

McHenry County College

2024 RENOVATIONS - BID PACKAGE 1

8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012

ISSUED FOR BID - NOT FOR CONSTRUCTION

7/24/2024

DKA PROJECT NO: 24-031
MCC BID NO: IFB#08202024



ARCHITECT:

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MEP-FP-T-ENGINEERS

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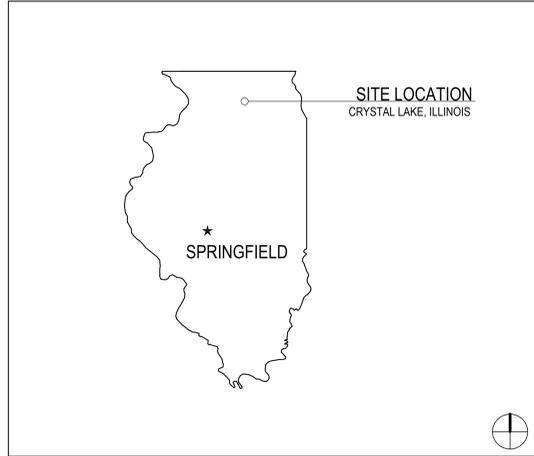
ARCHITECT OF RECORD
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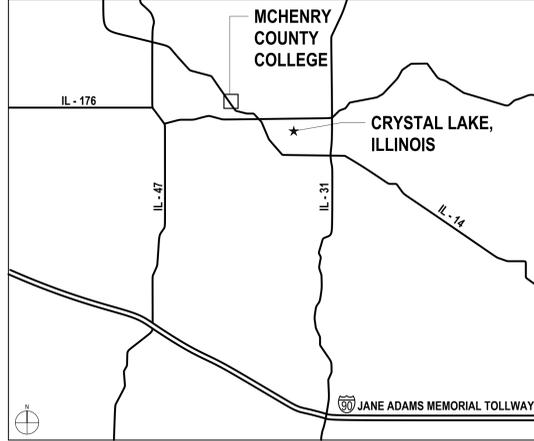
ABBREVIATIONS

AP ACCESS PANEL	HDW HARDWARE	TEL TELEPHONE
ACOUST ACUSTICAL	HDWD HARDWOOD	TV TELEVISION
ACT ACUSTICAL CEILING TILE	HDR HEADER	TRZ TERRAZZO
ADJ ADJACENT	HTG HEATING	TB TILE BASE
A.F.F. ABOVE FINISH FLOOR	HVAC HEATING, VENTILATING, AIR CONDITIONING	THK THICK
AGGR AGGREGATE	HT HEIGHT	T.O.C. TOP OF CURB
A/C AIR CONDITIONING	HC HOLLOW CORE	TOP TOP OF PAVEMENT
ALT ALTERNATE	HM HOLLOW METAL	TOW TOP OF WALL
ALUM ALUMINUM	HMF HOLLOW METAL FRAME	T&G TONGUE AND GROOVE
ANG ANGLE	HORZ HORIZONTAL	TYP TYPICAL
APPD APPROVED	HB HOSE BIB	UNF UNFINISHED
APPROX APPROXIMATE	HR HOUR	U.N.O. UNLESS NOTED OTHERWISE
ARCH ARCHITECTURAL OR ARCHITECT	INC INCLUDE	UR URINAL
AD AREA DRAIN	I.D. INSIDE DIAMETER	
ASB ASBESTOS	INSUL INSULATION	
ASPH ASPHALT	INTR INTERIOR	
AV AUDIO VISUAL	INV INVERT	
	JAN JANITOR	
	JT JOINT	
	KIT KITCHEN	WSCT WAINSCOT
	LAM LAMINATE	WC WATER CLOSET
	LAV LAVATORY	WLK WALK-OFF MAT
	LH LEFT HAND	WR WATER RESISTANT
	LGTH LENGTH	WT WALL TILE OR WEIGHT
	LT LIGHT	W WEST
	LWC LIGHT WEIGHT CONCRETE	W WIDE FLANGE "W16x21"
	LTL LINTEL	W WIDTH
	LN LINOLEUM	W/ WITH
	LL LIVE LOAD	W/O WITHOUT
		WD WOOD
		WDP WOOD PANEL
		X EXISTING
	MH MANHOLE	
	MFR MANUFACTURER	
	MAS MASONRY	
	MO MASONRY OPENING	
	MTL METAL	
	MAX MAXIMUM	
	MECH MECHANICAL	
	MTC MECHANICAL TRADES CONTRACTOR	
	MEMB MEMBRANE	
	MT MARBLE TILE	
	MIN MINIMUM	
	MISC MISCELLANEOUS	
	MTD MOUNDED	
	MTG MOUNTING	
	MUL MULLION	
	NOM NOMINAL	
	N NORTH	
	N.I.C. NOT IN CONTRACT	
	N.T.S. NOT TO SCALE	
	NO OR # NUMBER	
	OBS OBSCURE	
	OFF OFFICE	
	O.C. ON CENTER	
	OPNG OPENING	
	OPP OPPOSITE	
	OSB ORIENTED STRAND BOARD	
	O.D. OUTSIDE DIAMETER	
	OA OVERALL	
	OFD OVERFLOW DRAIN	
	PT PAINT	
	PTD PAINTED	
	PR PAIR	
	PNL PANEL	
	PBD PARTICLE BOARD	
	PTN PARTITION	
	PLAS PLASTIC	
	P-LAM PLASTIC LAMINATE	
	PL PLATE	
	PTC PLUMBING TRADES CONTRACTOR	
	PLYWD PLYWOOD	
	PSI POUNDS PER SQUARE INCH	
	PC PRECAST	
	PCC PRECAST CONCRETE	
	QT QUARRY TILE	
	R RADIUS	
	RWL RAIN WATER LEADER	
	RFRG REFRIGERATOR	
	RGTR REGISTER	
	REINF REINFORCED	
	RQD REQUIRED	
	RES RESILIENT	
	RA RETURN AIR	
	RAG RETURN AIR GRILLE	
	RH RIGHT HAND	
	ROW RIGHT OF WAY	
	R RISER	
	RD ROOF DRAIN	
	RM ROOM	
	R.O. ROUGH OPENING	
	RB RUBBER BASE	
	SECT SECTION	
	SK SINK	
	SCHED SCHEDULE	
	SHTG SHEATHING	
	SHT SHEET	
	SV SHEET VINYL	
	SHWR SHOWER	
	SIM SIMILAR	
	SC SEALED CONCRETE	
	SPM SINGLE PLY MEMBRANE	
	S SOUTH	
	SFRM SPRAY APPLIED FIRE RESISTIVE MATERIAL	
	SPEC SPECIFICATION	
	SQ SQUARE	
	S.S. STAINLESS STEEL	
	STD STANDARD	
	STA STATION	
	STL STEEL	
	STOR STORAGE	
	STRUCT STRUCTURE OR STRUCTURAL	
	SUSP SUSPENDED	
	SAT SUSPENDED ACOUSTICAL TILE	
	SYM SYMMETRICAL	
GA GAUGE		
GALV GALVANIZED		
GEN GENERAL		
GC GENERAL CONTRACTOR		
GTC GENERAL TRADES CONTRACTOR		
GL GLASS OR GLAZING		
GD GRADE		
GND GROUND		
GYP BD GYPSUM BOARD		

