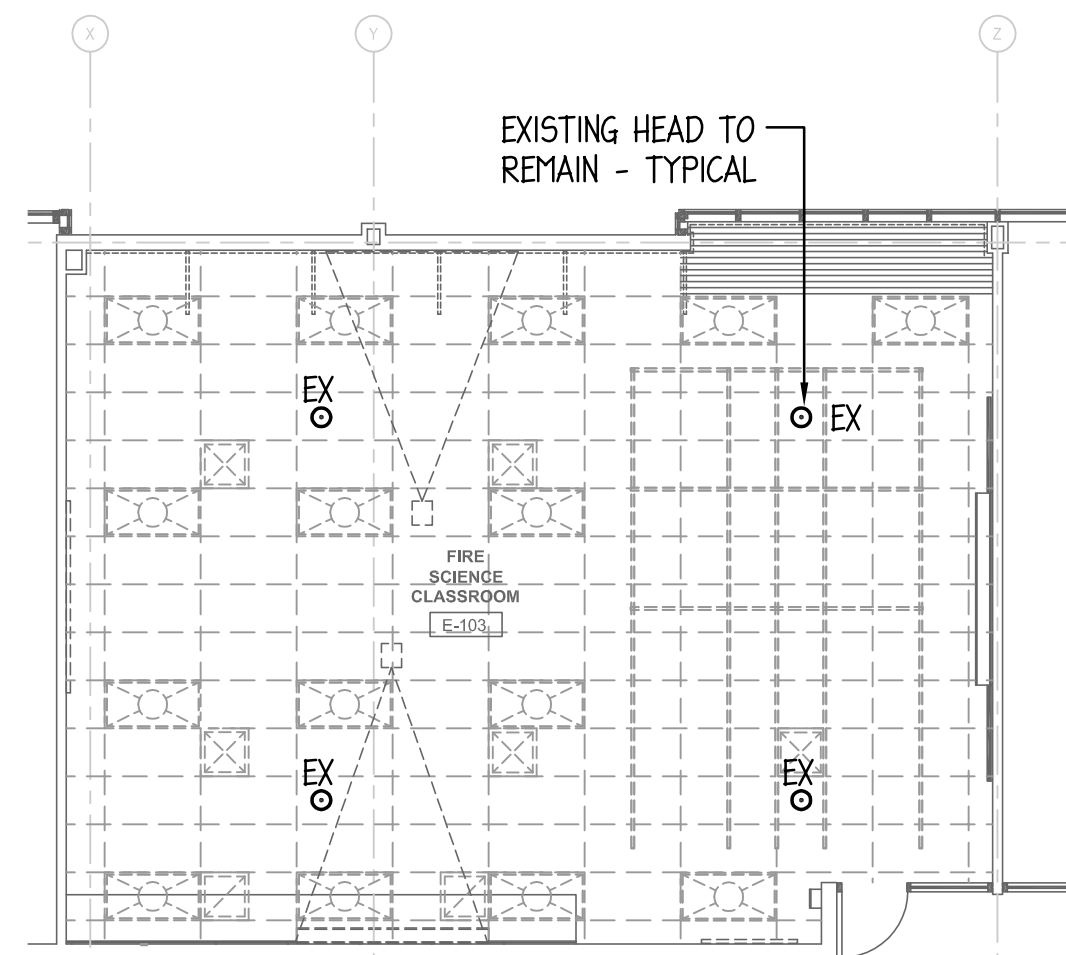
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SHEET STATUS: 7/24/2024
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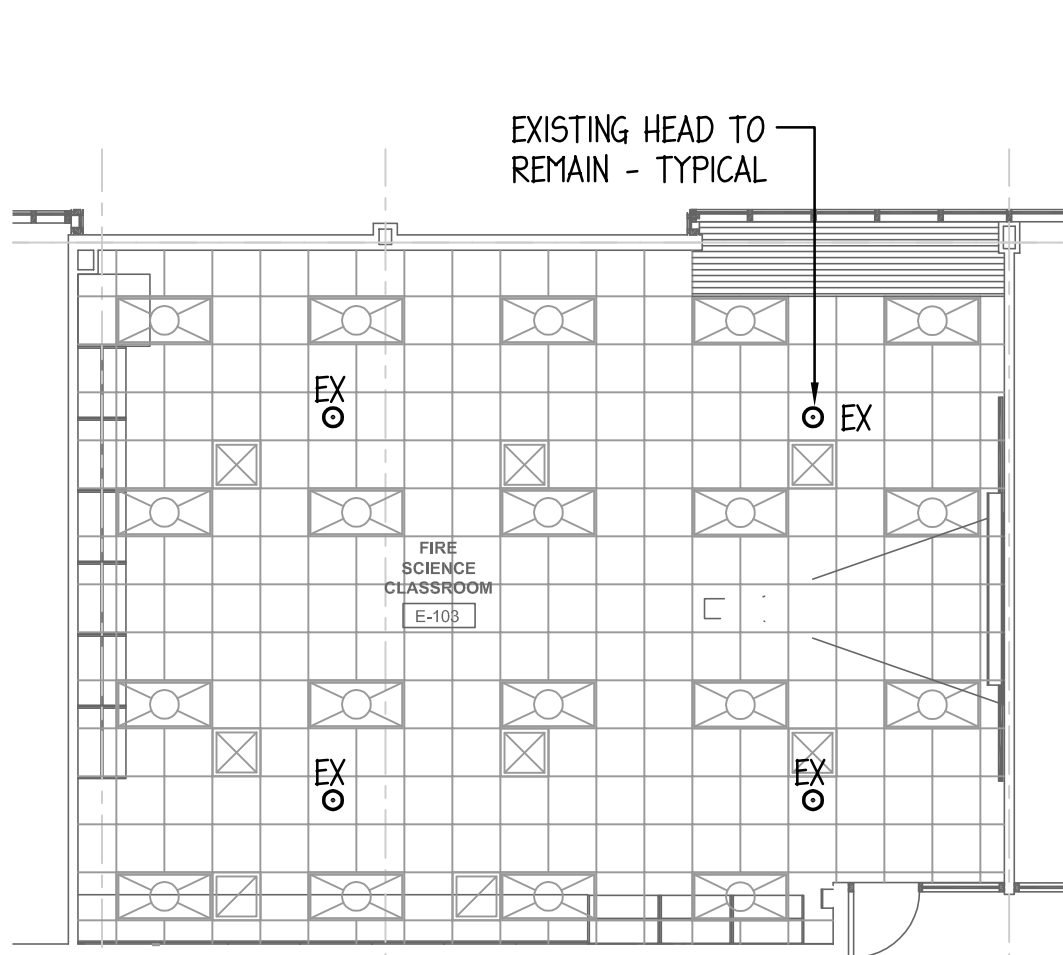
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SHEET TITLE:
**FIRST AND SECOND
FLOOR FIRE
PROTECTION PLANS**

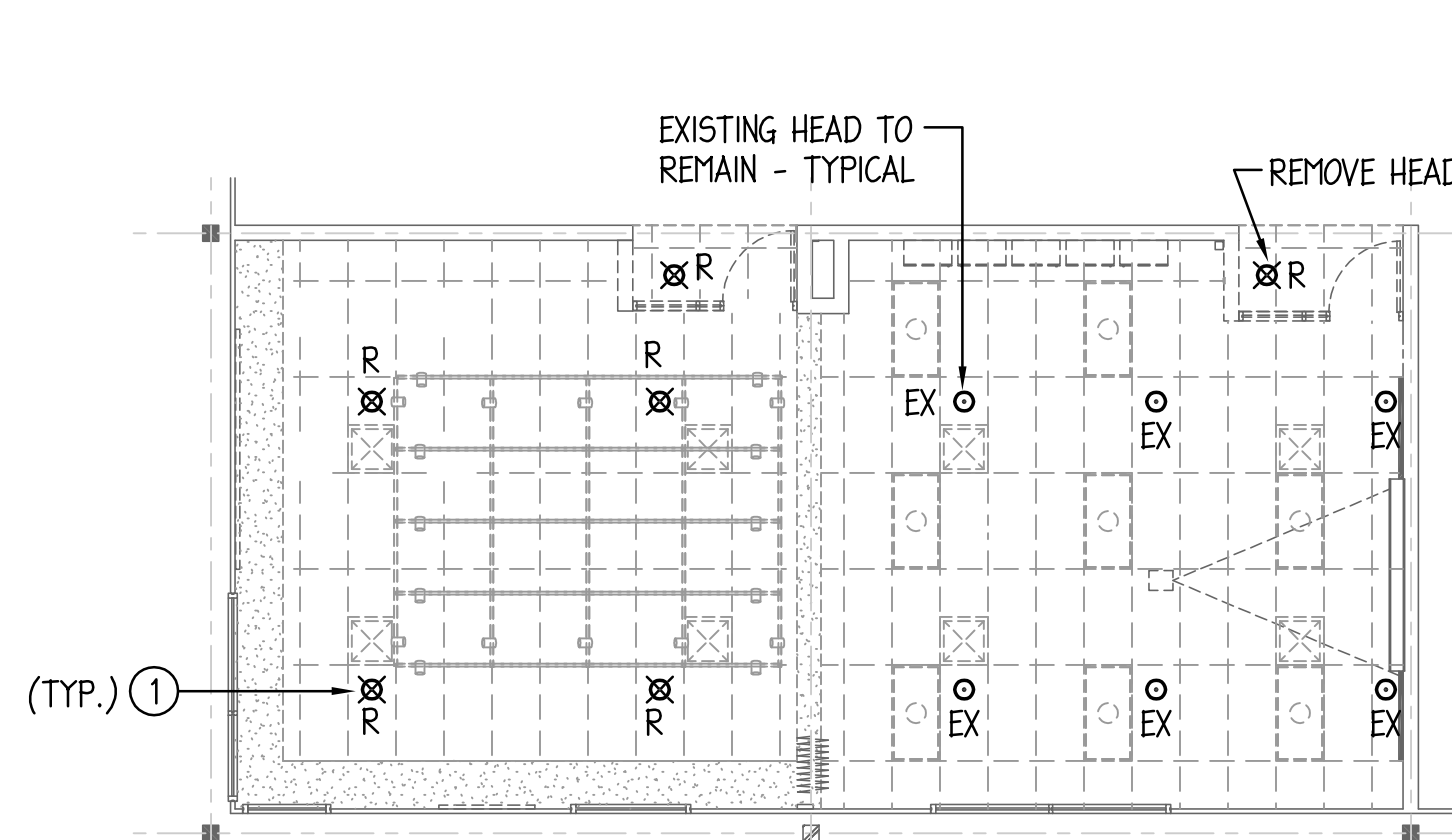
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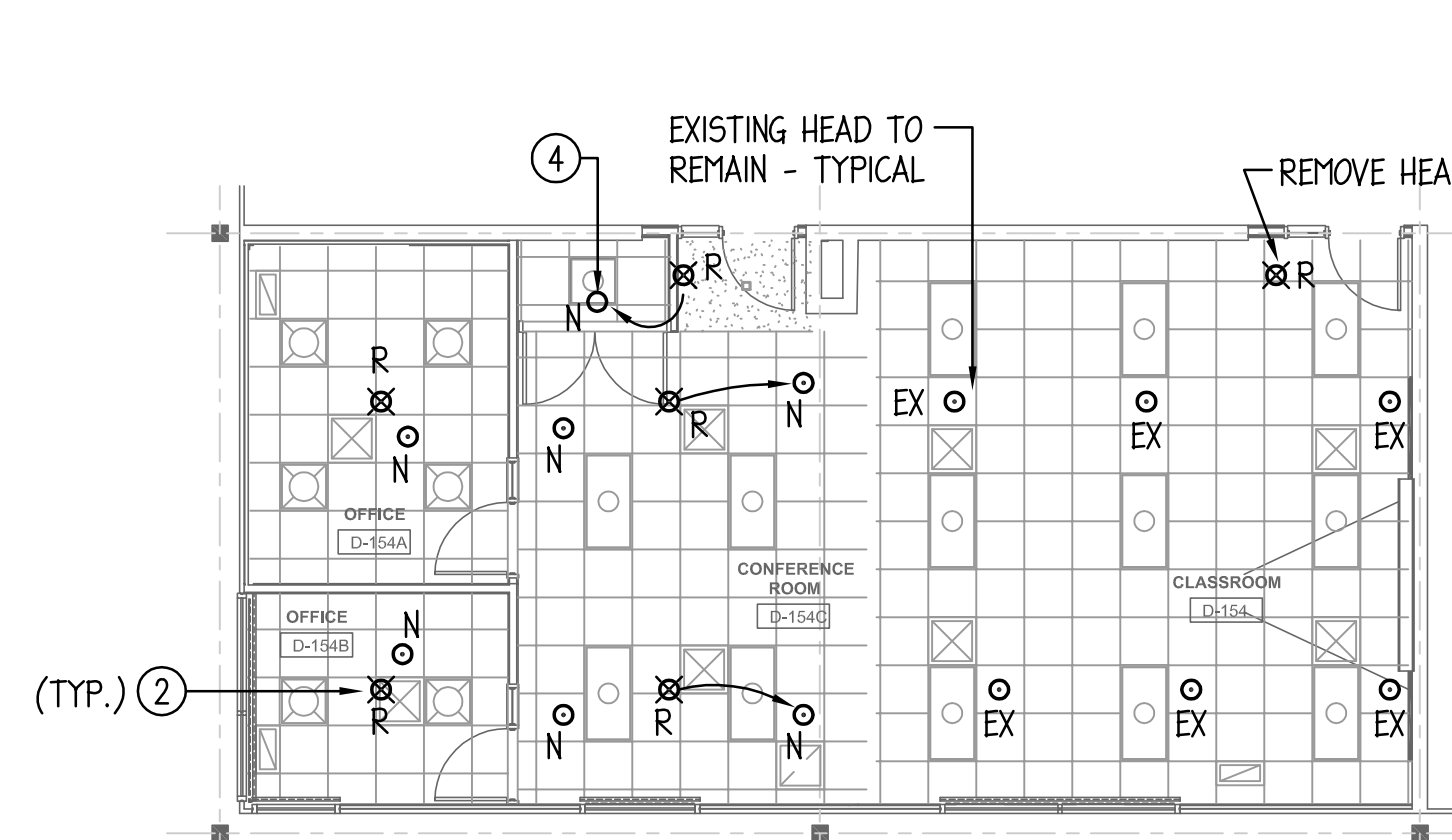
1 DEMO FIRE PROTECTION PLAN - FIRE SCIENCE
1/8" = 1'-0"



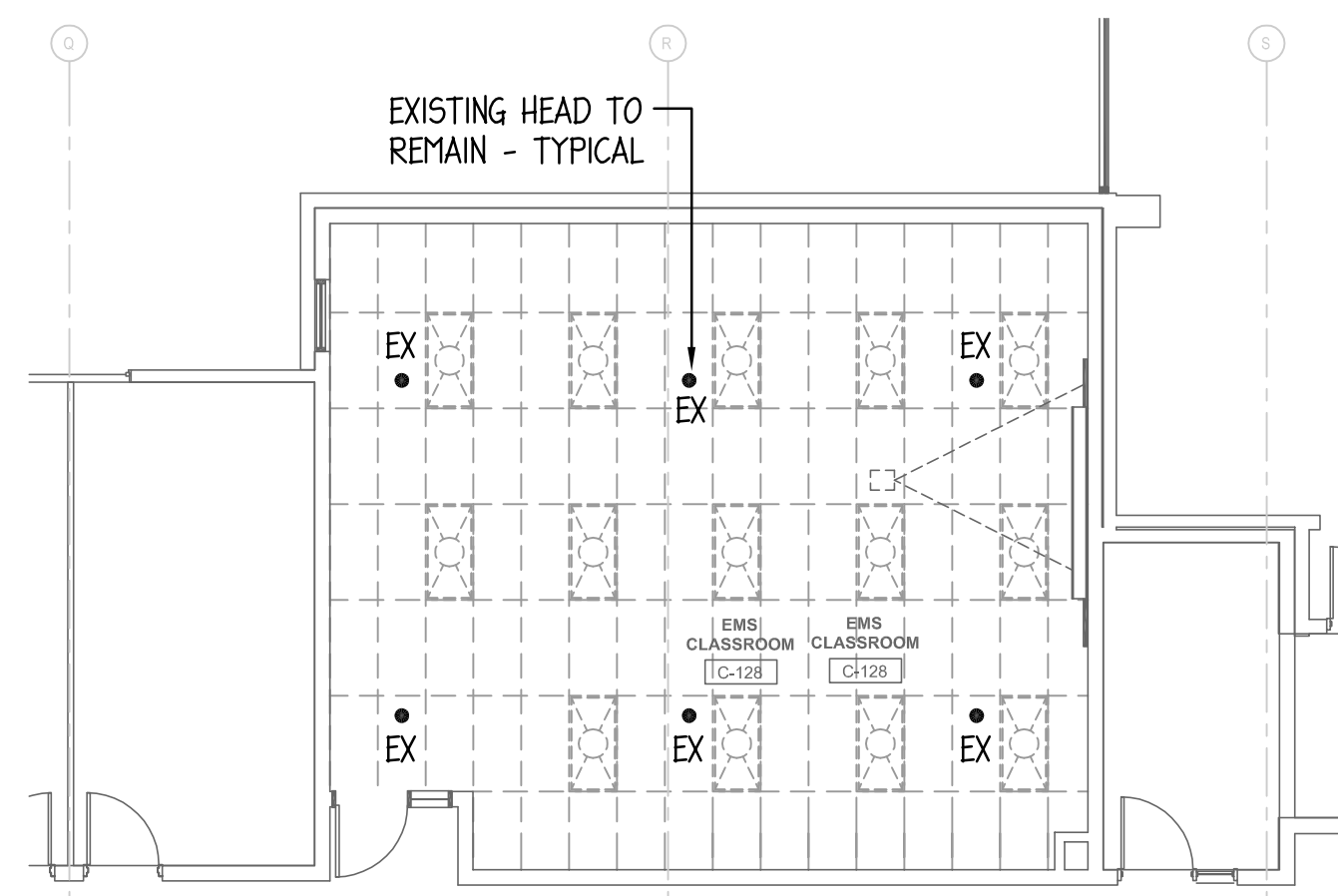
2 FIRE PROTECTION PLAN - FIRE SCIENCE
1/8" = 1'-0"



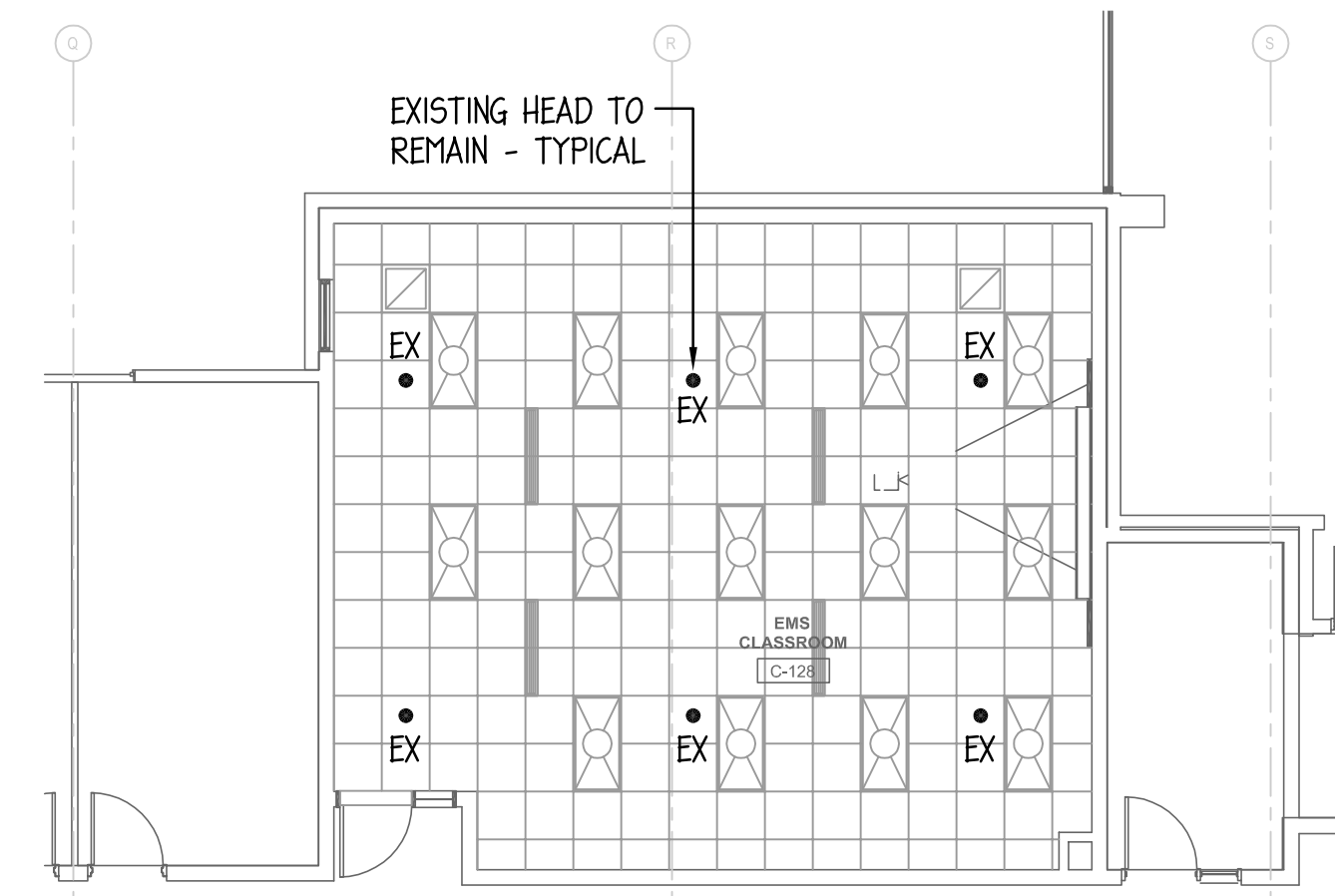
3 DEMO FIRE PROTECTION PLAN - CAL CLASSROOM
1/4" = 1'-0"



4 FIRE PROTECTION PLAN - CAL CLASSROOM
1/4" = 1'-0"



5 DEMO FIRE PROTECTION PLAN - EMS CLASSROOM
1/4" = 1'-0"



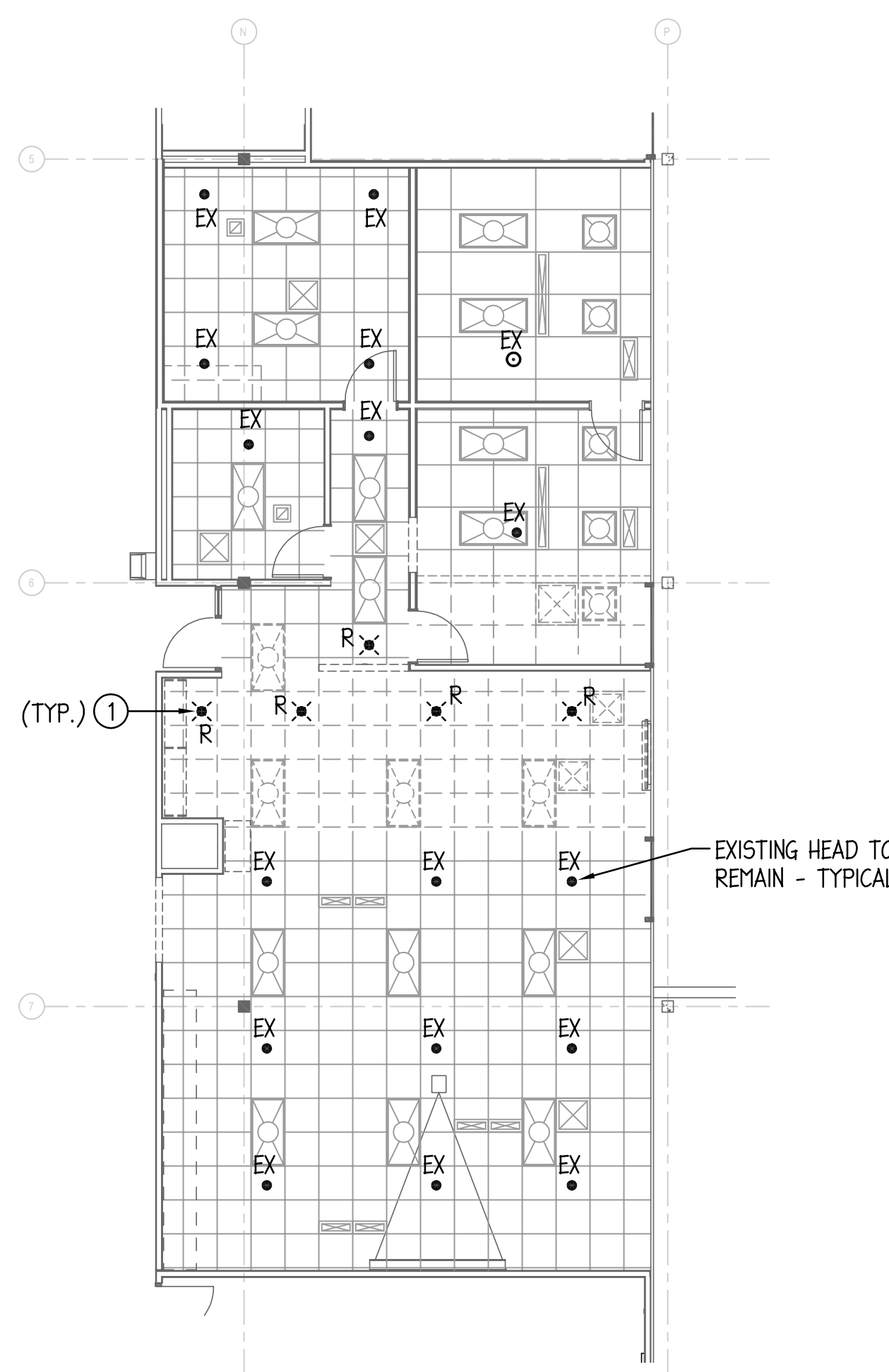
6 FIRE PROTECTION PLAN - EMS CLASSROOM
1/4" = 1'-0"

SPRINKLER HEAD LEGEND:

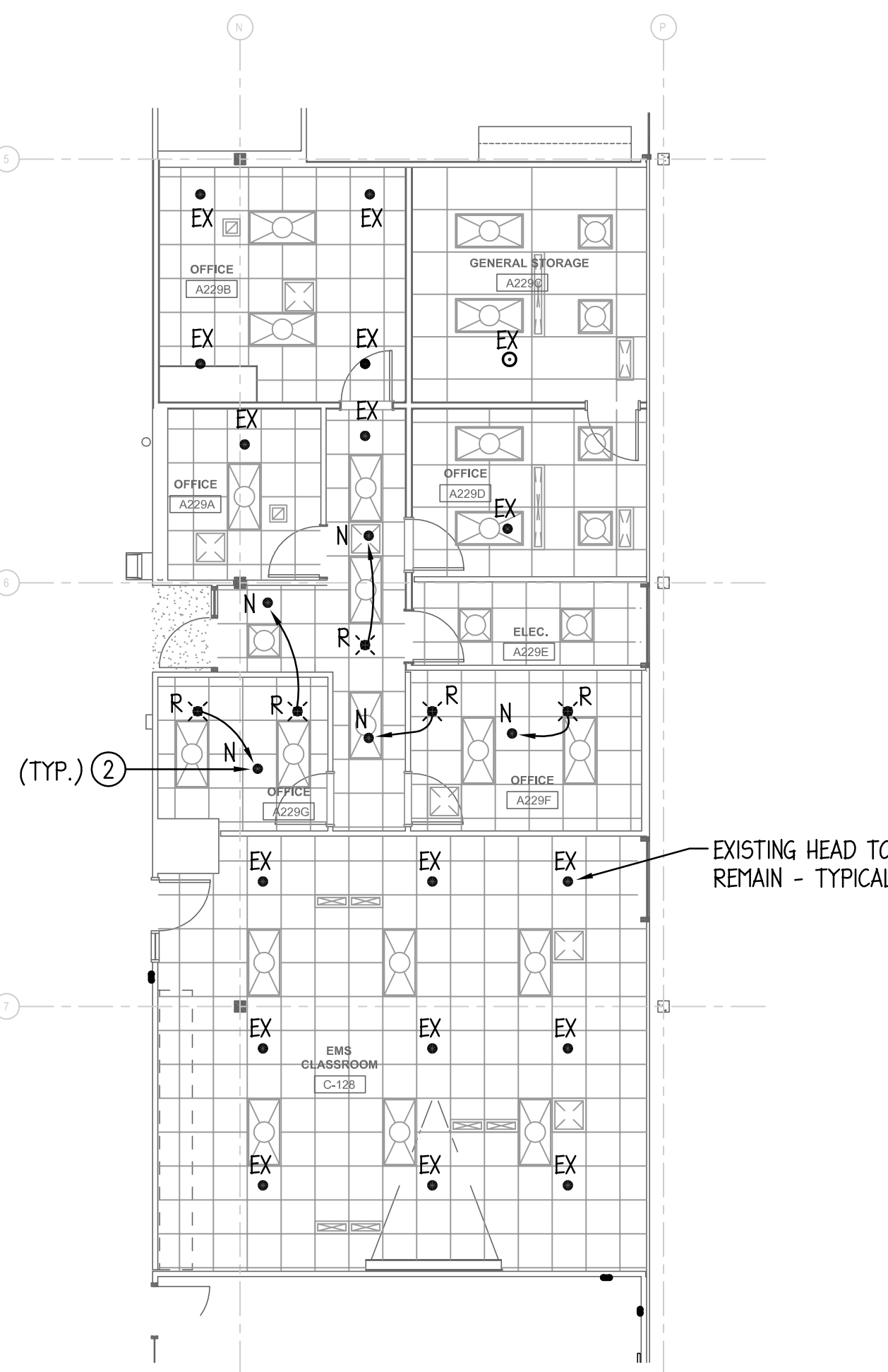
- EX ○ EXISTING SPRINKLER HEAD TO REMAIN
- R ⊗ REMOVE EXISTING HEAD
- N ○ NEW SPRINKLER HEAD, SEMI-RECESSED PENDENT, STANDARD COVERAGE, WHITE FINISH.
- N ● NEW SPRINKLER HEAD, CONCEALED PENDENT, STANDARD COVERAGE, WHITE FINISH.
- N ○ NEW UPRIGHT SPRINKLER HEAD
- N ○ R REMOVE EXISTING HEAD, PROVIDE NEW HEAD AT NEW LOCATION, CENTER HEAD IN GRID AND ADJUST ELEVATION TO NEW CEILING HEIGHT

DRAWING NOTES:

- REMOVE EXISTING HEAD LABELED WITH "R", REMOVE EXISTING BRANCH PIPING BACK TO A POINT WHERE IT CAN EXTENDED TO NEW LOCATION SHOWN PER NEW WORK PLAN.
- REMOVE EXISTING HEAD LABELED WITH "R", REMOVE EXISTING BRANCH PIPING BACK TO A POINT WHERE IT CAN EXTENDED TO NEW LOCATION SHOWN, PROVIDE NEW HEAD LABELED WITH "N" AT LOCATION SHOWN CENTERED IN GRID AT NEW ELEVATION AND EXTEND BRANCH PIPING TO NEW HEAD LOCATION.
- PROVIDE NEW HEAD LABELED WITH "N" AT LOCATION SHOWN CENTERED IN GRID AT NEW ELEVATION AND EXTEND NEW BRANCH PIPING TO NEW HEAD LOCATION.
- PROVIDE NEW UPRIGHT TYPE HEAD LABELED WITH "N" AT LOCATION SHOWN, EXTEND NEW BRANCH PIPING TO NEW HEAD LOCATION.



7 DEMO FIRE PROTECTION PLAN - A229
1/8" = 1'-0"



8 FIRE PROTECTION PLAN - A229
1/8" = 1'-0"

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GENERAL NOTES - FIRE PROTECTION:

GENERAL

1.1 SYSTEM TO PROVIDE COVERAGE FOR BUILDING AREAS NOTED. SYSTEMS SHALL CONFORM TO THE DESIGN CRITERIA REQUIRED BY NFPA-13 AND THE LOCAL AUTHORITY HAVING JURISDICTION. WORKING PLANS AND CALCULATIONS SHALL BE SUBMITTED TO LOCAL APPROVAL AGENCIES AND TO OWNERS FIRE PROTECTION CONSULTANT FOR APPROVAL.

1.2 ALL WORK SHALL BE INSTALLED AND ALL MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF NFPA-13, 2016 EDITION AND ALL LOCAL AMENDMENTS.

1.3 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THEIR ASSOCIATED FEES.

1.4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL INSPECTIONS WITH THE LOCAL AUTHORITY HAVING JURISDICTION.

1.5 DRAWINGS ARE GENERALLY DIAGRAMMATIC. ROUTING OF PIPING, ETC., AS SHOWN ON DRAWINGS, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.

1.6 ALL EXISTING PIPING INFORMATION SHOWN ON THIS DRAWING HAS BEEN OBTAINED FROM OWNER'S EXISTING CONSTRUCTION DOCUMENTS AND LIMITED FIELD SURVEY. EXACT LOCATION OF EXISTING SPRINKLER SYSTEM COMPONENTS SHALL BE FIELD VERIFIED BEFORE STARTING INSTALLATION.

1.7 THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE INSTALLATION AND TESTING PERIODS OF THE FIRE SPRINKLER SYSTEM WORK, FOR ANY MATERIAL DAMAGE TO THE WORK OF THE OWNER OR OTHERS, AND TO THE PROPERTY AND MATERIALS OF THE OWNER OR OTHERS, INCLUDING CEILING SPRINKLER TILES, AND INCLUDING DAMAGE CAUSED BY GREASE, OIL, OR LEAKS IN SPRINKLER EQUIPMENT, FITTINGS, OR BY DISCONNECTED PIPES.

1.8 THE CONTRACTOR SHALL REVIEW THE DRAWINGS OF ALL OTHER TRADES INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, HVAC, PLUMBING AND ELECTRICAL AS TO REVIEW FOR ADDITIONAL AREAS AND ASPECTS OF THE REQUIRED SPRINKLER DESIGN NOT SHOWN. CONTRACTOR SHALL VERIFY THE SPRINKLER REQUIREMENTS OF ALL SKYLIGHTS, CEILING POCKETS, FLOATING CEILINGS, CEILING ELEVATIONS, CEILING TYPES AND CONSTRUCTION, ATTIC SPACES, OVERBUILD ATTIC SPACES, STAIRCASE AND STAIRCASE LANDINGS, ELECTRICAL ROOMS, LIGHT FIXTURES, DUCTWORK, FURNITURE, AND OTHER OBSTRUCTIONS BY ARCHITECTURAL AND STRUCTURAL COMPONENTS. CONTRACTOR SHALL PROVIDE ALL REQUIRED SPRINKLER COVERAGE TO ADDRESS SUCH BUILDING CHARACTERISTICS.

HAZARD CLASSIFICATIONS AND HYDRAULIC CALCULATIONS

2.1 CONTRACTOR SHALL REVIEW ALL FLOOR PLANS AND DETERMINE EACH ROOM SPECIFIC HAZARD PER THE REQUIREMENTS OF NFPA-13. SPRINKLER DESIGN SHALL ADHERE TO THE STANDARDS SET FORTH IN NFPA-13.

2.2 LIGHT HAZARD AREAS SHALL BE DESIGNED TO 0.10 GPM PER SQUARE FOOT, 225 SQ.FT PER HEAD WITH A REMOTE AREA OF 1500 SQUARE FEET. AN AREA OF LESS THAN 1,500 SQUARE FEET MAY BE PERMITTED WHEN THE USE OF QUICK RESPONSE HEADS QUALIFIES FOR AN AREA REDUCTION. AREA SIZES SHALL BE DETERMINED BY THE REGULATIONS OF NFPA-13. ROOM TYPES SHALL INCLUDE BUT NOT BE LIMITED TO CLASSROOMS, TOILET ROOMS, CORRIDORS, VESTIBULES, MULTI-PURPOSE ROOMS, STAIRWAYS, EXAM ROOMS, OFFICE SPACES, ETC.

2.3 ORDINARY HAZARD GROUP I AREAS SHALL BE DESIGNED TO 0.15 GPM PER SQUARE FOOT, 130 SQ.FT PER HEAD WITH A REMOTE AREA OF 1,500 SQUARE FEET. ROOM TYPES SHALL INCLUDE BUT NOT BE LIMITED TO STORAGE ROOMS, ELECTRICAL ROOMS, MECHANICAL ROOMS, BOILER ROOM, SERVER ROOMS, ETC.

SHOP DRAWINGS, SUBMITTALS AND CLOSEOUT DOCUMENTS

3.1 SHOP DRAWINGS: PROVIDE A MINIMUM 1/8"=1'-0" SCALE LAYOUT IN ALL AREAS INDICATING SPRINKLER LOCATIONS COORDINATED WITH CEILING INSTALLATION. INDICATE HYDRAULIC CALCULATIONS REFERENCE POINTS, DETAILED PIPE LAYOUT INCLUDING PIPE SIZE, LENGTH, AND ELEVATION, HANGERS AND SUPPORTS, SPRINKLERS, COMPONENTS AND ACCESSORIES. INDICATE SYSTEM CONTROL VALVE, DRAIN VALVE, AUXILIARY DRAIN VALVE, AND INSPECTOR'S TEST LOCATIONS. INDICATE PIPE MATERIALS USED, JOINTING METHODS, SUPPORTS, FLOOR AND WALL PENETRATION SEALS AND REFERENCE ALL REQUIRED CODES. INDICATE SUPPORT DETAILS, REMOTE AREAS IDENTIFIED, SPRINKLER HEAD SUMMARY AND SITE PLAN OF WATER MAIN TO STREET CONNECTION. SUBMIT HYDRAULIC CALCULATIONS FOR EACH ZONE, OCCUPANCY TYPE, HAZARD TYPE, ETC.

3.2 PRODUCT DATA: SUBMIT DATA ON SPRINKLERS AND SPECIALTIES, INCLUDING HEADS, PIPING, VALVES, PIPE HANGERS, BACKFLOW PREVENTER, MANUFACTURERS CATALOG INFORMATION, SUBMIT PERFORMANCE RATINGS, ROUGH-IN DETAILS, SUPPORT REQUIREMENTS, AND PIPING CONNECTIONS.

3.3 PROJECT RECORD DOCUMENTS: PROVIDE UPDATED VERSION OF MINIMUM 1/8" = 1'-0" SCALE COORDINATION SHOP DRAWINGS INDICATING ACTUAL LOCATIONS OF VALVES, PIPING ABOVE AND BELOW GRADE, SPRINKLER HEADS, AUXILIARY DRAINS, FIRE DEPARTMENT CONNECTIONS, INSPECTORS TEST CONNECTIONS, PUMPS, BACKFLOW PREVENTERS, AND ALL OTHER EQUIPMENT INSTALLED BY THIS CONTRACTOR.

PIPE HANGERS AND SUPPORTS

4.1 ALL FIRE PROTECTION PIPING SHALL BE SUSPENDED WITH APPROVED/LISTED PIPE HANGERS IN COMPLIANCE WITH NFPA STANDARDS. CUTTING STRUCTURAL MEMBERS TO RUN PIPING, OR TO FACILITATE HANGER FASTENING IS NOT PERMITTED.

4.2 VERTICAL ATTACHMENT TO METAL DECK AND WOOD TRUSS'S SHALL NOT BE PERMITTED. HORIZONTAL ATTACHMENT TO WOOD TRUSS SHALL BE MADE BY HORIZONTAL SUPPORT TO BOTTOM CORD OF TRUSS.

SPRINKLER SYSTEM COMPONENTS AND ACCESSORIES

5.1 FIRE PROTECTION SYSTEM SHALL INCLUDE ALL ITEMS FOR A COMPLETE SYSTEM. SPECIFICALLY THIS IS TO INCLUDE BUT NOT LIMITED TO: PIPE SUPPORTS, VALVES, GAUGES, TRIM, ALARMS, SPECIALTY DEVICES, CONTROLS, AND ITEMS INCIDENTAL TO A COMPLETE SYSTEM.

5.2 AUXILIARY DRAINS AND SIGNS SHALL BE PROVIDED AT THE LOW POINT OF EACH TRAPPED SECTION OF PIPING AND IDENTIFYING SIGNS SHALL BE ATTACHED THERETO. INSTALL ALL AUXILIARY DRAIN VALVES IN ACCESSIBLE AREAS. FIELD COORDINATE LOCATIONS WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.

5.3 THE INTERCONNECTION OF THE ALARM SUPERVISORY SIGNALS MUST BE APPROVED BY THE PROPER ALARM REPRESENTATIVE, AND WORKING PLANS INDICATING THE LOCATIONS OF ALL ELECTRICAL COMPONENTS SHALL BE FURNISHED TO THE FIRE ALARM CONTRACTOR.

5.4 CONTRACTOR SHALL PROVIDE ALL MEANS TO SHUT-DOWN EXISTING PIPING SYSTEMS WHERE REQUIRED TO COMPLETE WORK UNDER THIS CONTRACT. CONTRACTOR SHALL PROVIDE ALL NECESSARY VALVES TO ISOLATE RENOVATED SECTIONS OF THE BUILDING WITHOUT DISTURBING SECTIONS OF THE BUILDING NOT UNDER RENOVATION.

5.5 INSTALL VALVES WITH STEMS UPRIGHT OR HORIZONTAL, NOT INVERTED.

5.6 PROVIDE ACCESS TO ALL VALVES AND SYSTEM COMPONENTS REQUIRING ACCESS. ALL PIPING ACCESSORIES AND EQUIPMENT SUCH AS VALVES SHALL BE INSTALLED AT A REASONABLE HEIGHT AND POSITION IN ORDER TO FACILITATE MAINTENANCE.

SPRINKLER HEADS

6.1 ALL SPRINKLER HEADS SHALL BE LOCATED IN THE CENTER OF 2x2 TILE OR QUARTER POINT OF 2x4 CEILING TILE UNLESS OTHERWISE NOTED OR DIRECTED BY THE ARCHITECT/ENGINEER OR LOCAL FIRE DEPARTMENT AUTHORITIES.

6.2 SPRINKLER HEADS IN FINISHED CEILING SHALL BE SEMI-RECESSED OR CONCEALED, TYPE AS SHOWN ON DRAWINGS. STANDARD RESPONSE, QUICK RESPONSE, CHROME PENDENT WITH ESCUTCHEON, K=5.6, 155 DEGREE UNLESS OTHERWISE NOTED.

6.3 SPRINKLER HEADS IN NON-CEILING AREAS SHALL BE BRASS UPRIGHT. STANDARD RESPONSE, K=5.6, 155 DEGREE UNLESS OTHERWISE NOTED. OPTION FOR QUICK RESPONSE SPRINKLERS ALLOWED WHERE PRESSURE PERMITS.

6.4 SPRINKLER HEADS LOCATED WITHIN MECHANICAL ROOMS, BOILER ROOMS, ELECTRICAL ROOMS, KITCHENS, ELEVATOR EQUIPMENT ROOMS, KILN ROOMS, SHALL BE RATED FOR 200 DEGREES.

6.5 ALL SPRINKLER HEADS BELOW 7'-0" FEET OR IN MECHANICAL ROOMS, STORAGE ROOMS, GYMNASIUMS OR IN AREAS SUBJECTED TO MECHANICAL INJURY SHALL HAVE AN APPROVED HEAD GUARD.

6.6 FLEXIBLE CONNECTION TO SPRINKLER HEADS SHALL NOT BE PERMITTED.

6.7 SPRINKLER HEADS SHOWN ARE MINIMUMS. CONTRACTOR SHALL PROVIDE ADDITIONAL HEADS AS REQUIRED TO COORDINATE WITH ARCHITECTURAL REFLECTED CEILING PLANS OR TO PROVIDE ADEQUATE COVERAGE AS SPECIFIED OR REQUIRED BY APPROPRIATE HAZARD CLASS.

FIRE PROTECTION (SPRINKLER) PIPING

7.1 MINIMUM PIPE SIZE SHALL BE 1 INCH. ANY REDUCING OF SIZE SHALL OCCUR AT SPRINKLER HEAD CONNECTION.

7.2 SPRINKLER PIPING SHALL NOT BE INSTALLED DIRECTLY OVER ANY ELECTRICAL EQUIPMENT PANELS, TELEPHONE OR LOW VOLTAGE EQUIPMENT OR SIMILAR TYPE OF EQUIPMENT.

7.3 ALL PIPE AND FITTINGS SHALL BE INSTALLED IN RUST-FREE CONDITION.

7.4 THE USE OF THREADED BUSHINGS WILL NOT BE PERMITTED IN ANY AREA OF THIS INSTALLATION.

7.5 ALL PIPING AND COMPONENTS NECESSARY FOR INSTALLATION MAY BE PREFABRICATED. HOWEVER, THE CONTRACTOR MUST BE WILLING TO REMARK THE PREFABRICATED PIPE, FITTINGS, AND THE LIKE, AS NECESSARY TO CONSTITUTE A PROPER APPROVED INSTALLATION, EXISTING SITE CONDITIONS NOTWITHSTANDING, AT NO ADDITIONAL COST TO THE OWNER.

7.6 ALL PIPING PASSING THRU' FLOOR CONSTRUCTION SHALL HAVE A SCHEDULE 40 STEEL PIPE SLEEVE INSTALLED AROUND PIPE ONLY. ALL PIPE PASSING THRU WALLS SHALL HAVE A GALVANIZED SHEET METAL OR SCHEDULE 40 STEEL PIPE SLEEVE INSTALLED AROUND THE PIPE. ALL EXPOSED PIPE WHICH PASSES THROUGH A WALL OR CEILING SHALL BE EQUIPPED WITH AN ESCUTCHEON PLATE.

7.7 ALL PIPING SHALL BE INSTALLED TO ALLOW FOR PROPER DRAINING OF ENTIRE SYSTEM PER NFPA-13.

7.8 SCREWED UNIONS SHALL NOT BE PERMITTED ON PIPING LARGER THAN 2 INCHES.

7.9 ALL NEW CONNECTIONS MADE TO AN EXISTING SYSTEM MAIN SHALL BE ACCOMPLISHED WITH A CUT-IN OR TEE FITTING OF EQUAL SIZE TO THAT OF THE EXISTING MAIN.

7.10 FIRE PROTECTION PIPING SHALL BE AS FOLLOWS:

A. (1"-6") STEEL PIPE: ASTM A796; SCHEDULE 40, BLACK. STEEL FITTINGS: ASME B16.5, STEEL FLANGES AND FITTINGS. CAST IRON FITTINGS: ASME 16.1, FLANGES AND FLANGED FITTINGS; OR ASME B16.4, THREADED FITTINGS. MALLEABLE IRON FITTINGS: ASME B16.3, THREADED FITTINGS.

B. (2 1/2"-6") STEEL PIPE: ASTM A796; SCHEDULE 40, BLACK. GROOVED END FITTINGS: ASTM A536 DUCTILE IRON HOUSING TO ENGAGE AND LOCK. MECHANICAL GROOVED COUPLINGS: DUCTILE IRON HOUSING CLAMPS TO ENGAGE AND LOCK, "C" SHAPED ELASTOMERIC SEALING GASKET, STEEL BOLTS, NUTS, AND WASHERS.

C. (2 1/2"-6") STEEL PIPE: ASTM A135, SCHEDULE 10, BLACK. STEEL FITTINGS: ASME B16.5, STEEL FLANGES AND FITTINGS. GROOVED END FITTINGS: ASTM A536 DUCTILE IRON HOUSING TO ENGAGE AND LOCK. MECHANICAL GROOVED COUPLINGS: DUCTILE IRON HOUSING CLAMPS TO ENGAGE AND LOCK, "C" SHAPED ELASTOMERIC SEALING GASKET, STEEL BOLTS, NUTS, AND WASHERS.

D. CPVC PIPING SHALL NOT BE PERMITTED.

PIPE AND VALVE IDENTIFICATION

8.1 PROVIDE PIPE LABELING IDENTIFICATION PER ASME A13.1. SEE DETAIL FOR ADDITIONAL INFORMATION. PIPE LABELS SHALL BE WRAP AROUND TYPE. SELF ADHESIVE TYPE SHALL NOT BE PERMITTED.

FIRE STOP SYSTEMS

9.1 GENERAL PURPOSE FIRE STOPPING SEALANT SHALL BE DOW CORNING, NELSON OR 3M COMPANY, WATER BASED, NON SLUMPING, PREMIXED SEALANT WITH INTUMESCENT PROPERTIES, RATED FOR 3 HOURS PER ASTM E814, NFPA AND UL-1479. FILL ALL VOIDS AROUND ALL PIPING PENETRATIONS THROUGH WALLS AND CEILINGS WITH A MINIMUM 1 HOUR FIRE RATING. PROVIDE PVC COLLAR ASSEMBLY AT ALL PVC PIPING PENETRATIONS THROUGH FIRE WALLS, FLOORS OR CEILING WHERE REQUIRED BY LOCAL FIRE DISTRICT.

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KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO: DESCRIPTION: DATE:

SHEET TITLE:
FIRE PROTECTION
GENERAL NOTES

SHEET NUMBER:
FP2.10

McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

BIDDING NOTE:
SEE DRAWING ME1.00 FOR GENERAL NOTES AND ADDITIONAL DETAILS APPLICABLE TO THIS TRADES WORK.

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**McHenry County College
2024 RENOVATIONS - BID PACKAGE 1**

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
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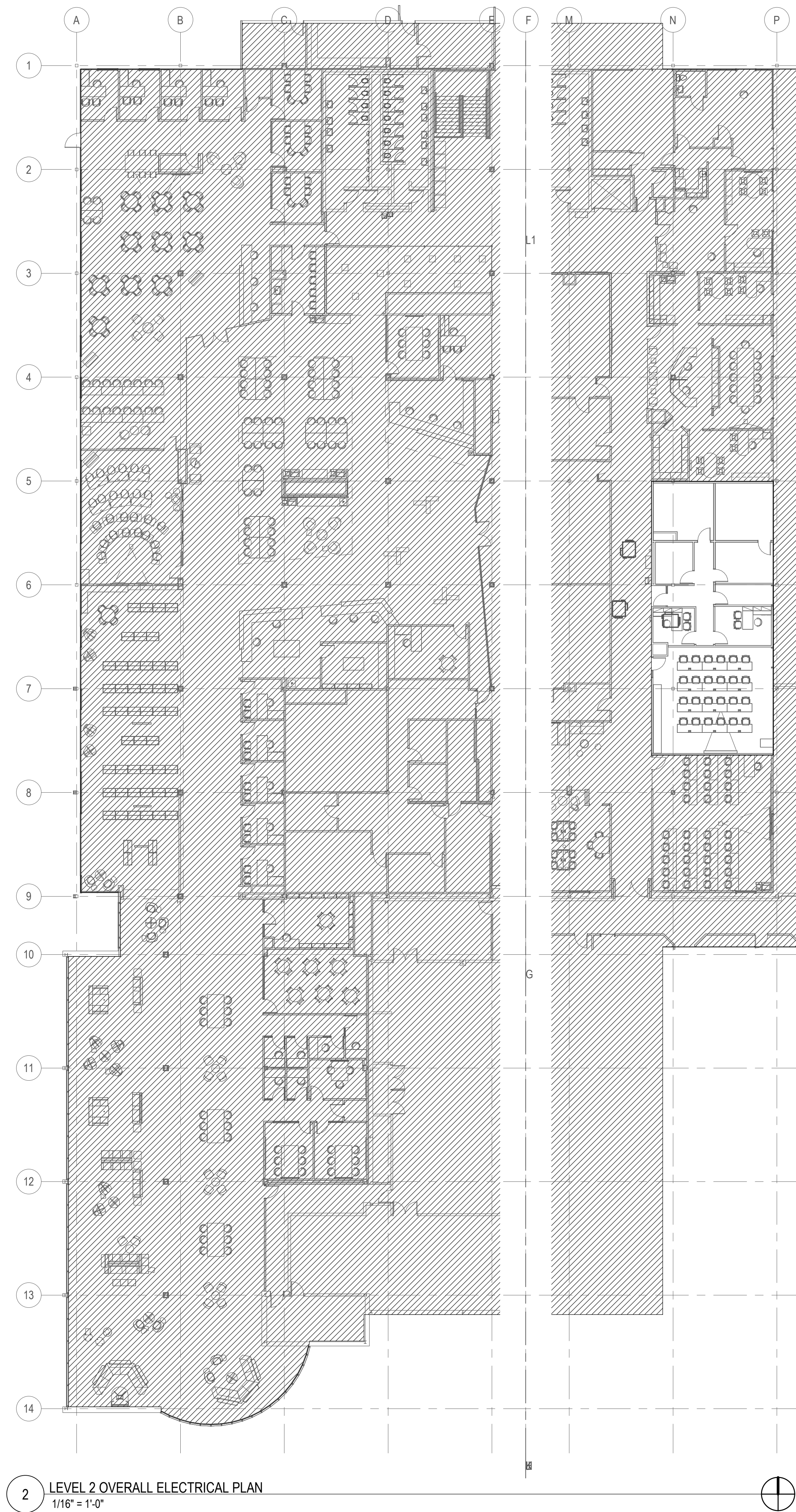
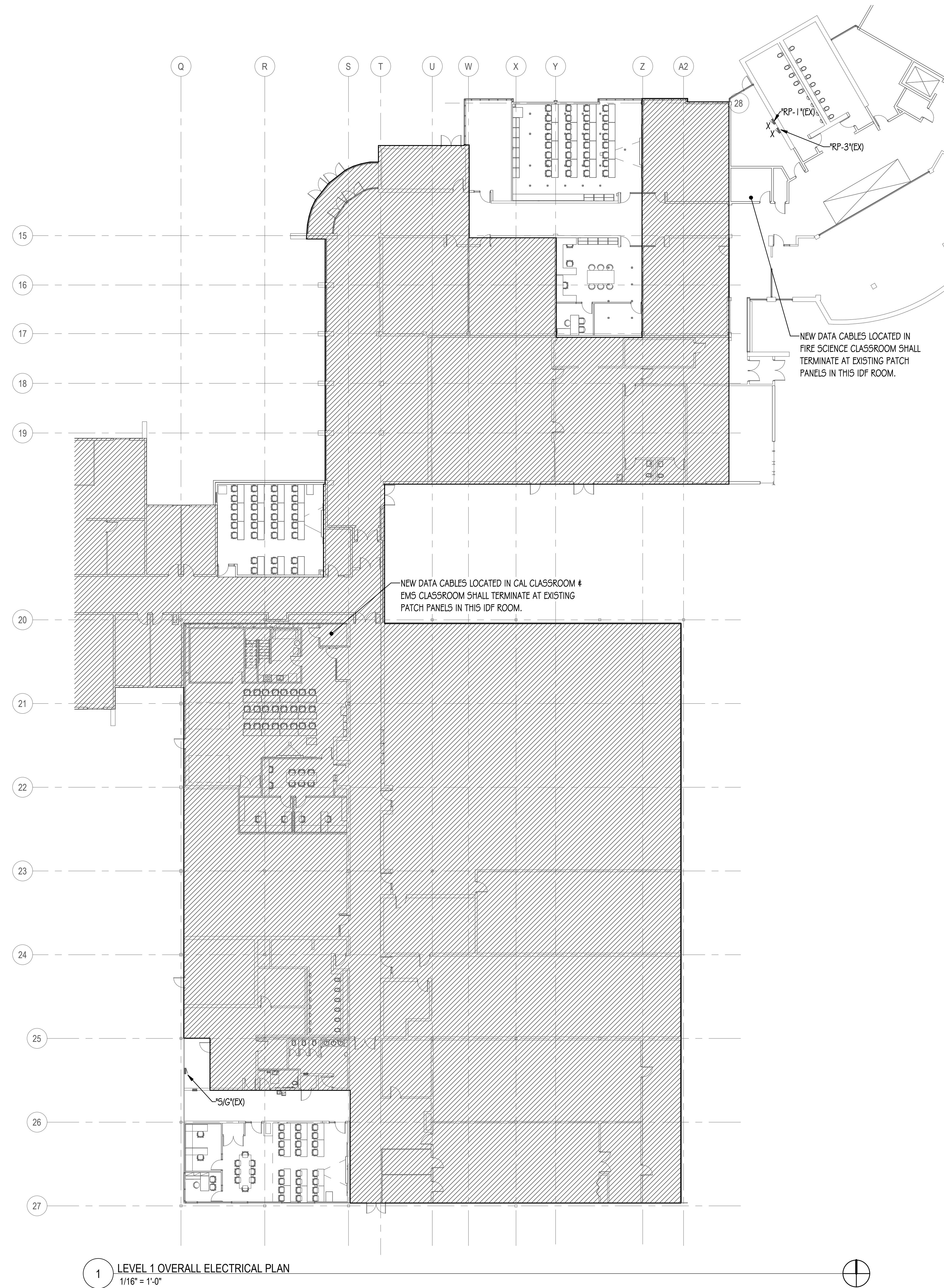
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**OVERALL
ELECTRICAL PLANS -
BP1**

SHEET NUMBER:

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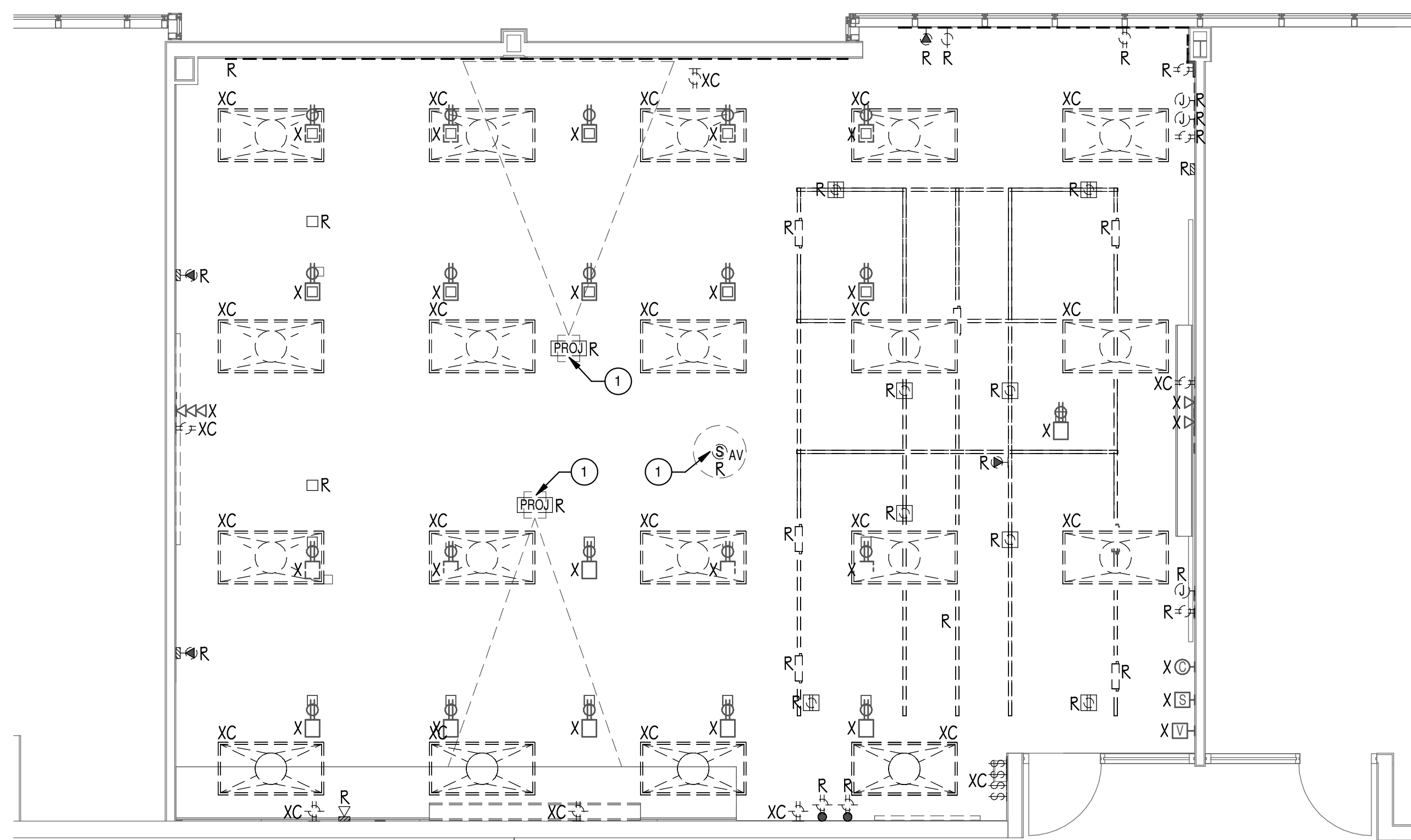
GENERAL DEMOLITION NOTE:
CAREFULLY DISCONNECT, REMOVE AND TURN OVER
REMOVED LOW VOLTAGE DEVICE/EQUIPMENT
INCLUDING, BUT NOT LIMITED TO, WIRELESS ACES
POINTS, SECURITY CAMERAS, SPECIALTY LIGHTING,
AUDIO/VIDEO EQUIPMENT, AUDIO/VIDEO RACK, CARD
READERS, ETC. TO OWNER'S REPRESENTATIVE.

DRAWING NOTES
1 CAREFULLY DISCONNECT, REMOVE AND TURN OVER REMOVED AUDIO/VIDEO DEVICE, AND
AUDIO/VIDEO EQUIPMENT TO OWNER'S REPRESENTATIVE.

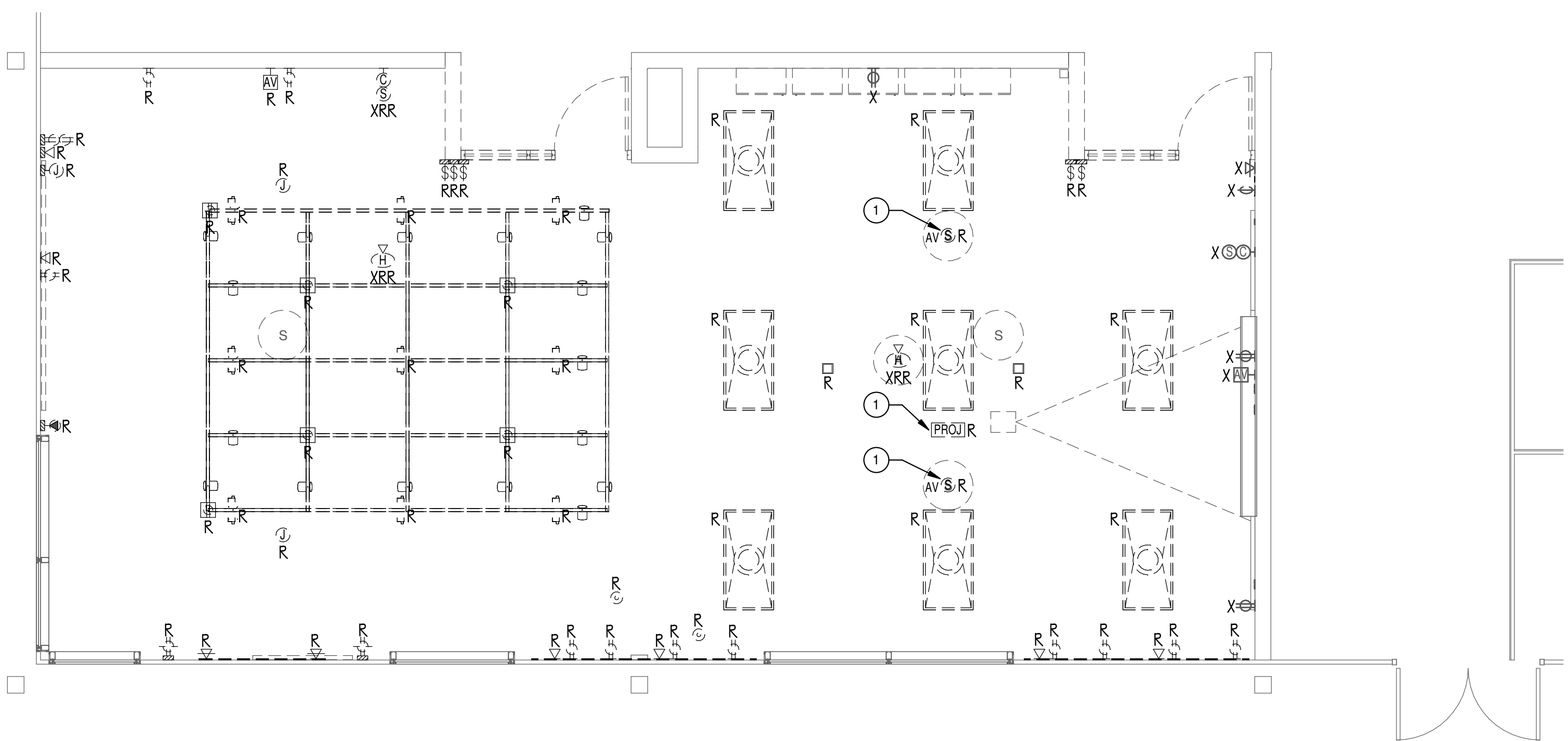


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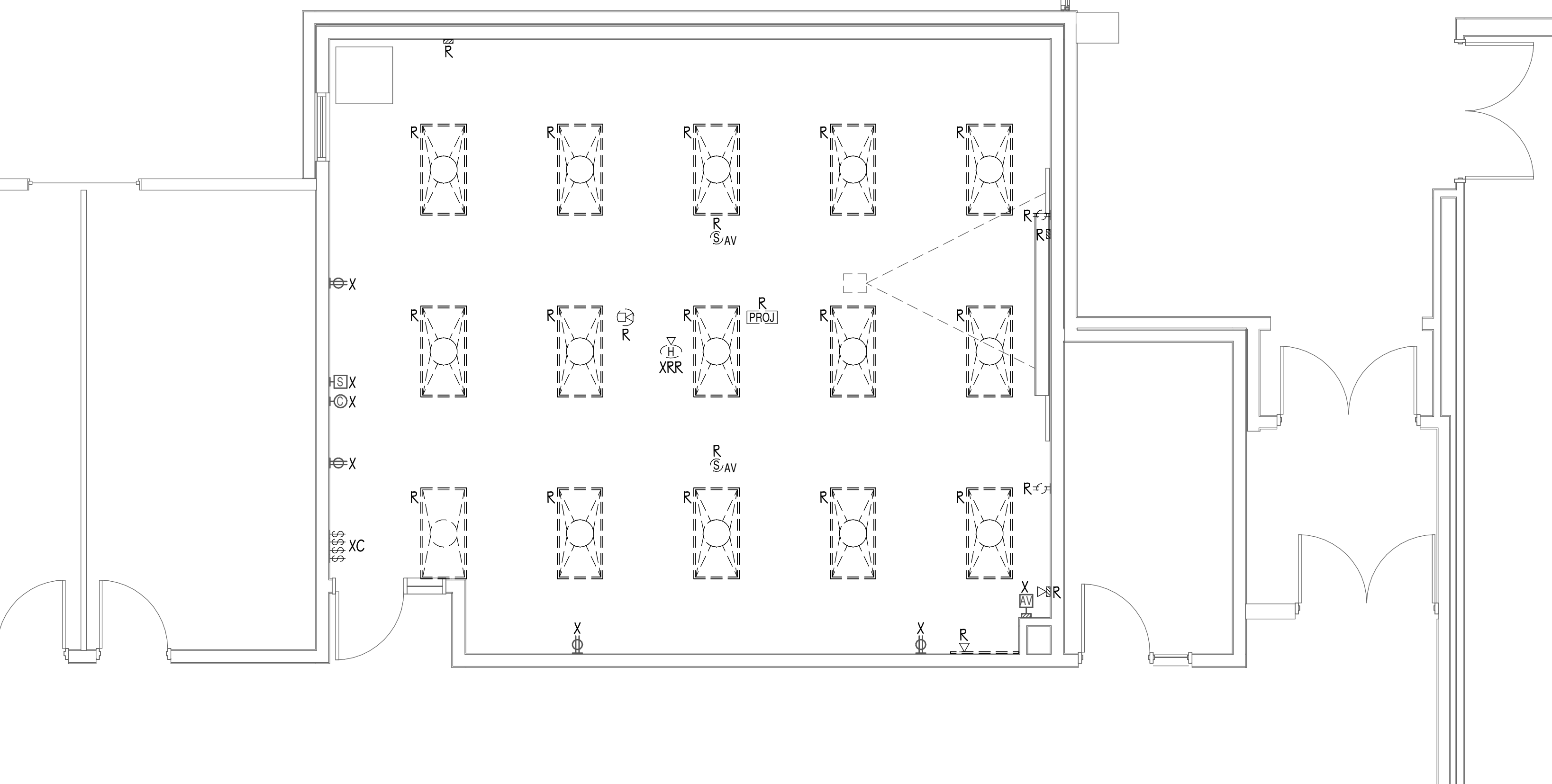
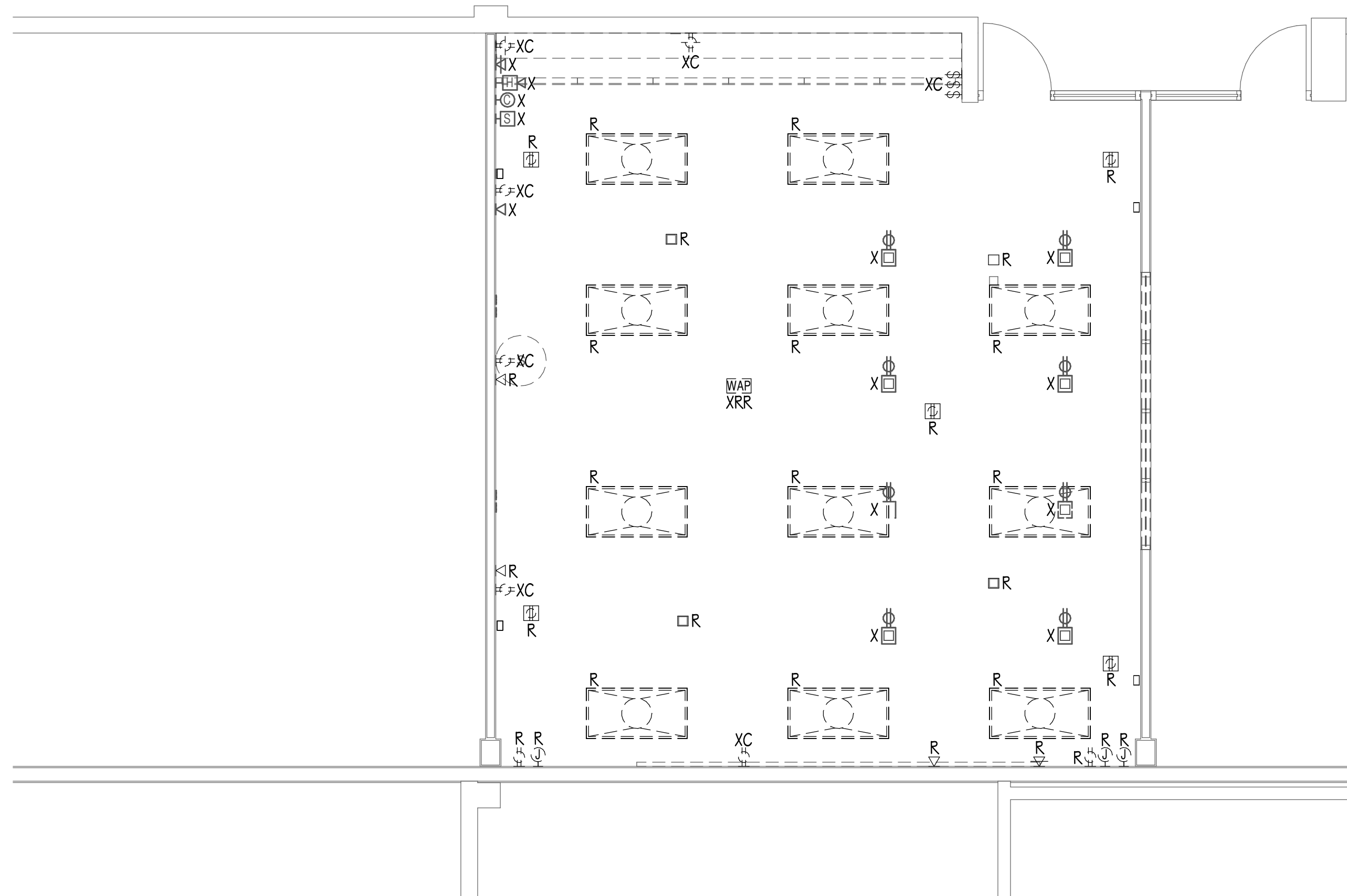
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1 ELECTRICAL DEMOLITION PLAN - FIRE SCIENCE
1/4" = 1'-0"



2 ELECTRICAL DEMOLITION PLAN - CAL CLASSROOM
1/4" = 1'-0"



3 ELECTRICAL DEMOLITION PLAN - EMS CLASSROOM
1/4" = 1'-0"

McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
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NO.	DESCRIPTION:	DATE:

SHEET TITLE:
**ELECTRICAL
DEMOLITION PLANS -
BP1**

SHEET NUMBER:
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2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

Y PLAN:

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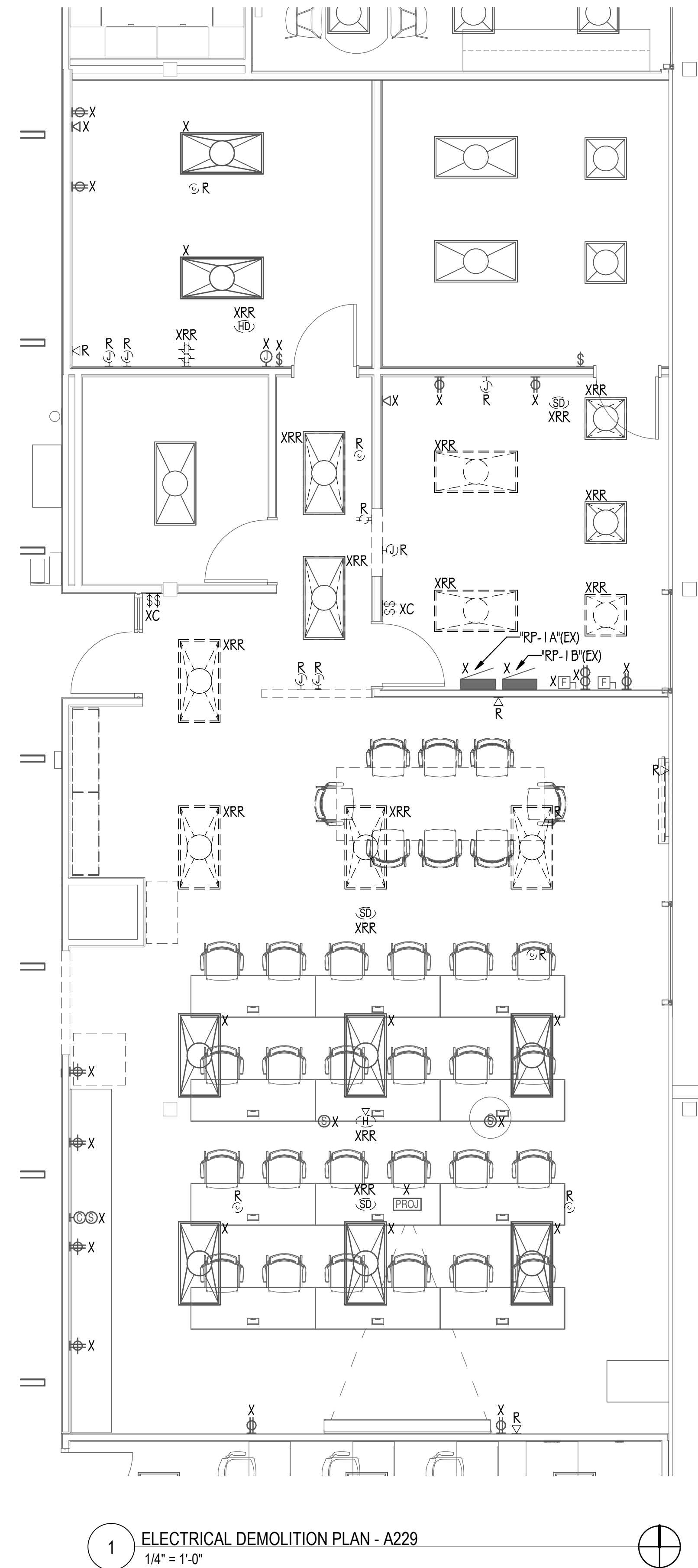
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SHEET TITLE:
ELECTRICAL
DEMOLITION PLANS -
BP1

PAGE NUMBER:

ED1.11

1/2024 7:56:02 AM





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DRAWING NOTES

1. DEVICES SHALL BE LOCATED INSIDE CEILING MOUNTED ENCLOSURE / PROJECTOR MOUNT. REFER TO ELECTRICAL DETAILS SHEET FOR ADDITIONAL INFORMATION.
2. NEW DEVICES MOUNTED ON EXISTING WALL. CONTRACTOR SHALL CHASE OPEN WALL TO RECESS RACEWAYS AND BACKBOXES. PATCH WALL TO LIKE NEW CONDITION TO MATCH EXISTING SURROUNDINGS.
3. VERIFY AVAILABILITY OF CIRCUIT SERVING NEW RECEPTACLES PRIOR TO INSTALLATION. NOTIFY ENGINEER IF CIRCUIT IS ALREADY IN USE.

**McHenry County College
2024 RENOVATIONS - BID PACKAGE 1**

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024

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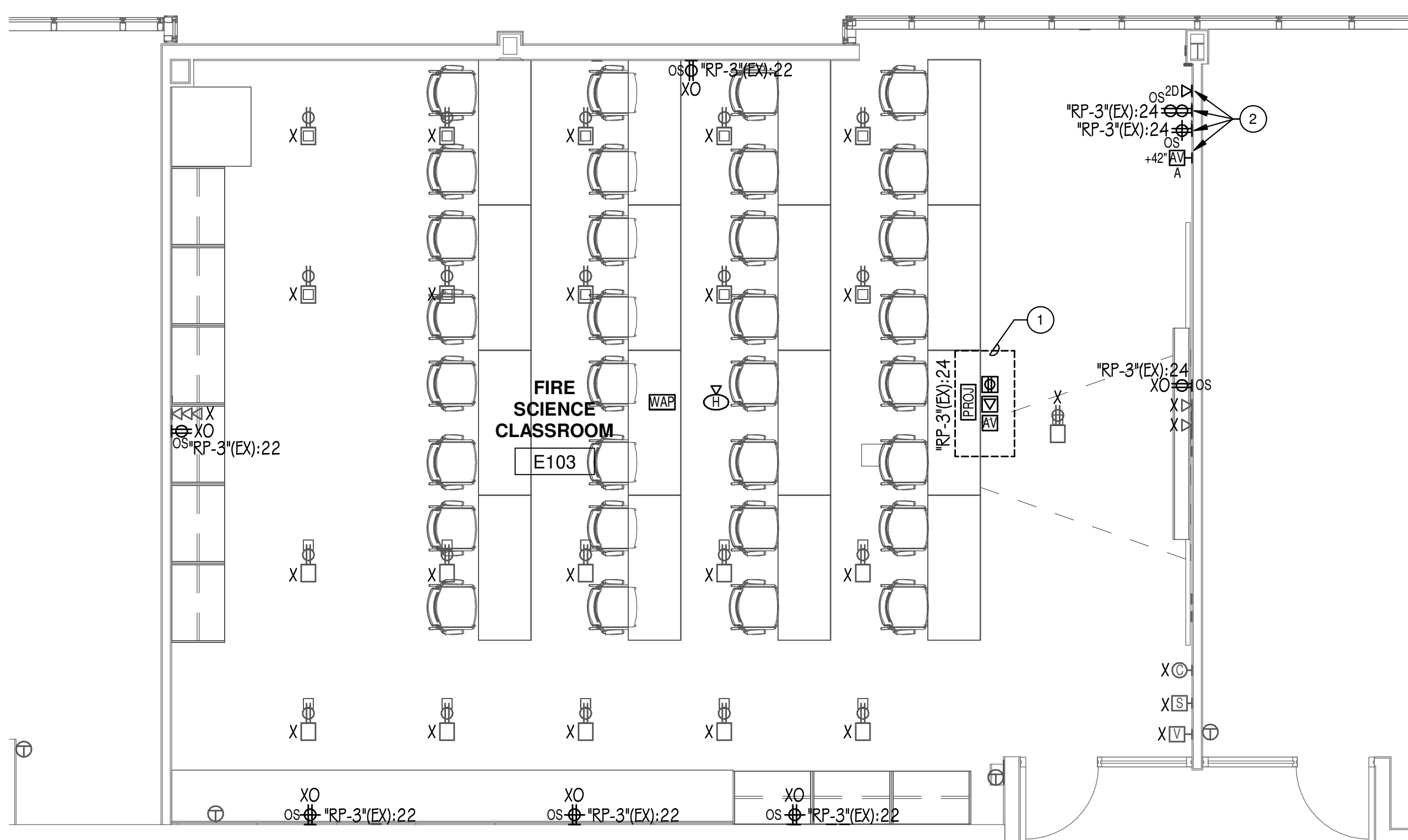
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**ELECTRICAL PLANS -
BP1**

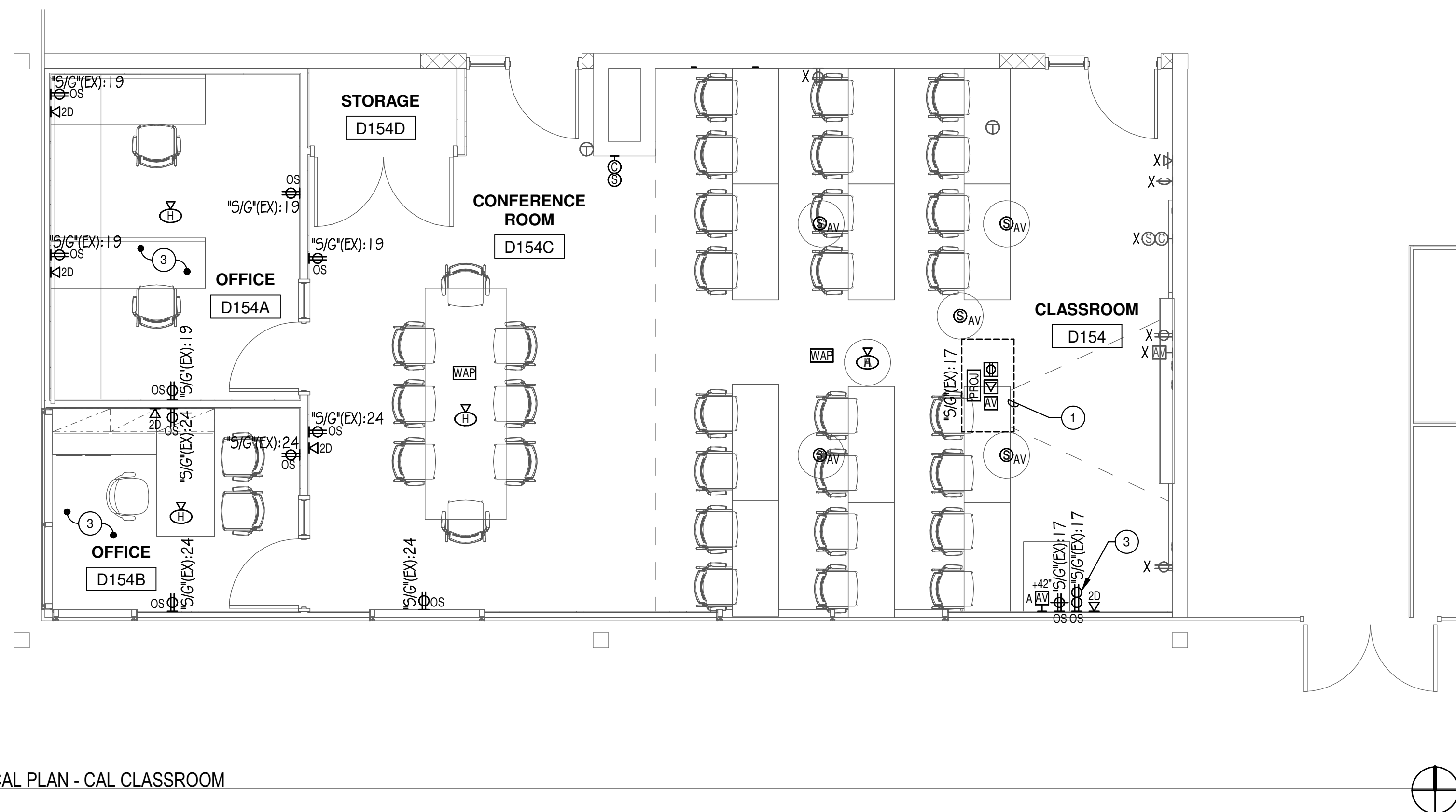
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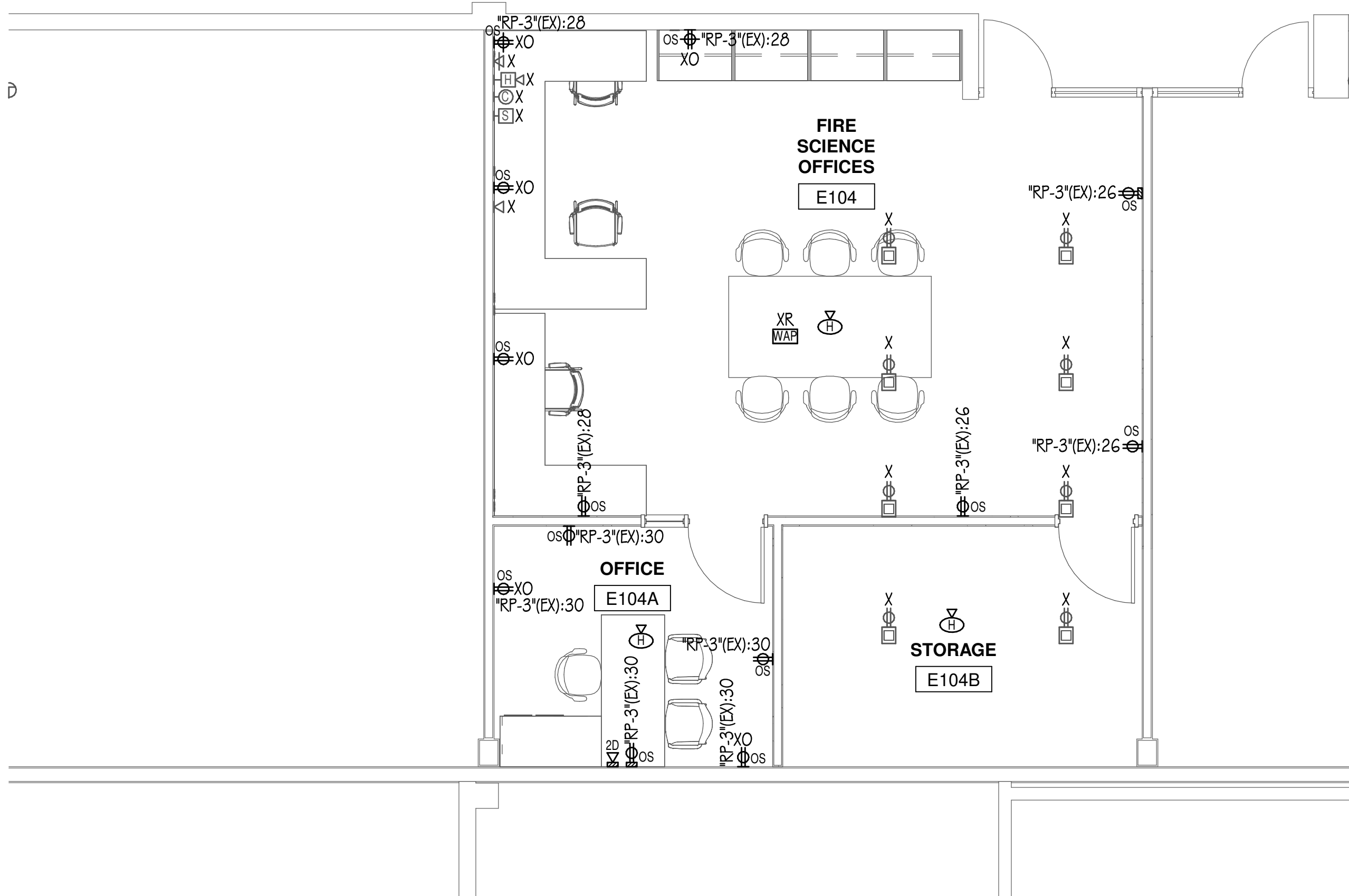
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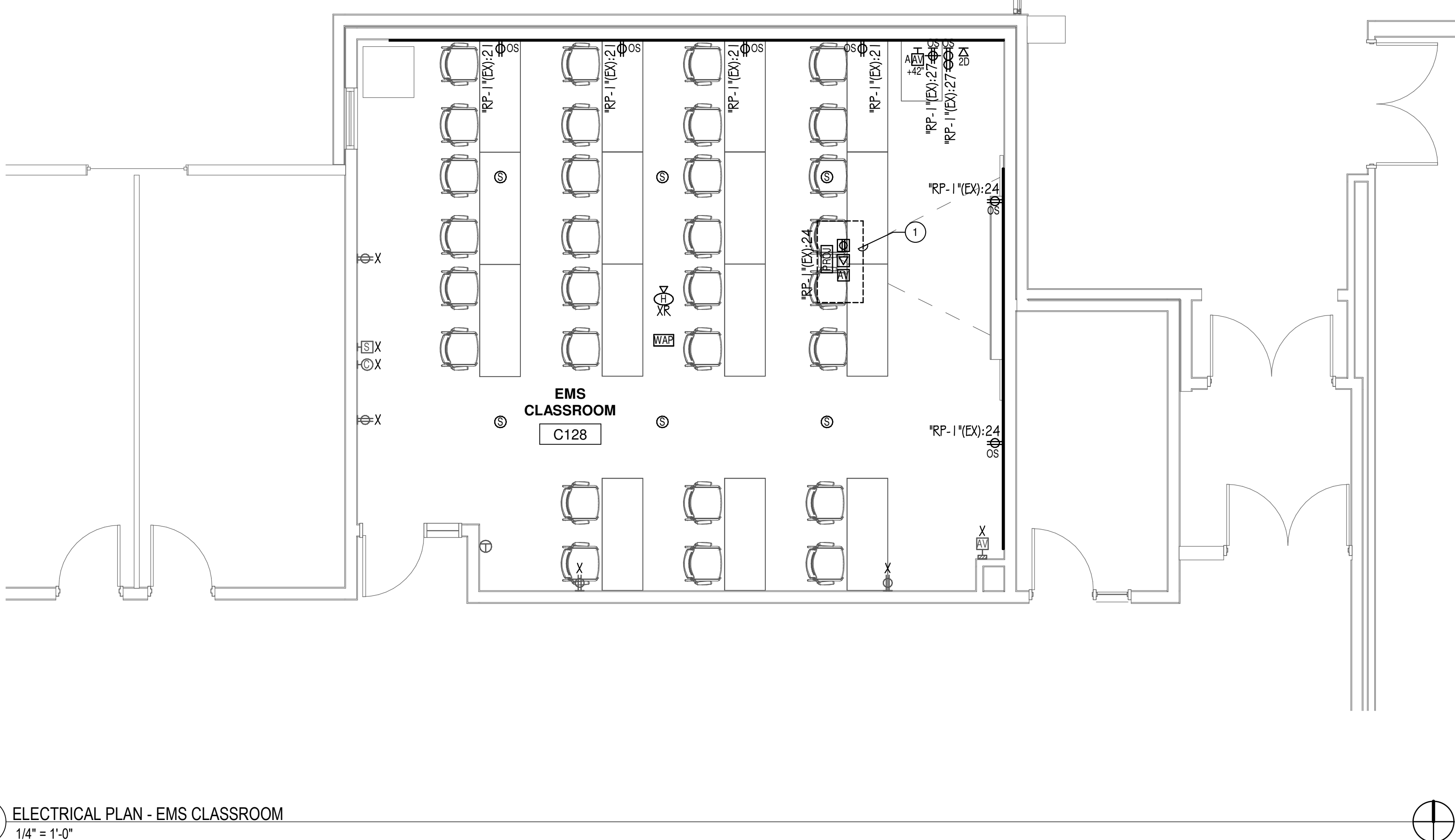
1 ELECTRICAL PLAN - FIRE SCIENCE
1/4" = 1'-0"



2 ELECTRICAL PLAN - CAL CLASSROOM
1/4" = 1'-0"



1 ELECTRICAL PLAN - FIRE SCIENCE
1/4" = 1'-0"



3 ELECTRICAL PLAN - EMS CLASSROOM
1/4" = 1'-0"

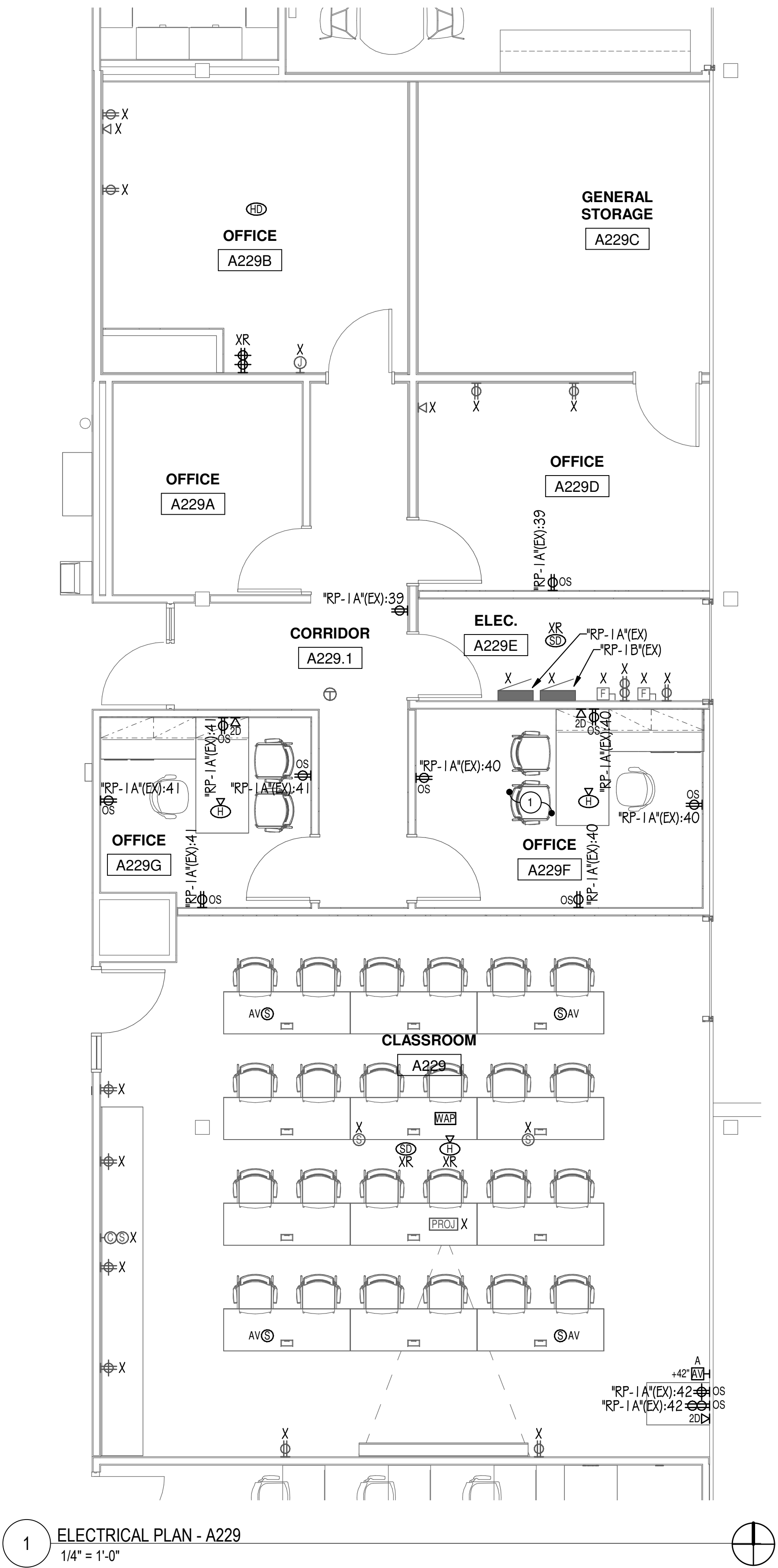


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DRAWING NOTES

1. VERIFY AVAILABILITY OF CIRCUIT SERVING NEW RECEPTACLES PRIOR TO INSTALLATION.
NOTIFY ENGINEER IF CIRCUIT IS ALREADY IN USE.



1 ELECTRICAL PLAN - A229
1/4" = 1'-0"

McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
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NO.	DESCRIPTION:	DATE:

SHEET TITLE:
**ELECTRICAL PLANS -
BP1**

SHEET NUMBER:

E1.11

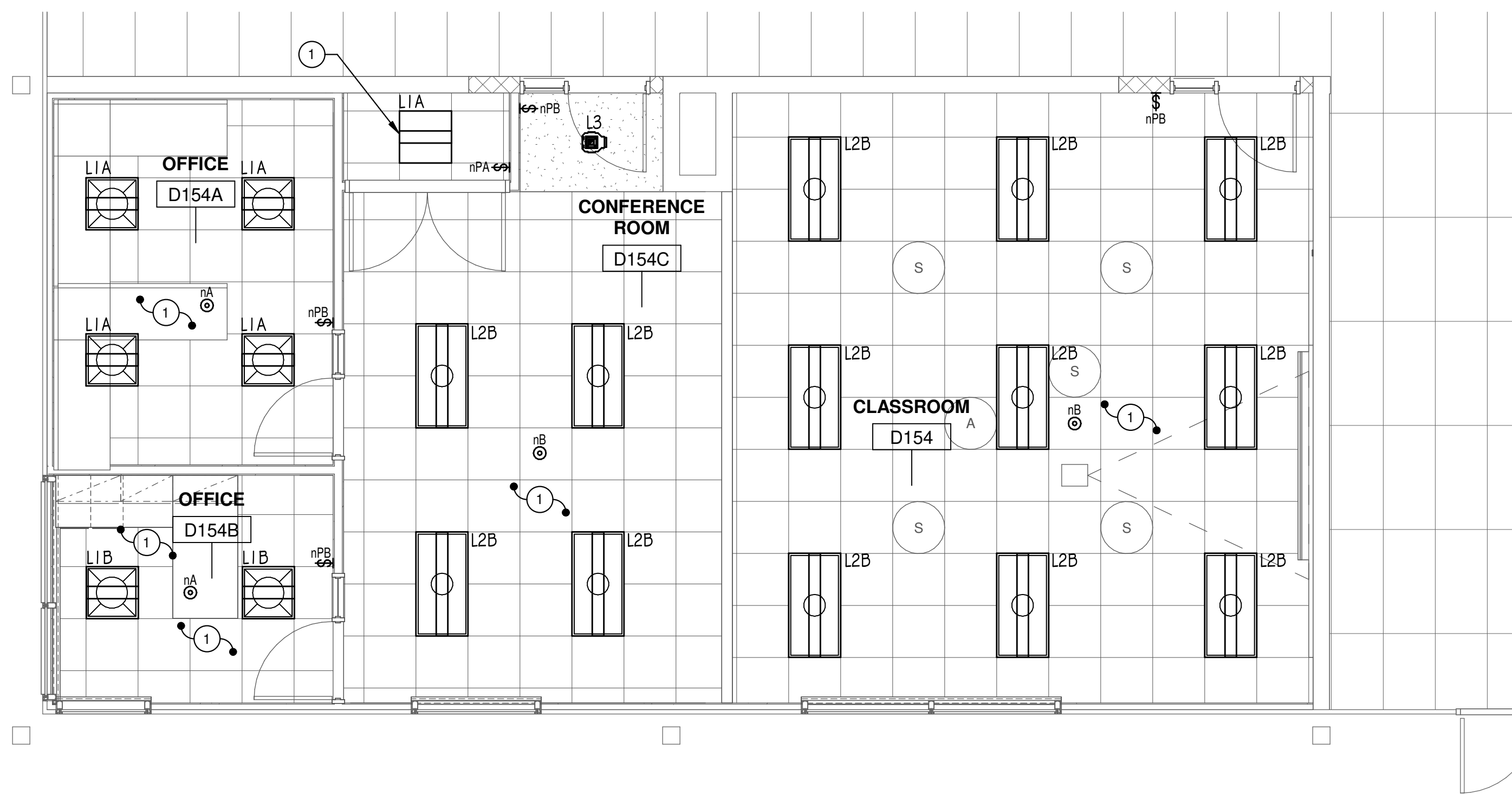
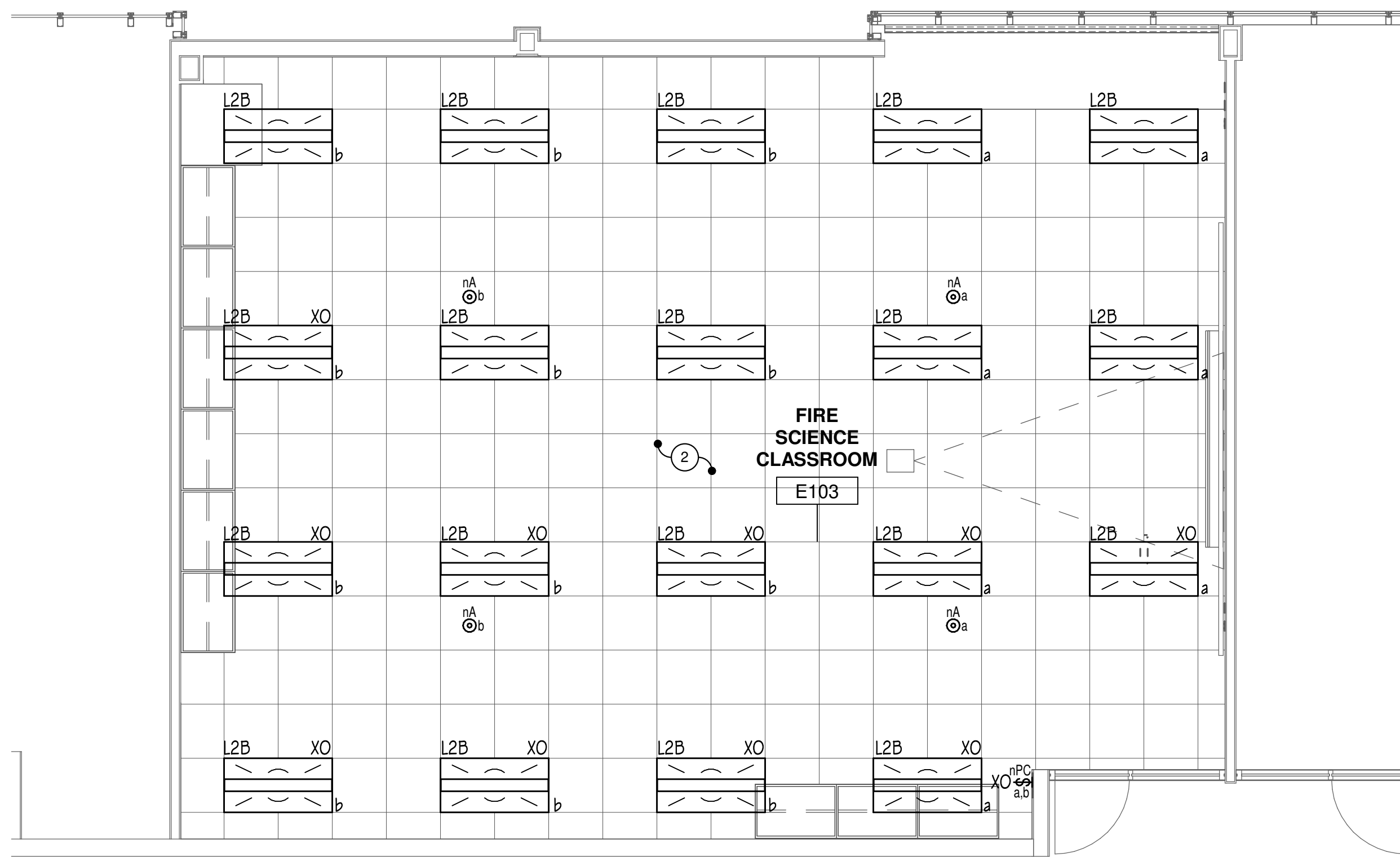


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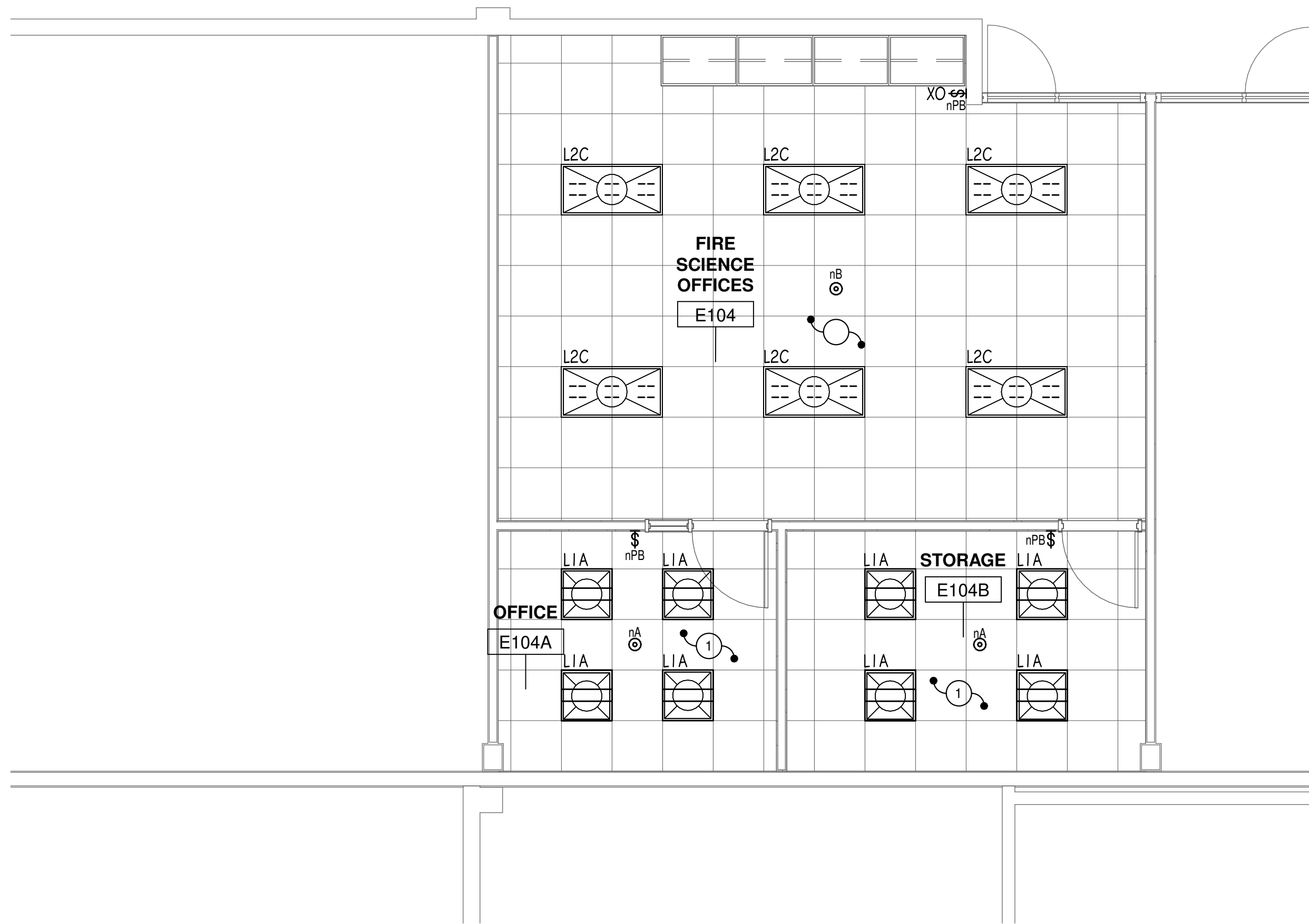
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DRAWING NOTES

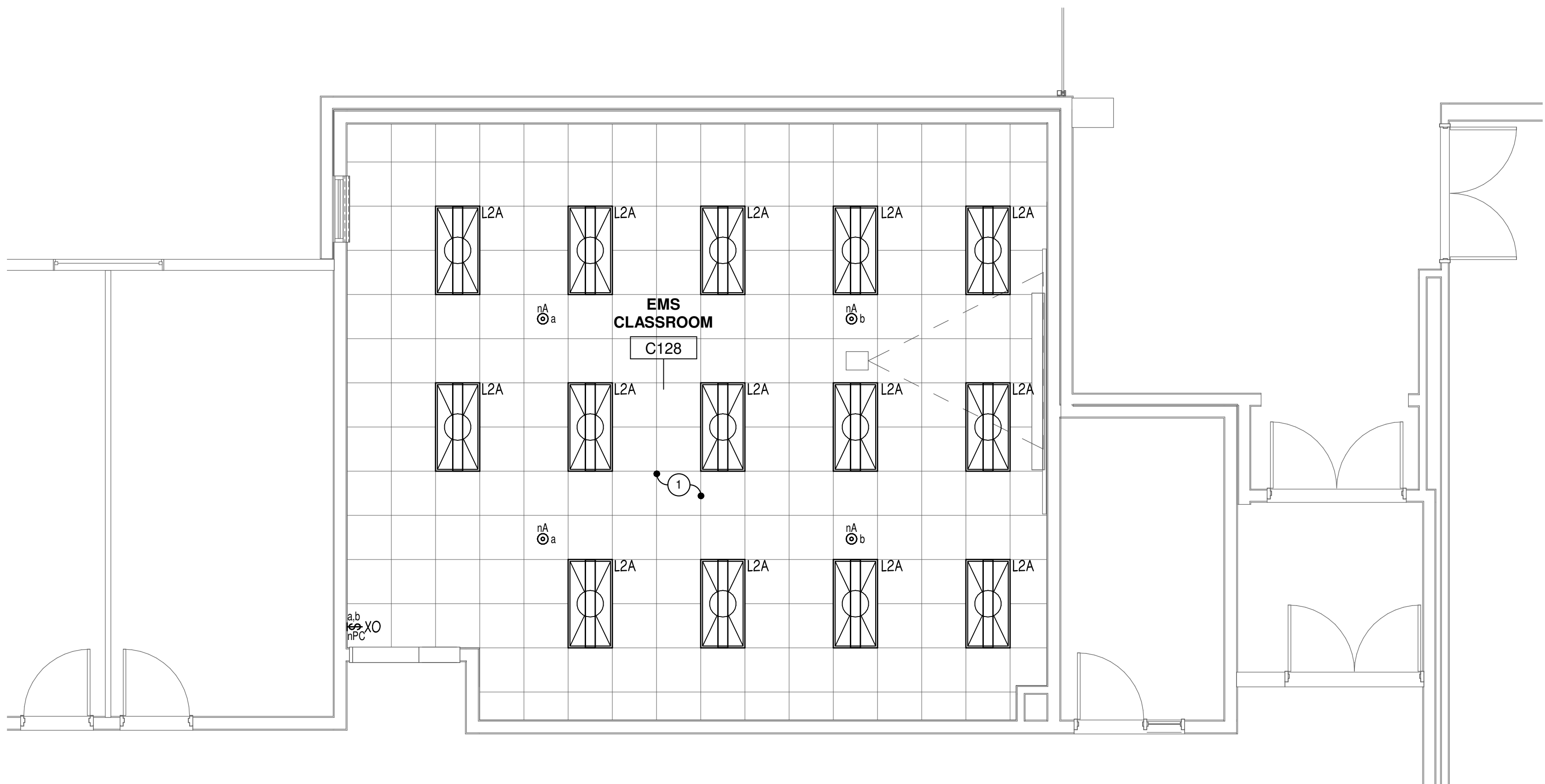
- RECONNECT TO EXISTING LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA. PROVIDE NEW SWITCHING SCHEME WHERE INDICATED. FIELD VERIFY EXACT REQUIREMENTS.
- 1 RECONNECT TO EXISTING LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA. PROVIDE NEW SWITCHING SCHEME WHERE INDICATED. FIELD VERIFY EXACT REQUIREMENTS.
- 2 UTILIZE EXISTING BACKBOX AND CONDUIT STUB PREVIOUSLY SERVING LIGHTING FIXTURES. PROVIDE NEW SWITCH AND COVER PLATE.



2 LIGHTING PLAN - CAL CLASSROOM
1/4" = 1'-0"



1 LIGHTING PLAN - FIRE SCIENCE
1/4" = 1'-0"



3 LIGHTING PLAN - EMS CLASSROOM
1/4" = 1'-0"

McHenry County College
2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
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NO.	DESCRIPTION:	DATE:

SHEET TITLE:
LIGHTING PLANS - BP1

SHEET NUMBER:

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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024

**ISSUED FOR BID - NOT
FOR CONSTRUCTION**

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SHEET TITLE:
**LIGHTING PLANS -
BP1**

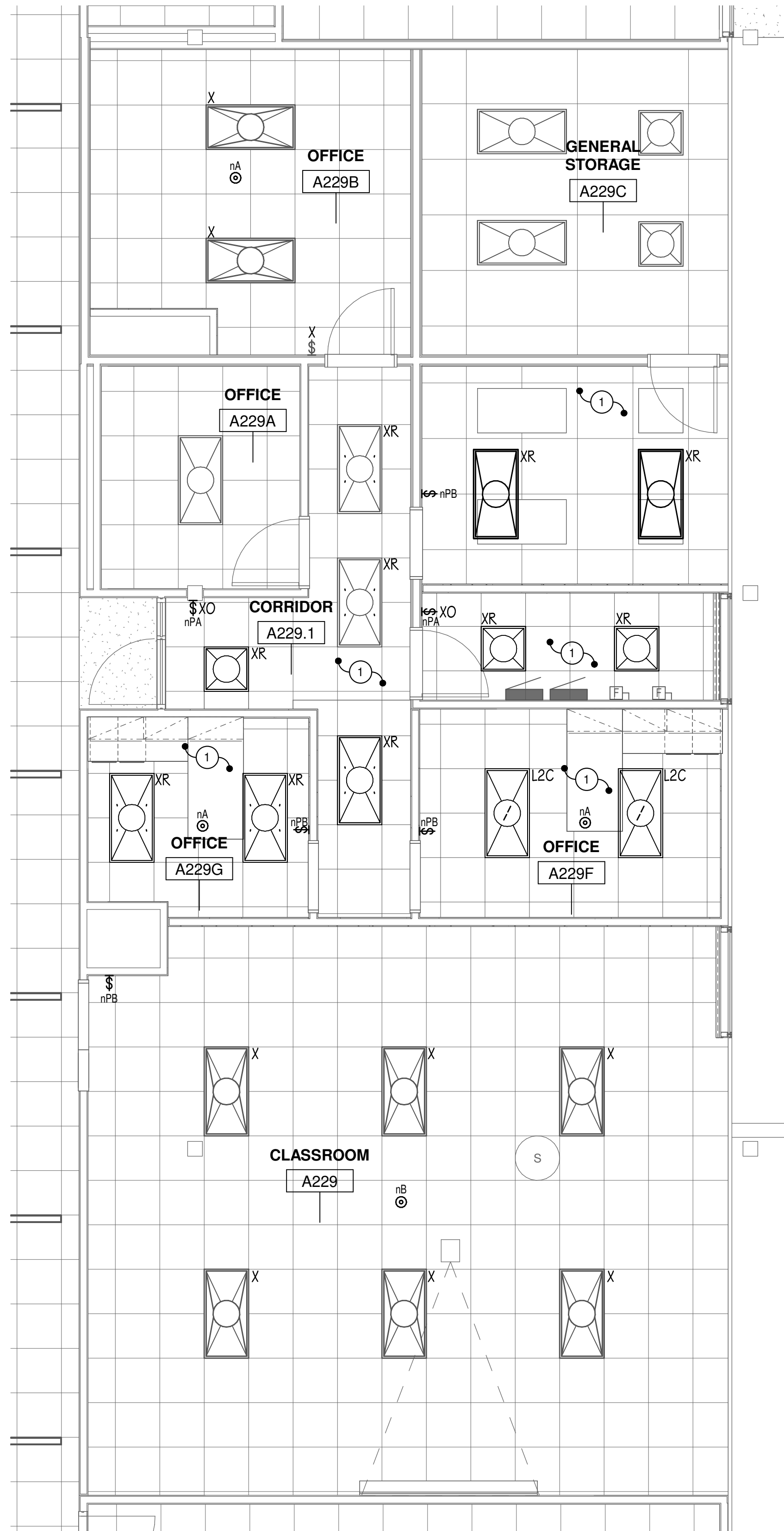
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DRAWING NOTES

RECONNECT TO EXISTING LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA. PROVIDE NEW SWITCHING SCHEME WHERE INDICATED. FIELD VERIFY EXACT REQUIREMENTS.



1 LIGHTING PLAN - A229
1/4" = 1'-0"

ELECTRICAL ABBREVIATIONS

A	AMPERES	GFI	GROUND FAULT PROTECTIVE EQUIPMENT	TP	TAMPER PROOF
AFCI	ARC FAULT CIRCUIT INTERRUPTER	HP	HORSEPOWER	TYP.	TYPICAL
A.F.F.	ABOVE FINISHED FLOOR.	I.T.	INFORMATION TECHNOLOGY	U.N.O.	UNLESS NOTED OTHERWISE
C	CONDUIT	KCM	THOUSAND CIRCULAR MILS	V	VOLTS
C/B	CIRCUIT BREAKER	MAX	MAXIMUM	VA	VOLT - AMPERES
CT	CURRENT TRANSFORMER	MCA	MINIMUM CIRCUIT AMPS	W	WATTS
CU	COPPER	MCB	MAIN CIRCUIT BREAKER	WG	WIRE GUARD
EC	ELECTRICAL CONTRACTOR	MIN	MINIMUM	WP	WEATHER PROOF
EM	EMERGENCY	MLO	MAIN LUGS ONLY	XFMR	TRANSFORMER
FLA	FULL LOAD AMPS	MOCP	MAXIMUM OVERCURRENT PROTECTION	1P	SINGLE POLE
G, GRD.	GROUND	PT	POTENTIAL TRANSFORMER	2P	TWO POLE
GFI	GROUND FAULT CIRCUIT INTERRUPTER	SPD	SURGE PROTECTIVE DEVICE	3P	THREE POLE
				Ø	PHASE

DEMOLITION SYMBOLS

SYMBOL	DESCRIPTION
X	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO REMAIN.
R	EXISTING ELECTRICAL EQUIPMENT, OUTLET OR JUNCTION BOX TO BE REMOVED.
XRR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED, RELOCATED AND JUNCTION BOX REMOVED OR CAPPED AS REQUIRED. STORE AND PROTECT EXISTING DEVICE FOR RE-USE AND RE-INSTALLATION.
XR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET RELOCATED (NEW LOCATION). EXTEND EXISTING FEED AS REQUIRED TO MAINTAIN DEVICE/EQUIPMENT OPERATION. PROVIDE NEW FEED OF MATCHING SPECIFICATIONS IN SITUATIONS WHERE THEY CANNOT BE SPLICED OR ARE NOT OF SUFFICIENT LENGTH TO REACH NEW LOCATION.
XC	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED AND JUNCTION BOX CAPPED OR REUSED AS REQUIRED.
XO	NEW ELECTRICAL EQUIPMENT INSTALLED OVER EXISTING OUTLET.
XA	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE ABANDONED.
XM	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE MODIFIED.
XW	EXISTING ELECTRICAL EQUIPMENT TO BE REWIRED.
XRT	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE TEMPORARILY REMOVED AND REINSTALLED IN SAME LOCATION.

NOTE: NOT ALL SYMBOLS ARE USED ON THIS PROJECT.

GENERAL NOTE:

CONTRACTOR SHALL MAINTAIN FIRE RATING OF ALL PARTITIONS FOR NEW PENETRATIONS. ANY PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE PROPERLY SEALED AND TREATED TO MAINTAIN THE FIRE STOPPING RATING OF THE WALL. CABLING SHALL NOT PENETRATE WALLS UNLESS ROUTED THROUGH RACEWAY SYSTEM OR ROUTED ABOVE ACCESSIBLE CEILINGS THROUGH METALLIC CONDUIT SLEEVES, EXTENDING A MINIMUM OF 6" EACH SIDE OF THE WALL WITH PROTECTIVE END BUSHINGS TO PREVENT DAMAGE TO CABLES. VOIDS AROUND SLEEVES SHALL BE SEALED WITH APPROPRIATE MATERIALS AS TO MAINTAIN THE ACOUSTIC OR FIRE RATING OF WALLS ABOVE AND BELOW CEILINGS. CABLES RAN THROUGH VOIDS WITHOUT SLEEVES OR RACEWAYS WILL NOT BE ACCEPTABLE. CONTRACTOR SHALL VERIFY EXISTING FIRE PARTITIONS IN THE FIELD.

GENERAL NOTE:

INCIDENTAL WORK MAY ALSO BE NECESSARY DUE TO CHANGES AFFECTING FIRE ALARM, ELECTRICAL OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO PART OF THIS CONTRACT. INSPECT THOSE AREAS, ASCERTAIN WORK NEEDED, AND DO THAT WORK IN ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST. THE REMOVAL & REINSTALLATION OF EXISTING WORK TO ACCOMMODATE CHANGES TO EXISTING, OR INSTALLATION OF, ELECTRICAL, OTHER SYSTEMS IS ALSO PART OF THIS CONTRACT.

GENERAL NOTE:

REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL INFORMATION REGARDING MOUNTING HEIGHTS AND LOCATIONS OF ELECTRICAL DEVICES BEFORE ROUGH-IN.

WHERE CONFLICTS BETWEEN ELECTRICAL & ARCHITECTURAL ELEVATIONS ARISE, CONTRACTOR TO VERIFY WITH ARCHITECT/ENGINEER TEAM PRIOR TO ROUGH-IN.

GENERAL NOTE:

EXISTING CONDITIONS WERE OBTAINED FROM EXISTING AS-BUILT DRAWINGS AND CURSORY FIELD OBSERVATION. THIS CONTRACTOR SHALL IDENTIFY ANY DISCREPANCIES IN THE FIELD AND REPORT THEM TO THE ENGINEER.

BIDDING NOTE:

SEE DRAWINGS E5.10, E6.00, E6.10 & E6.20 FOR GENERAL NOTES AND ADDITIONAL DETAILS APPLICABLE TO THIS TRADE'S WORK.

ELECTRICAL SYMBOL LIST (NOTE: NOT ALL SYMBOLS ARE USED IN THE PROJECT.)

	2' X 4' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	1' X 4' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	2' X 2' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	HALF SHADING DENOTES FIXTURE UNSWITCHED 'NIGHTLIGHT'.
	STRIP LUMINAIRE PER LUMINAIRE SCHEDULE.
	WALL MOUNTED LUMINAIRE PER LUMINAIRE SCHEDULE.
	RECESSED OR SURFACE CEILING MOUNTED LUMINAIRE PER LUMINAIRE SCHEDULE.
	ILLUMINATED EXIT OR STAIR SIGN, SURFACE CEILING MOUNTED, SINGLE OR DOUBLE FACE, WITH OR WITHOUT DIRECTIONAL ARROWS PER SCHEDULE. - "WG" DENOTES WIRE GUARD.
	ILLUMINATED EXIT OR STAIR SIGN, SURFACE WALL MOUNTED, SINGLE OR DOUBLE FACE, WITH OR WITHOUT DIRECTIONAL ARROWS SCHEDULE. - "WG" DENOTES WIRE GUARD.
	SELF-CONTAINED EMERGENCY LUMINAIRE, WITH BATTERY BACK-UP AND SOLID STATE CHARGER PER SCHEDULE. - "WG" DENOTES WIRE GUARD.
	SELF-CONTAINED EMERGENCY LUMINAIRE WITH DUAL WEATHERPROOF REMOTE HEADS, BATTERY BACK-UP AND SOLID STATE CHARGER PER SCHEDULE. - "WG" DENOTES WIRE GUARD.
	SINGLE POLE 20 AMP 120-277 VOLT TOGGLE SWITCH INSTALLED 48" A.F.F. - "K" DENOTES KEYED SWITCH.
	THREE-WAY 20 AMP 120-277 VOLT TOGGLE SWITCH INSTALLED 48" A.F.F. - "K" DENOTES KEYED SWITCH.
	MOMENTARY CONTACT SWITCH (LOW VOLTAGE) INSTALLED 48" A.F.F.
	SLIDE DIMMER CONTROL. DECORA STYLE COMPATIBLE WITH LUMINAIRE AND DIMMING BALLAST/DRIVER TYPES INSTALLED 48" A.F.F.
	SINGLE POLE 20 AMP 120/277 VOLT TOGGLE SWITCH WITH PILOT LIGHT INSTALLED 48" A.F.F.
	WALL MOUNT COMBINATION OCCUPANCY SENSOR AND SWITCH AS SCHEDULED.
	OCCUPANCY SENSOR, LETTER INDICATES MODEL AND TYPE PER SCHEDULE.
	ELECTRICAL DEVICE MOUNTED ON SURFACE RACEWAY, WIREMOLD V700 U.N.O.
	SURFACE MOUNTED (EXPOSED) CONDUIT, BACKBOX FOR DEVICE AS SHOWN.
	TWO 20A, 2P, 3 WIRE, GROUNDING TYPE, 125V, SPECIFICATION-GRADE, TAMPER-RESISTANT TYPE DUPLEX RECEPTACLE NEMA 5-20R INSTALLED +16" A.F.F. UNLESS NOTED OTHERWISE. - "GFI" DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - "USB" DENOTES RECEPTACLE EQUIPPED WITH (2) USB PORTS. - "WP" DENOTES WEATHER-RESISTANT RECEPTACLE WITH LOW-PROFILE WHILE-IN-USE WEATHERPROOF COVER.
	TWO 20A, 2P, 3 WIRE, GROUNDING TYPE, 125V, SPECIFICATION-GRADE, TAMPER-RESISTANT TYPE DUPLEX RECEPTACLE NEMA 5-20R INSTALLED 6" ABOVE COUNTER TOP OR +42" A.F.F. UNLESS NOTED OTHERWISE. - "GFI" DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - "USB" DENOTES RECEPTACLE EQUIPPED WITH (2) USB PORTS.
	TWO 20A, 2P, 3 WIRE, GROUNDING TYPE, SPECIFICATION-GRADE, TAMPER-RESISTANT TYPE DUPLEX RECEPTACLES NEMA 5-20R INSTALLED +16" A.F.F. UNLESS NOTED OTHERWISE. - "GFI" DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - "USB" DENOTES RECEPTACLE EQUIPPED WITH (2) USB PORTS.
	SIMPLEX RECEPTACLE.
	SPECIAL RECEPTACLE, NEMA CONFIGURATION AS NOTED IN THE PLAN.
	POWER OUTLET, CEILING MOUNTED.
	COMBINATION POWER/INFORMATION OUTLET, CEILING MOUNTED.
	HIGH CAPACITY MULTISERVICE (WITH DIVIDER/PARTITIONS) FLUSH FLOOR BOX. REFER TO PLANS AND DETAILS FOR QUANTITIES AND CONFIGURATIONS.
	METER.
	CIRCUIT BREAKER PANELBOARD.
	DRY TYPE TRANSFORMER WITH 4" CONCRETE HOUSEKEEPING PAD.
	DISTRIBUTION PANEL.
	NON-FUSED SAFETY DISCONNECT SWITCH, AMPERE RATING AND NUMBER OF POLES AS NOTED.
	FUSED DISCONNECT SWITCH, AMPERE RATING, NUMBER OF POLES AND FUSE SIZE AS NOTED.
	COMBINATION MOTOR STARTER WITH FUSED DISCONNECT, AMPERE RATING, NUMBER OF POLES, FUSE SIZE AND NEMA STARTER SIZE AS INDICATED.
	SWITCH FRAME SIZE.
	NUMBER OF FUSIBLE POLES.
	FUSE SIZE.
	NEMA ENCLOSURE RATING. (NEMA 1 STANDARD, 3R OUTDOORS AND WET LOCATIONS U.N.O.)
	FUSIBLE SWITCH RATING TAG.
	NEMA STARTER SIZE.
	ENCLOSED CIRCUIT BREAKER.
	MOTOR.
	MANUAL MOTOR STARTER, THERMAL OVERLOAD TOGGLE SWITCH.
	CEILING JUNCTION BOX.
	WALL MOUNTED JUNCTION BOX.
	JUNCTION BOX WITH FLEXIBLE CONDUIT FOR FINAL CONNECTION TO EQUIPMENT.
	THERMOSTAT, PROVIDE RECESSED JUNCTION BOX AND CONDUIT STUB-UP, REFER TO MECHANICAL FOR EXACT QUANTITY AND LOCATION.
	CO2 SENSOR, PROVIDE RECESSED JUNCTION BOX AND CONDUIT STUB-UP, REFER TO MECHANICAL FOR EXACT QUANTITY AND LOCATION.
	RADIO ANTENNA. - "DAS" DENOTES DISTRIBUTED ANTENNA SYSTEM FOR CELLULAR NETWORK. - "BDA" DENOTES BI-DIRECTIONAL ANTENNA FOR PUBLIC SAFETY RADIO.

	CONDUIT ROUTED CONCEALED IN WALLS AND CEILING. HASH MARKS DENOTE QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	CONDUIT ROUTED EXPOSED. INSTALL PARALLEL TO WALLS AND CEILINGS. HASH MARKS DENOTE QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	CONDUIT ROUTED BELOW GRADE. HASH MARK DENOTES QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	DENOTES CONDUIT HOMERUN, 3/4" MINIMUM, PANEL DESTINATION AND CIRCUIT NUMBER(S) AS INDICATED.
	SHORT TICK MARK DENOTES LINE (HOT) OR SWITCH LEG CONDUCTOR, #12 MINIMUM AWG.
	LONG TICK MARK DENOTES NEUTRAL CONDUCTOR, #10 AWG MINIMUM.
	DENOTES INSULATED GROUND WIRE, #12 AWG MINIMUM.
	CONDUIT END CAP.
	CONDUIT WALL SLEEVES FOR ROUTING OF LOW VOLTAGE CABLING. EACH PENETRATION IS TO PROVIDE A MINIMUM OF (1) 1 1/4" CONDUIT (DATA) & (1) 1" CONDUIT (FIRE ALARM/INTERCOM) U.N.O.
	DATA OUTLET LOCATION INSTALLED 16" A.F.F. U.N.O.
	TELEPHONE OUTLET LOCATION INSTALLED 16" A.F.F. U.N.O.
	DATA OUTLET LOCATION INSTALLED 42" A.F.F. U.N.O.
	TELEPHONE OUTLET LOCATION INSTALLED 42" A.F.F. U.N.O.
	DATA OUTLET LOCATION, CEILING MOUNTED.
	FLUSH CEILING SPEAKER, ROUND OR SQUARE.
	WEATHERPROOF PROJECTION TYPE WALL MOUNTED SPEAKER. - "AV" DENOTES PART OF AUDIO-VIDEO SYSTEM.
	WALL MOUNTED SPEAKER. - "AV" DENOTES PART OF AUDIO-VIDEO SYSTEM.
	BATTERY OPERATED CLOCK, CONNECTED WIRELESSLY TO A MASTER CLOCK SYSTEM.
	COMBINATION CLOCK/SPEAKER, COMPATIBLE WITH EXISTING INTERCOM SYSTEM, IN COMMON ENCLOSURE.
	VOLUME CONTROL SWITCH INSTALLED 48" A.F.F. TO TOP OF DEVICE.
	CALL SWITCH, COMPATIBLE WITH EXISTING INTERCOM SYSTEM, INSTALLED 48" A.F.F. TO TOP OF DEVICE.
	CEILING MOUNTED WIRELESS ACCESS POINT.
	TELEVISION CONNECTION PLATE INSTALLED 96" A.F.F. U.N.O.
	AUDIO/VIDEO CONNECTION PLATE INSTALLED 16" A.F.F. U.N.O.
	AUDIO/VIDEO CONNECTION PLATE, CEILING MOUNTED.
	FIRE ALARM SYSTEM PULL STATION INSTALLED 48" A.F.F.
	FIRE ALARM SYSTEM STROBE NOTIFICATION DEVICE INSTALLED 80" A.F.F. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM HORN/STROBE NOTIFICATION DEVICE INSTALLED 80" A.F.F. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM SPEAKER/STROBE NOTIFICATION DEVICE INSTALLED 80" A.F.F. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM SPEAKER NOTIFICATION DEVICE INSTALLED 80" A.F.F. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM SPEAKER/STROBE NOTIFICATION DEVICE, CEILING MOUNTED. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM SPEAKER NOTIFICATION DEVICE, CEILING MOUNTED. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM STROBE NOTIFICATION DEVICE, CEILING MOUNTED. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM HORN NOTIFICATION DEVICE, CEILING MOUNTED. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM HORN/STROBE NOTIFICATION DEVICE, CEILING MOUNTED. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM CEILING SMOKE DETECTOR. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM CEILING HEAT DETECTOR. - "FT" DENOTES FIXED TEMPERATURE. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM CONTROL PANEL.
	FIRE ALARM ANNUNCIATOR PANEL.
	FIRE ALARM NOTIFICATION APPLIANCE CIRCUIT PANEL.
	FIRE ALARM SYSTEM DUCT SMOKE DETECTOR.
	FIRE ALARM SYSTEM DUCT CARBON MONOXIDE DETECTOR.
	FIRE ALARM VALVE SUPERVISORY SWITCH.
	WATER FLOW SWITCH.
	TAMPER SWITCH.
	MAGNETIC DOOR HOLDER.
	ALARM BELL. - "TA" DENOTES TORNADO ALARM. - "FA" DENOTES FIRE ALARM.
	FIRE ALARM SYSTEM DUCT SMOKE DETECTOR KEY OPERATED TEST SWITCH WITH INDICATING LIGHT, WALL OR CEILING MOUNTED.
	SECURITY CAMERA. (WALL MOUNT)
	SECURITY CAMERA. (MOUNTED IN THE ACOUSTIC CEILING TILE)
	SECURITY SENSOR/INITIATOR.
	MAGNETIC POSITION SWITCH, DOOR OR WINDOW.
	ELECTRONIC DOOR (LOCK) STRIKE.
	POWER ASSISTED DOOR ACTUATOR.
	DOOR SECURITY ANNUNCIATOR PANEL.
	SECURITY SYSTEM CONTROL PANEL.
	SECURITY SYSTEM KEY PAD.
	ACCESS CONTROL CREDENTIAL READER.



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McHenry County College
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DKA PROJECT NO: 24-031

KEY PLAN:

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ELECTRICAL SYMBOL LIST AND ABBREVIATIONS

SHEET NUMBER:

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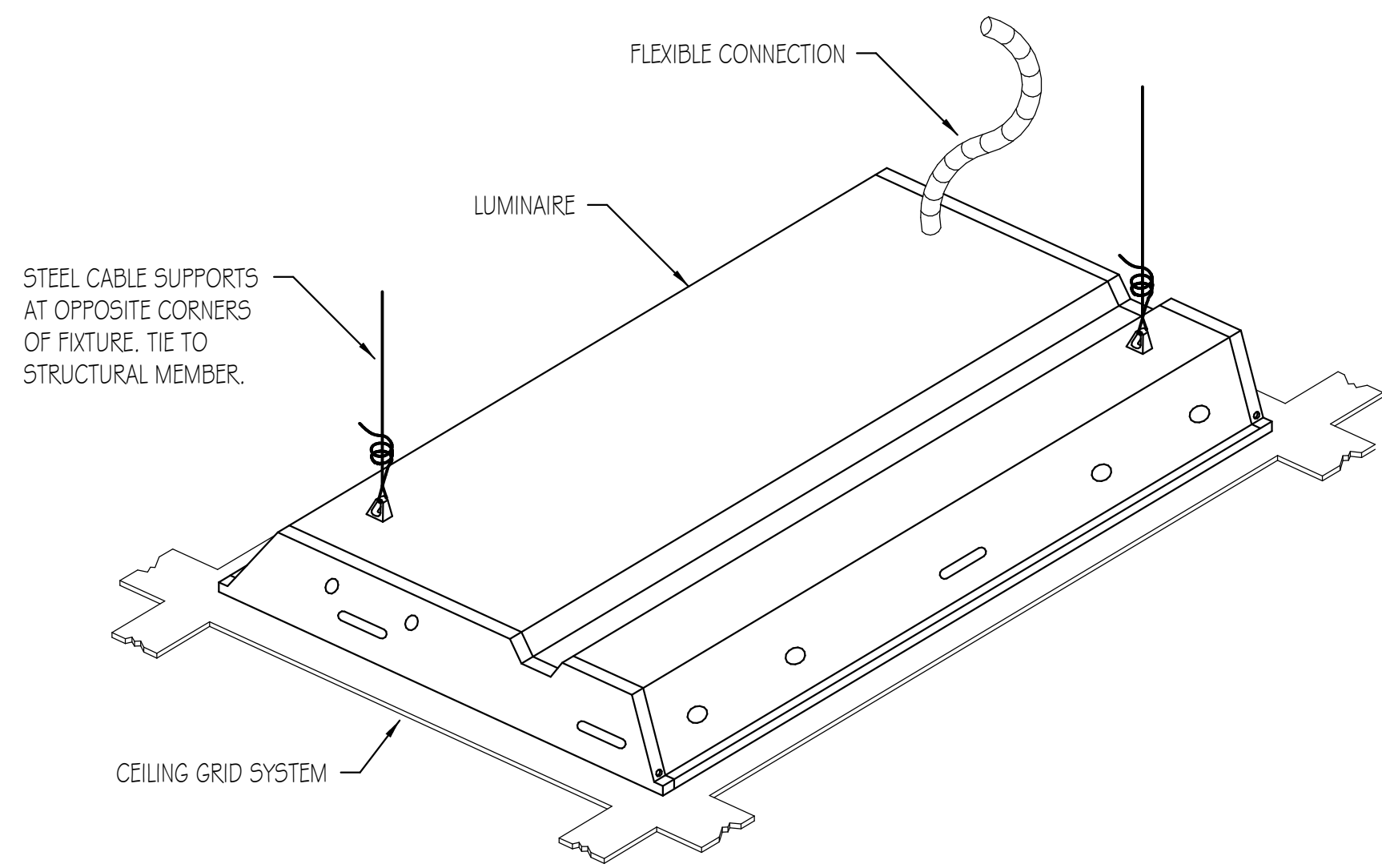
18. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THEIR ASSOCIATED FEES.

32. PROVIDE ALL REQUIRED COMPONENT FOR AN OPERABLE FIRE ALARM SYSTEM, INCLUDING BUT NOT LIMITED TO NAC PANELS, AMPLIFIERS, BATTERY CABINETS, ETC.

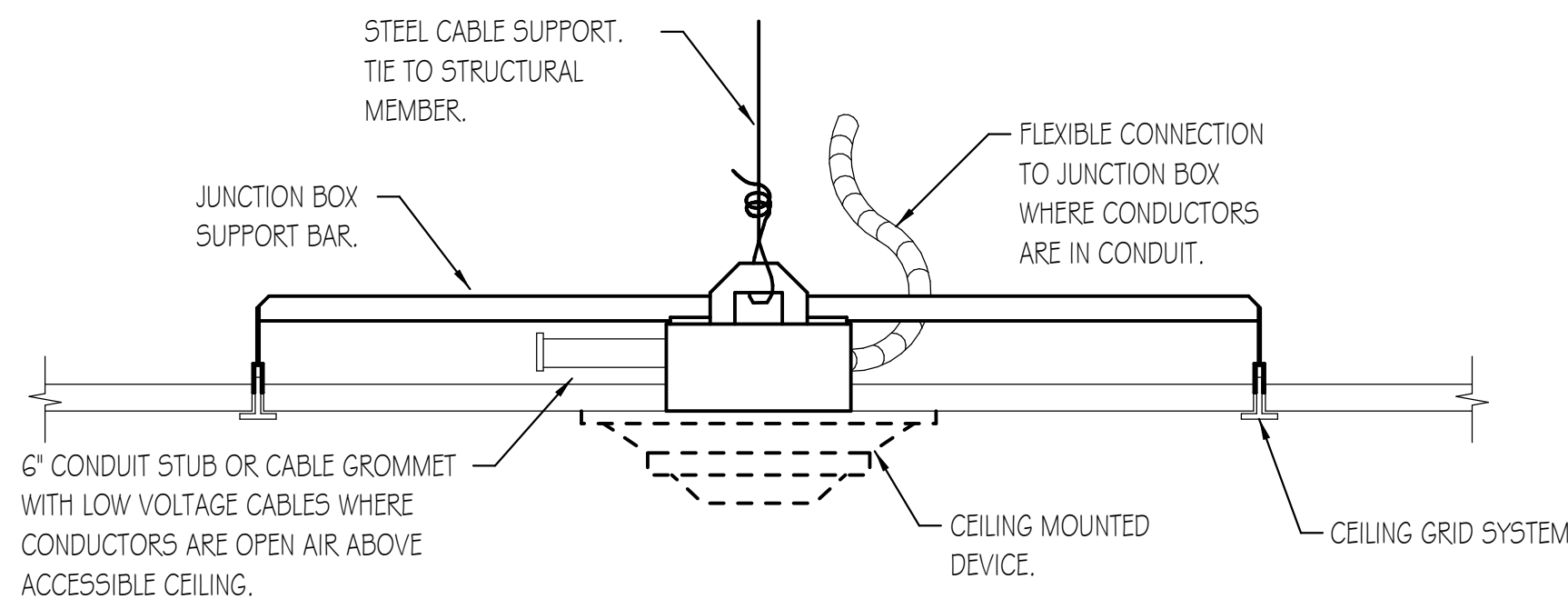
11. WHERE EXISTING DEVICE IS REMOVED FROM WALL WITH NO NEW DEVICE GOING BACK AT SAME LOCATION, PROVIDE BLANK BRUSHED STAINLESS STEEL COVER PLATES AS REQUIRED. COVER PLATES SHALL BE OF PROPER SIZE AND INSTALLED FLUSH WITH WALL.

9. IN JUNCTION BOXES WHERE CURRENT CARRYING CONDUCTORS ARE SPICED OR TERMINATED, PROVIDE BOND TO JUNCTION BOX FROM EQUIPMENT GROUNDING CONDUCTOR.

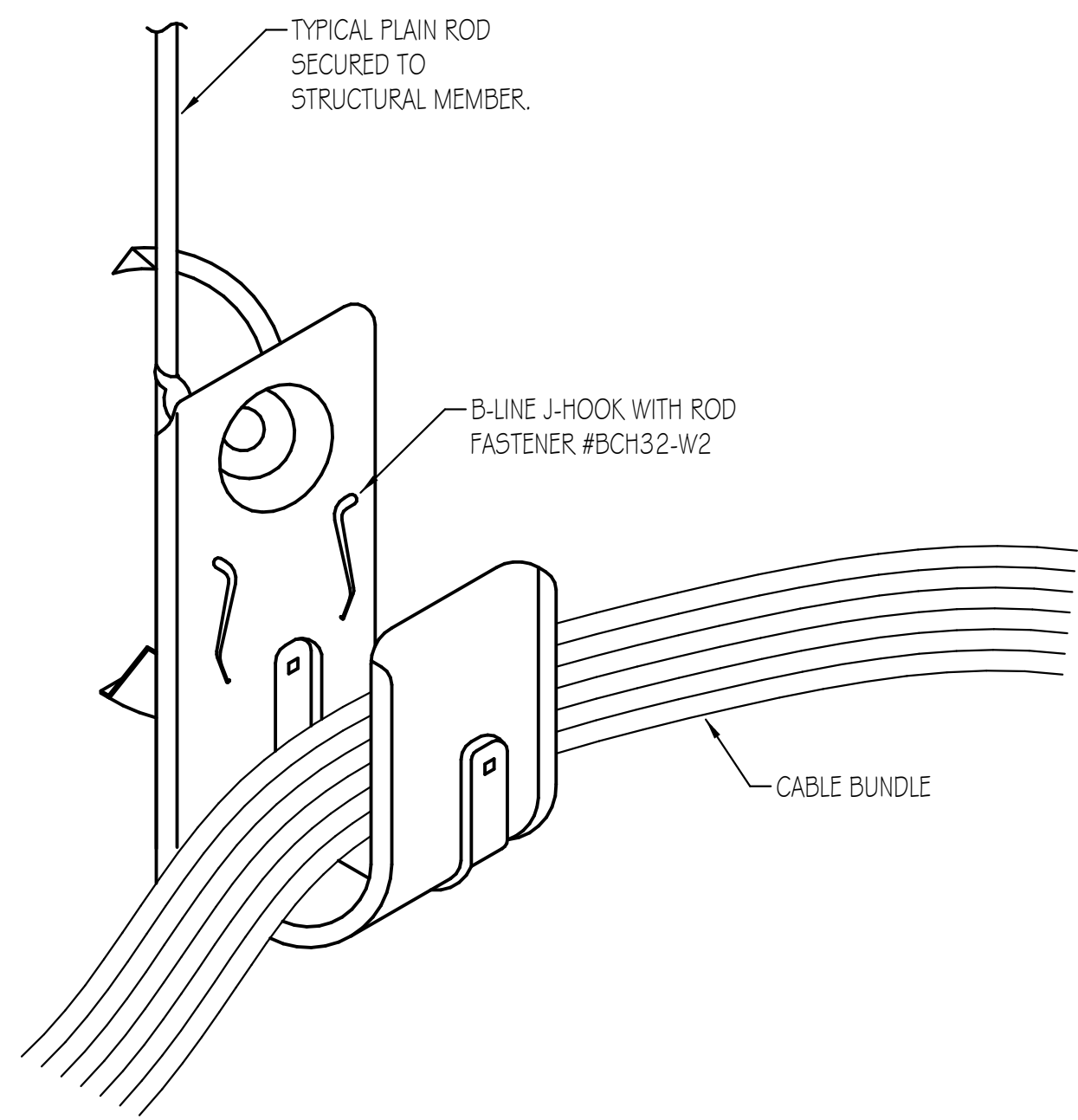
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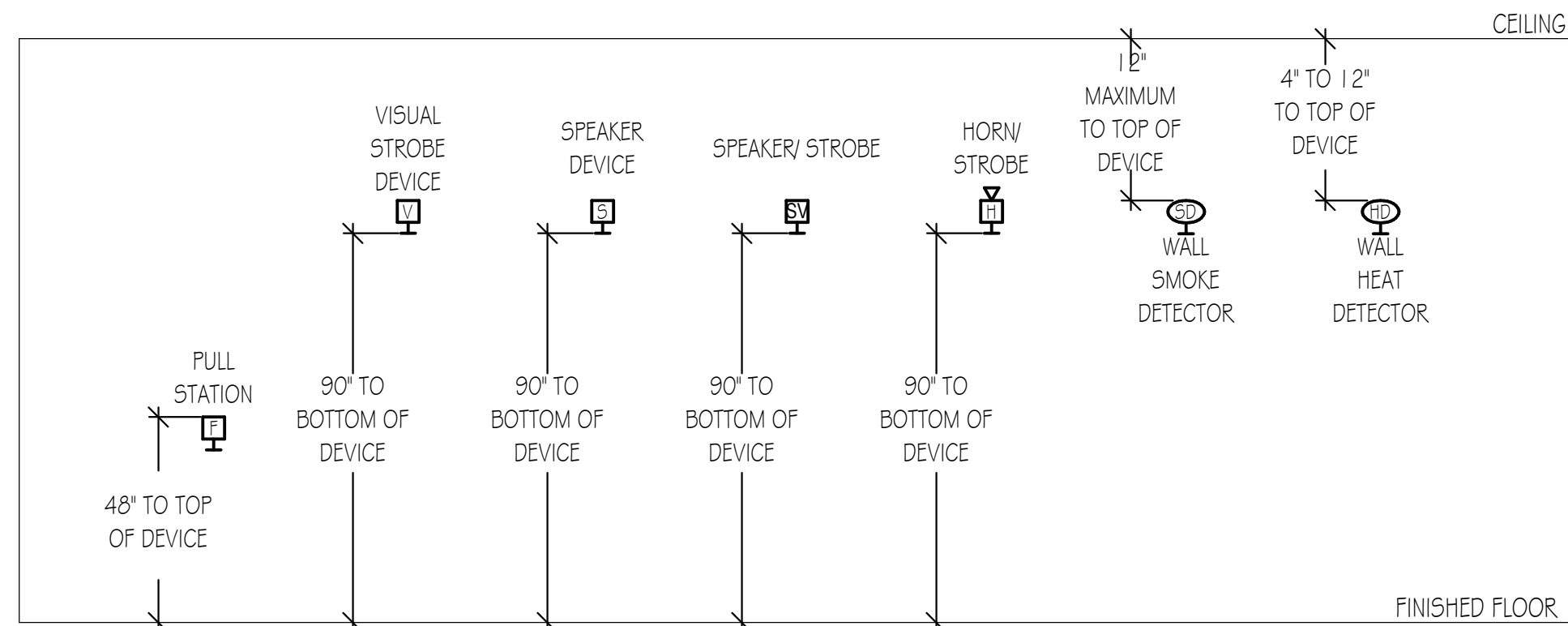
LUMINAIRE SUPPORT DETAIL
NO SCALE



CEILING MOUNTED DEVICE SUPPORT DETAIL
NO SCALE

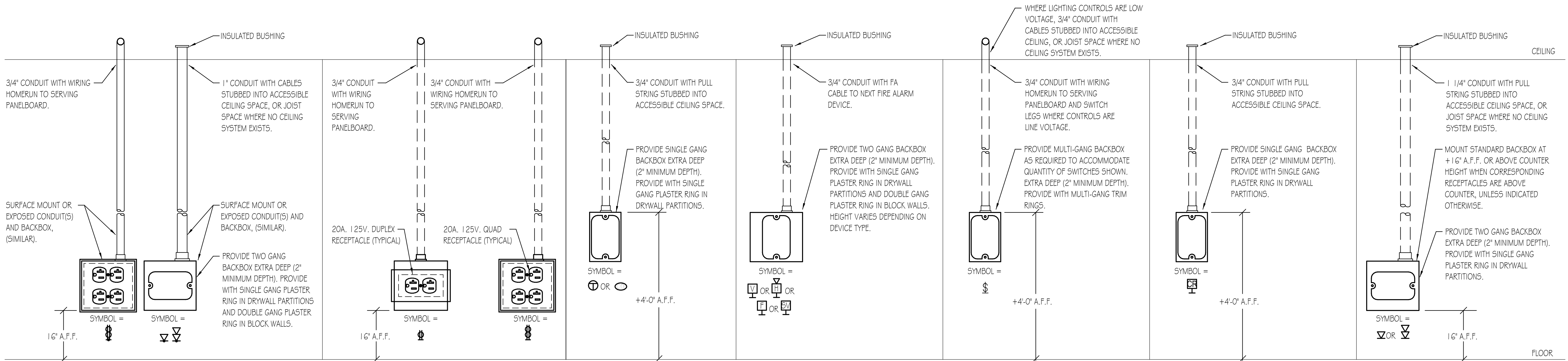


CABLE BUNDLE SUPPORT DETAIL
NO SCALE



FIRE ALARM DEVICE MOUNTING HEIGHT DETAIL
NO SCALE

SUGGESTED MATRIX OF RESPONSIBILITY			
ITEM	BY ELECTRICAL CONTRACTOR	BY OWNER'S REPRESENTATIVE	NOTES
TELECOMMUNICATION - BACKBOX ROUGH-IN AND RACEWAYS	X	-	-
TELECOMMUNICATION - CABLING AND TERMINATIONS	X	-	-
TELECOMMUNICATION - CABLE TESTING AND CERTIFICATION	X	-	-
TELECOMMUNICATION - PATCH PANELS, CABLE MANAGEMENT	-	X	3
TELECOMMUNICATION - UPS, SWITCHES, SERVERS, WIRELESS ACCESS POINTS	-	X	-
TELECOMMUNICATION - 120VAC TO EQUIPMENT	X	-	2
ACCESS CONTROL - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
ACCESS CONTROL - CABLING AND TERMINATIONS	-	X	-
ACCESS CONTROL - CABLE TESTING AND CERTIFICATION	-	X	-
ACCESS CONTROL - EQUIPMENT, PROGRAMMING, TESTING	-	X	-
ACCESS CONTROL - 120VAC TO EQUIPMENT	X	-	2
SECURITY CAMERA - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
SECURITY CAMERA - CABLING AND TERMINATIONS	X	-	-
SECURITY CAMERA - CABLE TESTING AND CERTIFICATION	X	-	-
SECURITY CAMERA - EQUIPMENT, PROGRAMMING, TESTING	-	X	-
SECURITY CAMERA - 120VAC TO EQUIPMENT	X	-	2
FIRE ALARM SYSTEM - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
FIRE ALARM SYSTEM - CABLING AND TERMINATIONS	-	X	5
FIRE ALARM SYSTEM - EQUIPMENT, PROGRAMMING, TESTING	-	X	5
FIRE ALARM SYSTEM - 120VAC TO EQUIPMENT	X	-	-
PUBLIC ANNOUNCEMENT SPEAKER SYSTEM - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
PUBLIC ANNOUNCEMENT SPEAKER SYSTEM - CABLING AND TERMINATIONS	X	-	-
PUBLIC ANNOUNCEMENT SPEAKER SYSTEM - EQUIPMENT, PROGRAMMING, TESTING	X	-	4,6
PUBLIC ANNOUNCEMENT SPEAKER SYSTEM - 120VAC TO EQUIPMENT	X	-	-
CLOCK SYSTEM - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
CLOCK SYSTEM - CABLING AND TERMINATIONS	X	-	-
CLOCK SYSTEM - EQUIPMENT, PROGRAMMING, TESTING	X	-	4,6
CLOCK SYSTEM - 120VAC TO EQUIPMENT	X	-	-
GENERAL NOTES: a. MATRIX IS SHOWN AS RECOMMENDATIONS ONLY AND PROVIDED AS A COURTESY TO CONTRACTOR. SOME COMPONENTS MAY NOT BE INCLUDED IN THIS MATRIX. CONFIRM WITH ARCHITECT, GENERAL CONTRACTOR OR CONSTRUCTION MANAGER PRIOR TO BIDDING TO CONFIRM SCOPE APPLICABLE TO THIS TRADE'S WORK. NOTES: 1. CONTRACTOR TO CONFIRM EXACT QUANTITY, HEIGHT, BACKBOX SIZE AND CONDUIT SIZE WITH OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN. 2. CONTRACTOR TO CONFIRM EXACT LOCATION AND ELECTRICAL CHARACTERISTICS OF EQUIPMENT WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. 3. NEW CABLES SHALL TERMINATE IN EXISTING PATCH PANELS. FIELD VERIFY EXACT REQUIREMENTS. 4. MODIFY/EXPAND EXISTING SYSTEM TO MEET PROJECT REQUIREMENTS. 5. FIRE ALARM WORK TO BE CARRIED OUT UNDER A SEPARATE CONTRACT. 6. EQUIPMENT TO BE FURNISHED BY OWNER, INSTALLED AND WIRED BY CONTRACTOR.			



JUNCTION BOX ROUGH-IN DETAIL
NO SCALE

- NOTES :
- DETAILS ARE FOR REFERENCE ONLY.
 - NOT ALL DEVICES ARE REQUIRED FOR THIS PROJECT.
 - PROVIDE TWO GANG BACKBOXES (2" MINIMUM DEPTH) WITH ALL RECEPTACLE OUTLETS.



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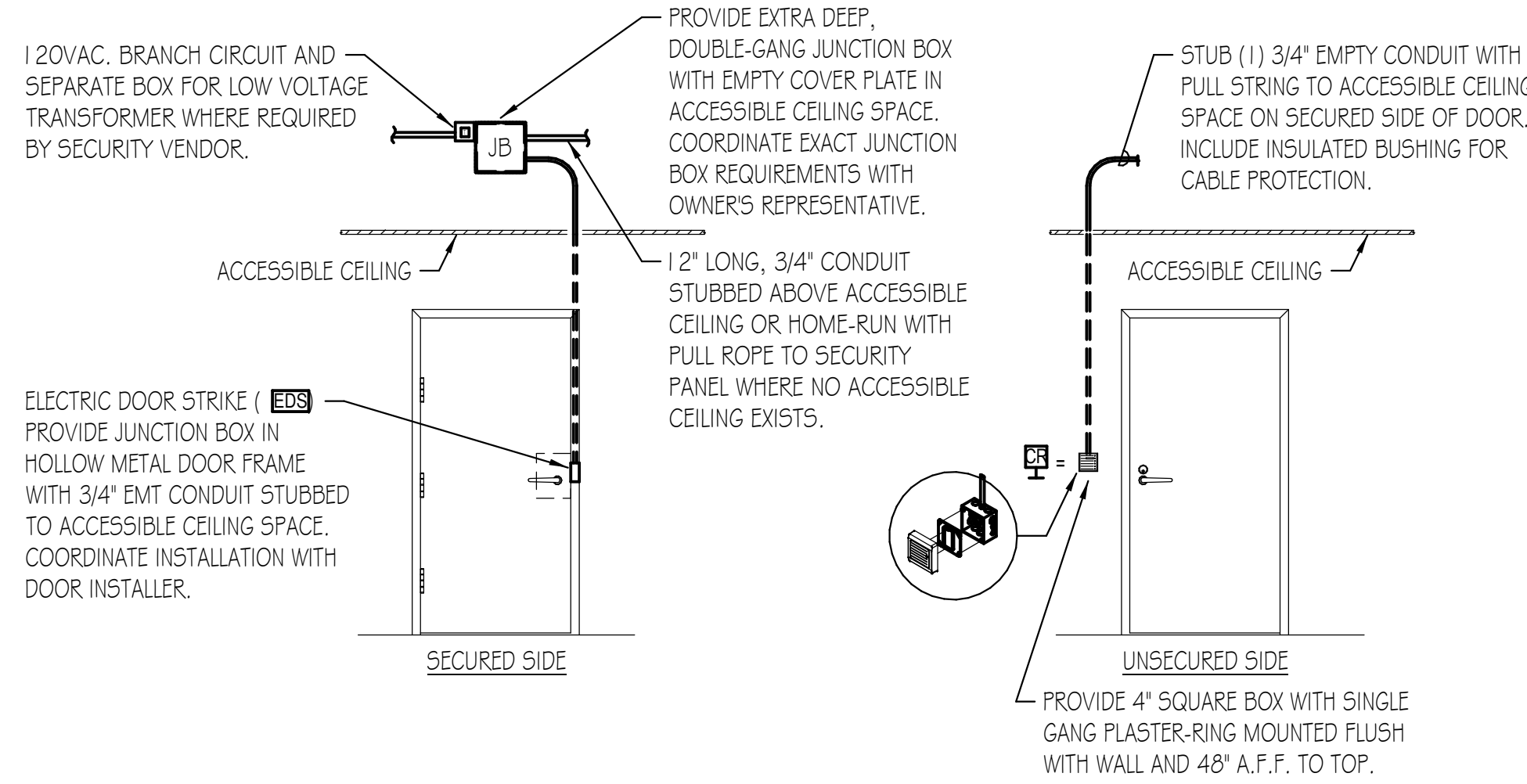
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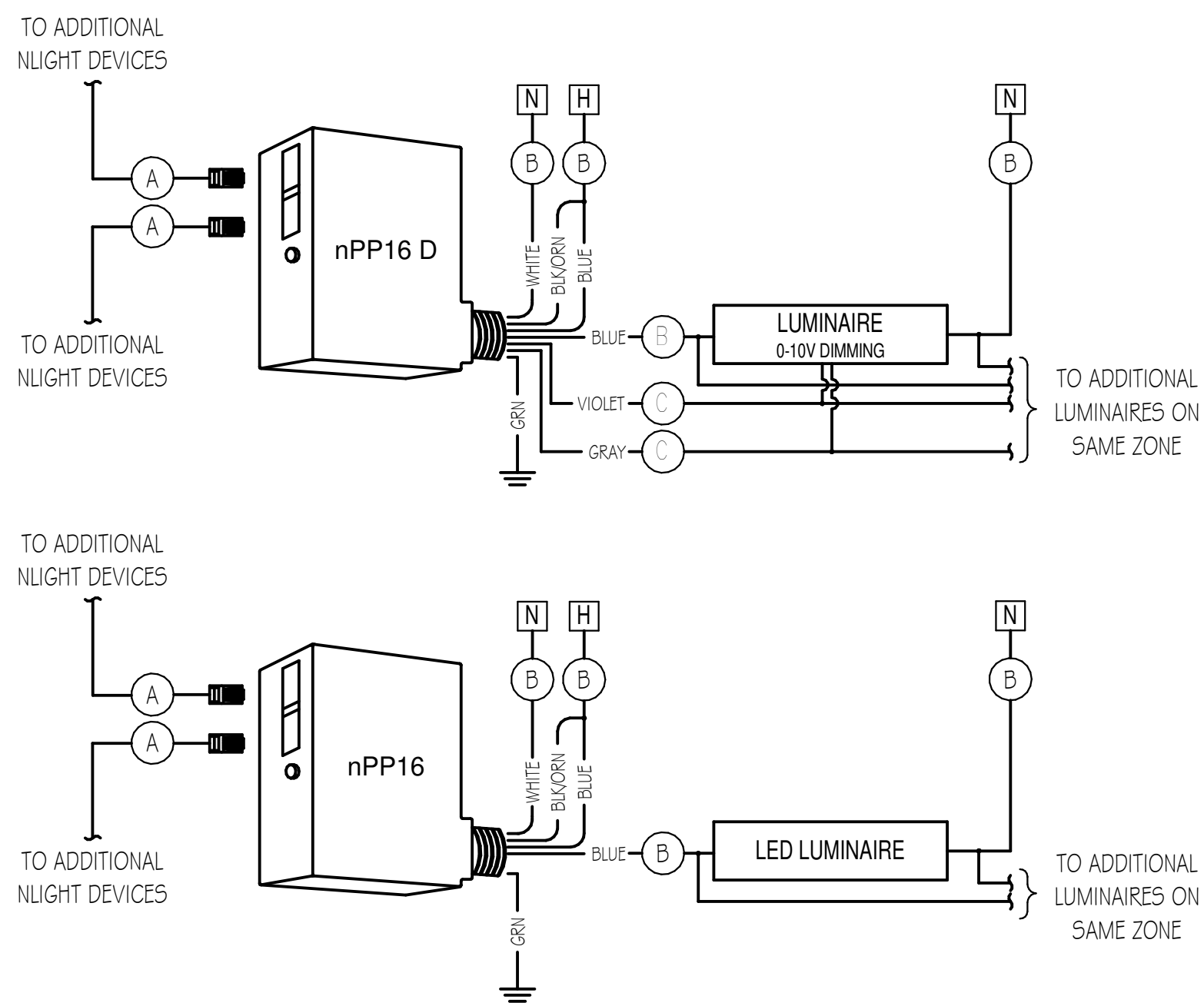
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P: 847.882.201F: 847.882.2201



TYPICAL FOR ALL SINGLE DOORS

ACCESS CONTROL / SECURITY DEVICE DETAIL

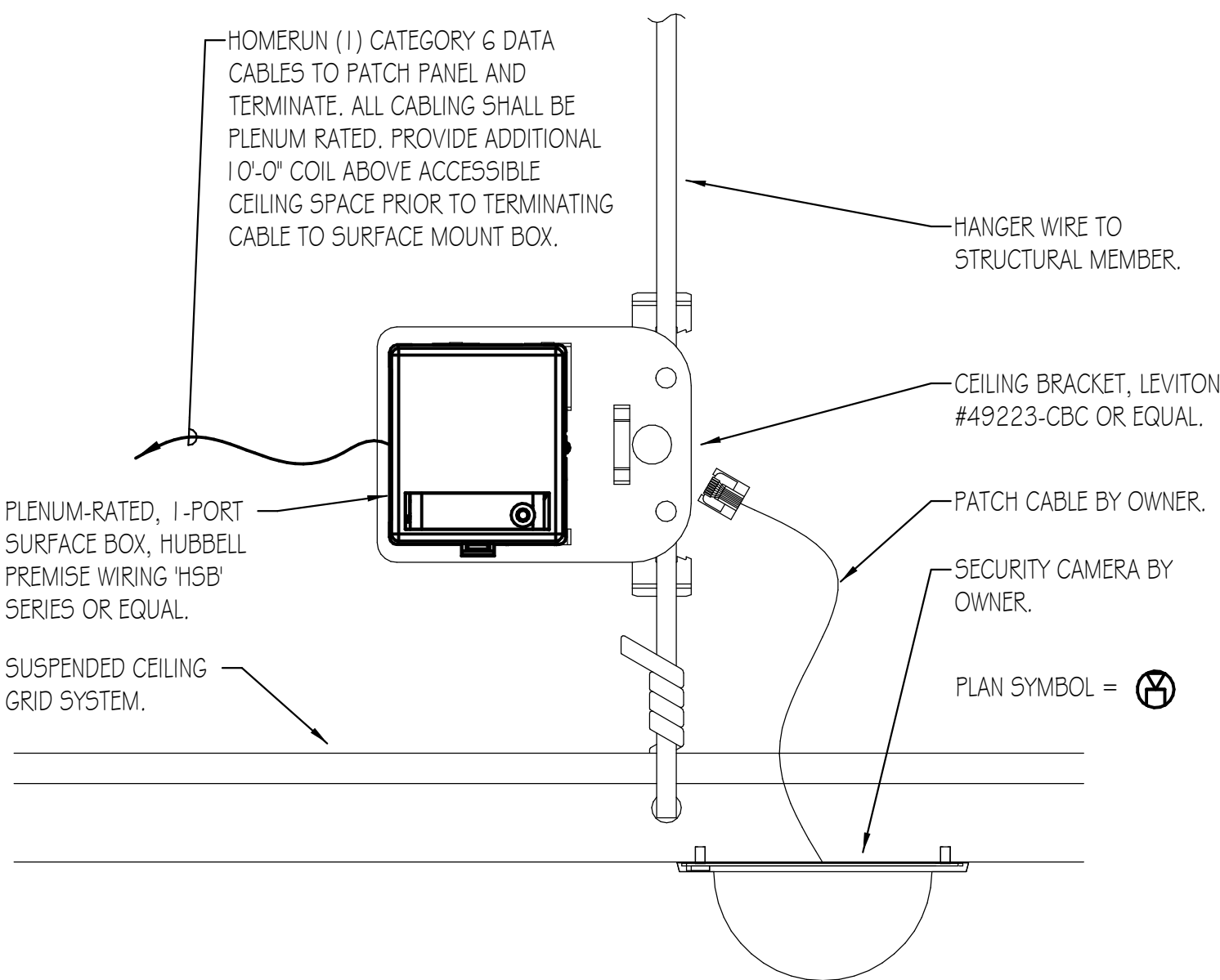
- NO SCALE
- NOTES:
- SECURITY DEVICES BY OTHERS. COORDINATE FINAL LOCATION AND REQUIREMENTS WITH OWNER'S REPRESENTATIVE.
 - DETAILS ARE REPRESENTATIVE OF TYPICAL INSTALLATION. COORDINATE INSTALLATION WITH DOOR AND DOOR HARDWARE INSTALLER.



WIRE LEGEND	
(A)	PLENUM-RATED CAT 5e (CLASS 2)
(B)	LINE VOLTAGE
(C)	0-10 VDC

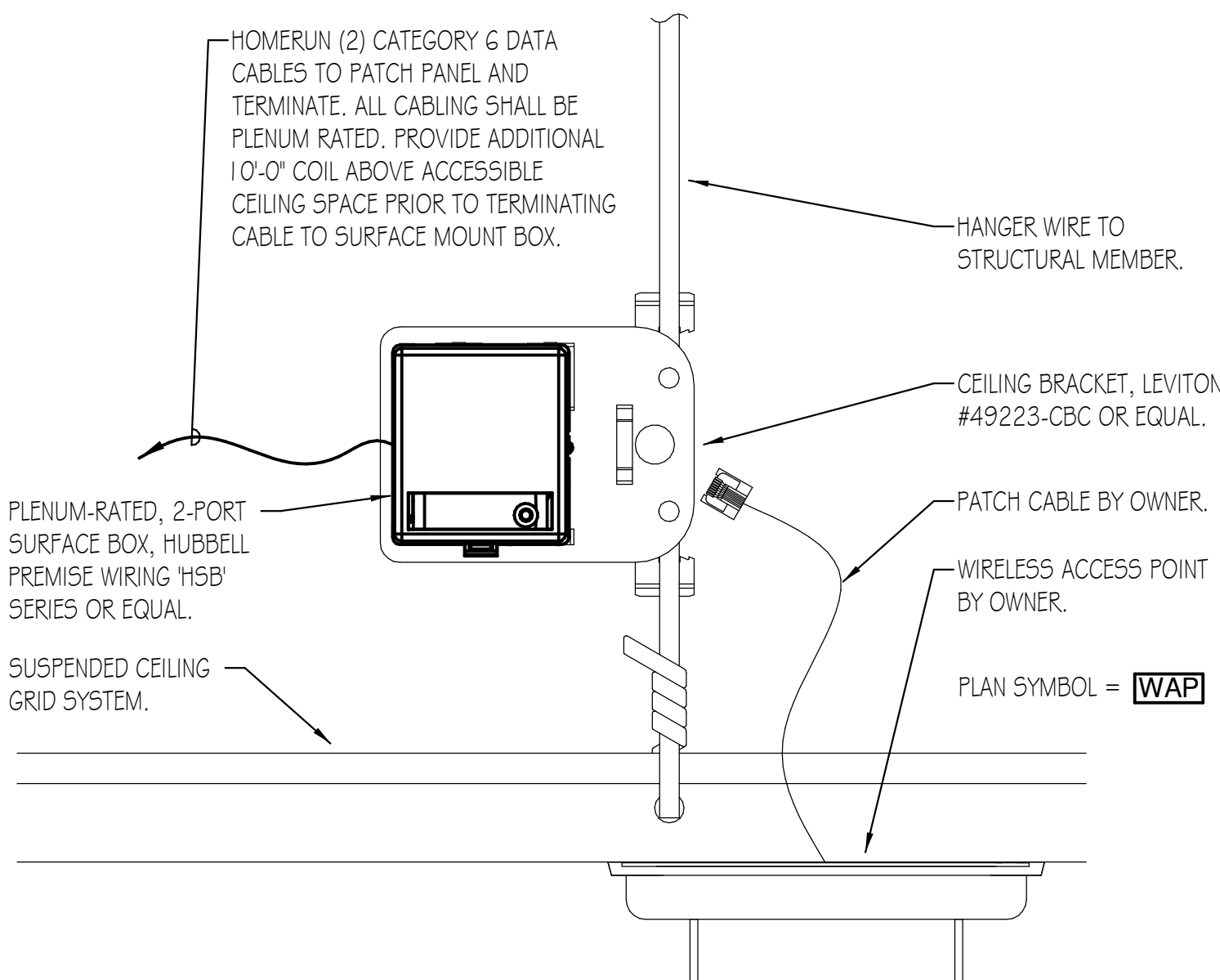
TYPICAL POWER PACK WIRING DIAGRAM

- NO SCALE
- NOTES:
- DETAIL FOR REFERENCE ONLY FOR BASIS OF DESIGN. REFER TO MANUFACTURER'S WIRING DIAGRAMS IF ALTERNATE MANUFACTURER IS USED.



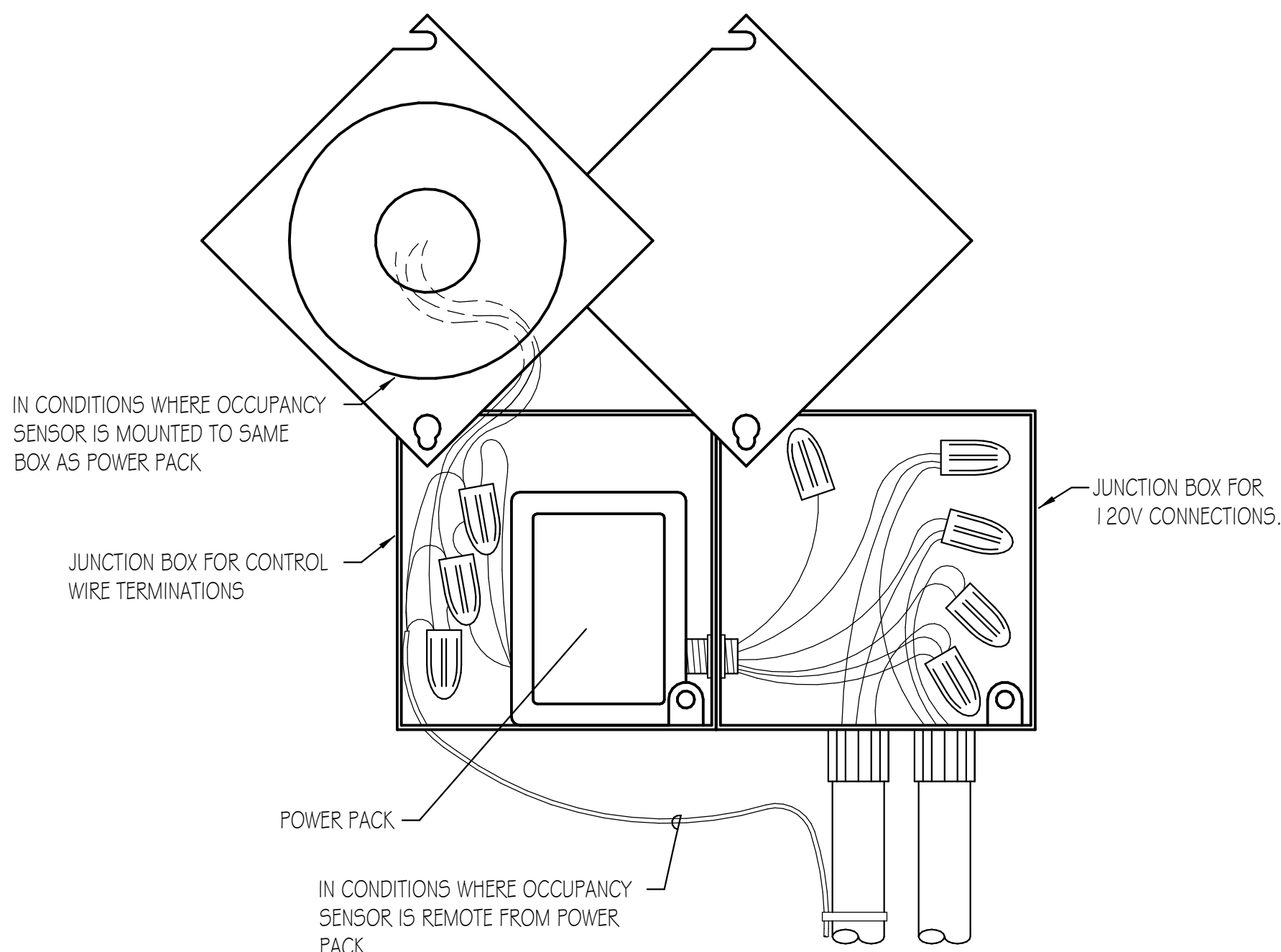
SECURITY CAMERA DETAIL

- NO SCALE
- NOTES:
- SUPPORT SURFACE MOUNT BOX TO A STRUCTURAL MEMBER.
 - COORDINATE FINAL OUTLET AND CAMERA LOCATION WITH OWNER'S REPRESENTATIVE.



WIRELESS ACCESS POINT DETAIL

- NO SCALE
- NOTES:
- SUPPORT SURFACE MOUNT BOX TO A STRUCTURAL MEMBER.
 - COORDINATE FINAL OUTLET AND ACCESS POINT LOCATION WITH OWNER'S REPRESENTATIVE.



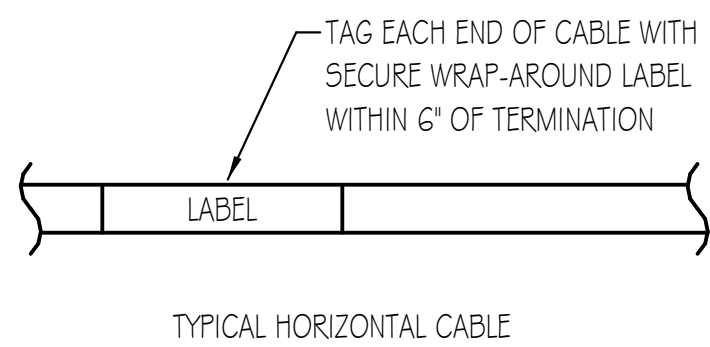
OCCUPANCY SENSOR POWER PACK DETAIL

NO SCALE

DROP LOCATION LABELLING LOGIC
(PATCH-ID)-(PORT #)

INDIVIDUAL PORT NUMBER ('01','02')

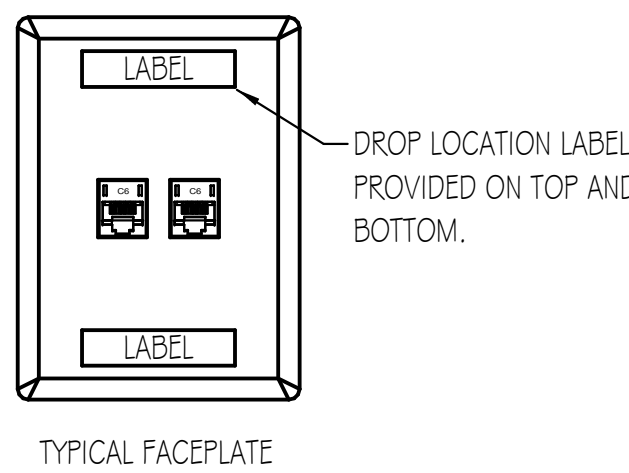
PATCH PANEL ('A','B','C')



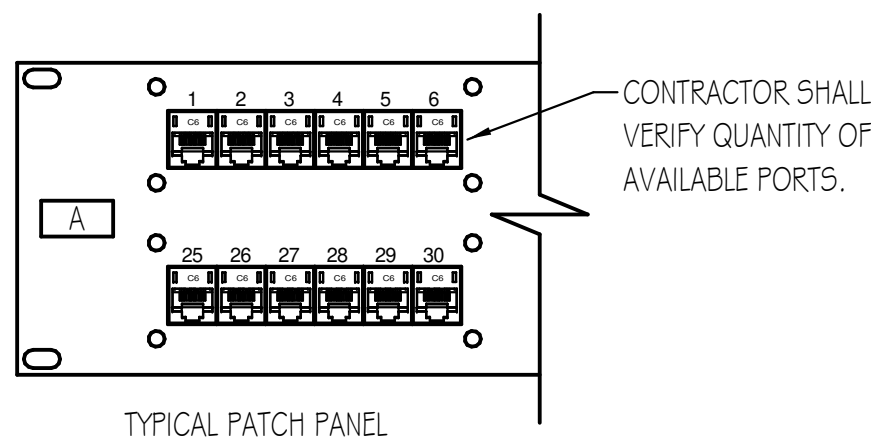
NOTE:
EACH HORIZONTAL CABLE TERMINATION SHALL HAVE DEDICATED IDENTIFICATION. ALL LABELING MUST BE DONE WITH MECHANICAL LABEL MAKER, UTILIZING SCHEME AND METHODS ILLUSTRATED ABOVE, NO HAND-LETTERING PERMISSIBLE. ALL LABELS TO FEATURE BLACK TEXT ON WHITE BACKGROUND.

DATA CABLE LABELING DETAIL

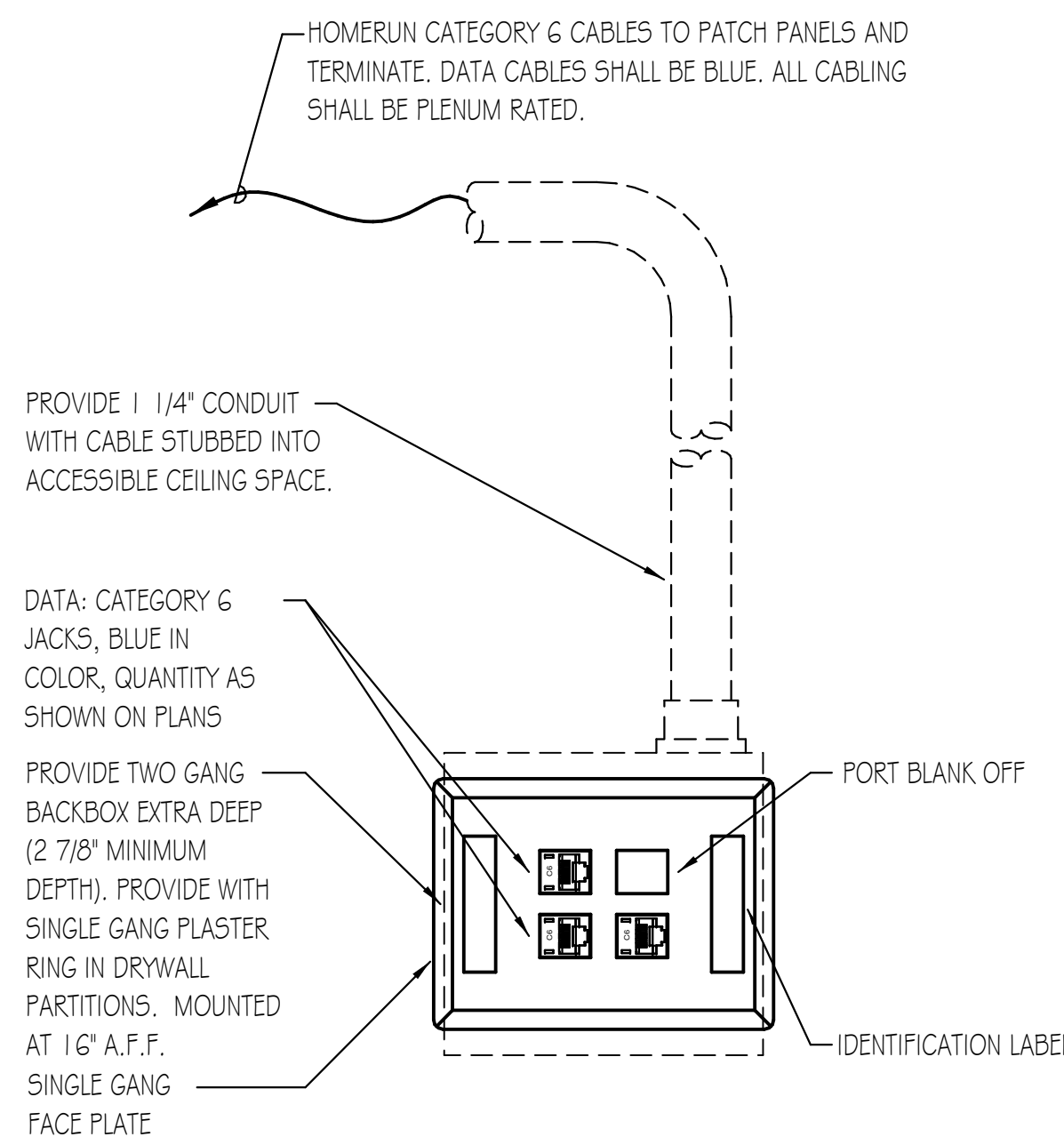
NO SCALE



TYPICAL FACEPLATE



TYPICAL PATCH PANEL



TYPICAL COMMUNICATION OUTLET DETAIL

- NO SCALE
- PLAN SYMBOL =
- NOTES:
- PROVIDE MACHINE MADE IDENTIFICATION LABELS FOR EACH LOW VOLTAGE OUTLET. VERIFY EXACT REQUIREMENTS WITH OWNER'S REPRESENTATIVE.
 - ALL CABLE SHALL BE A MINIMUM OF CATEGORY 6 UNLESS INDICATED OTHERWISE.
 - LABEL EACH DATA JACK WITH THE IDF CLOSET AND PATCH PORT NUMBER.
 - PROVIDE QUANTITY OF CABLES AND JACKS AS INDICATED ON PLANS.
 - CABLE JACKET AND JACK COLORS SHALL MATCH EXISTING BUILDING STANDARDS.

McHenry County College
2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER:

E6.10

7/24/2024 7:56:13 AM



ARCHITECT OF RECORD
DEMONICA KEMPER ARCHITECTS
125 N. HALSTED STREET, SUITE 301
CHICAGO, IL 60661
P: 312.496.0000

MEP-PP-T-ENGINEERS
2010 ENGINEERING GROUP, LLC
1216 TOWER ROAD
SCHAUMBURG, IL 60173
P: 847.882.201F : 847.882.2201

McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
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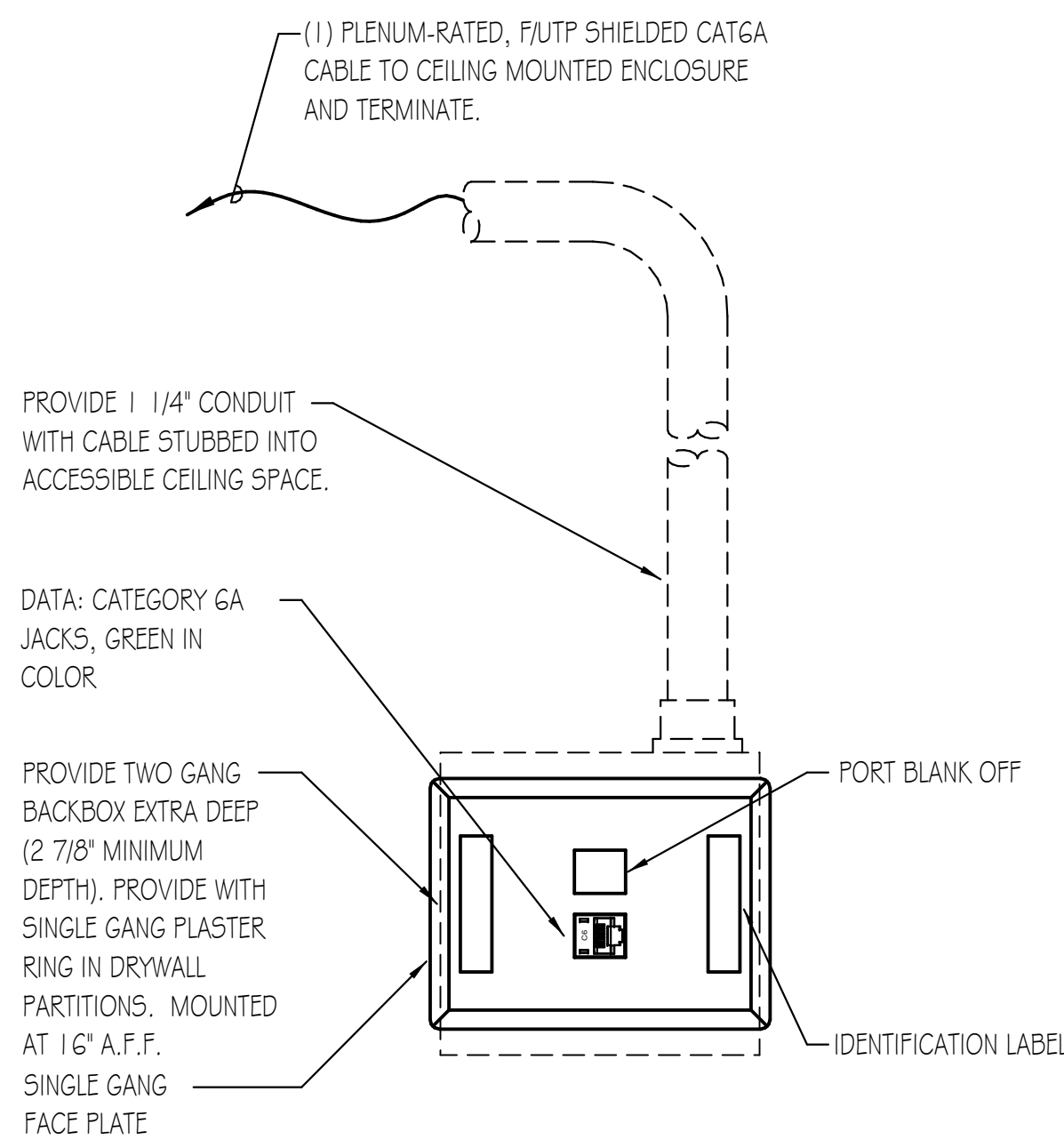
SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER:

E6.20

7/24/2024 7:56:14 AM

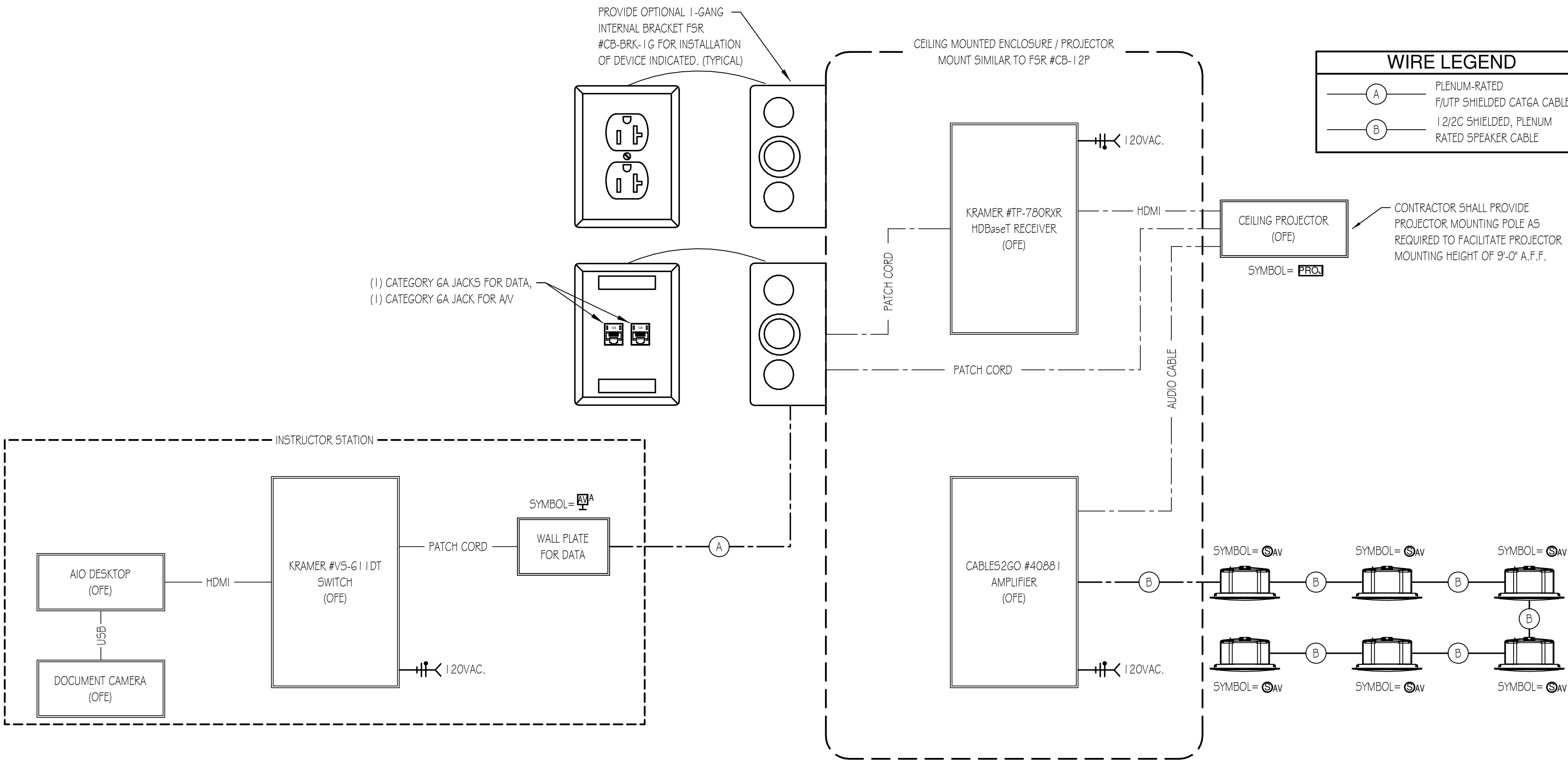
STANDARD CLASSROOM A/V EQUIPMENT				
ITEM	OWNER FURNISH, OWNER INSTALL	OWNER FURNISH, CONTRACTOR INSTALL	CONTRACTOR FURNISH, CONTRACTOR INSTALL	NOTES
DESKTOP AIO COMPUTER	X	-	-	-
DOCUMENT CAMERA	X	-	-	-
AV SWITCHER (KRAMER G11DT)	X	-	-	-
CEILING SPEAKERS	-	-	X	-
PROJECTOR (EPSON 530)	-	X	-	-
PROJECTOR SCREEN (DALITE MODEL B)	-	-	X	-
AV AMPLIFIER (CABLES2GO #40881)	X	-	-	-



A/V OUTLET DETAIL

NO SCALE

PLAN SYMBOL =



CLASSROOMS A/V SCHEMATIC DIAGRAM

NO SCALE

NOTES :

- ALL LOW VOLTAGE CABLES SHALL BE PLENUM-RATED.
- 'OFE' DENOTES OWNER FURNISHED EQUIPMENT.