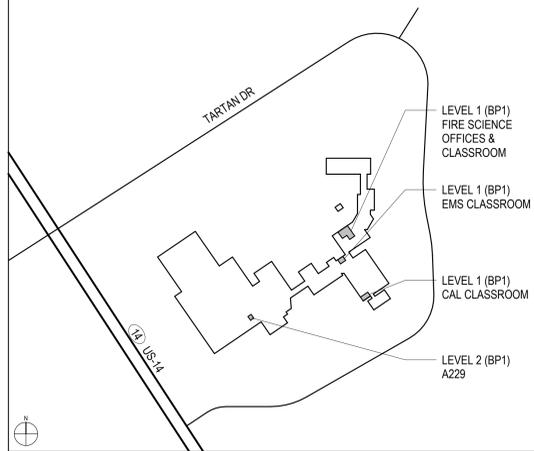
STATE LOCATION MAP



AREA MAP



CAMPUS MAP



SHEET INDEX

GENERAL G1.01	SHEET INDEX, ABBREVIATIONS, SYMBOLS & NOTES	MECHANICAL ME1.00 HV01.10 HV1.10 HV1.11 HV2.00	MEP NOTES AND DETAILS DEMOLITION PLANS - BP1 FLOOR PLANS - BP1 FLOOR PLANS - BP1 HVAC DETAILS, NOTES, SYMBOLS AND ABBREVIATIONS
ARCHITECTURAL AD1.10 AD1.11 AD2.10 AD3.10 A1.10 A1.11 A2.10 A2.11 A7.01 A10.00 A11.10 A11.11 A12.10 A12.11	DEMOLITION PLANS - BP1 DEMOLITION PLANS - BP1 DEMOLITION RCP - BP1 OVERALL PLANS - BP1 FLOOR PLANS - BP1 FLOOR PLANS - BP1 REFLECTED CEILING PLANS - BP1 REFLECTED CEILING PLANS - BP1 INTERIOR ELEVATIONS & DETAILS - BP1 DOOR SCHEDULE AND WALL TYPES - BP1 FINISH PLANS - BP1 FINISH PLANS - BP1 FURNITURE PLANS - BP1 FURNITURE PLANS - BP1	FIRE PROTECTION FP1.10 FP2.10	FIRST AND SECOND FLOOR FIRE PROTECTION PLAN FIRE PROTECTION GENERAL NOTES
		ELECTRICAL E01.11 E01.10 E01.11 E1.10 E1.11 E2.10 E2.11 E5.00 E5.10 E6.00 E6.10 E6.20	ELECTRICAL OVERALL PLANS - BP1 ELECTRICAL DEMOLITION PLANS - BP1 ELECTRICAL DEMOLITION PLANS - BP1 ELECTRICAL PLANS - BP1 ELECTRICAL PLANS - BP1 LIGHTING PLANS - BP1 LIGHTING PLANS - BP1 ELECTRICAL SYMBOL LIST AND ABBREVIATIONS ELECTRICAL NOTES ELECTRICAL DETAILS ELECTRICAL DETAILS

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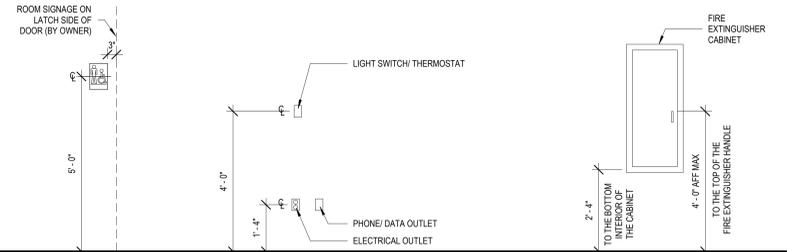
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SHEET INDEX, ABBREVIATIONS, SYMBOLS & NOTES

SHEET NUMBER:
G1.01



NOTE: IN THE EVENT OF A CONFLICT BETWEEN DIMENSIONS SHOWN ON THIS DRAWING AND ANY OTHER ARCHITECTURAL, ELECTRICAL, OR MECHANICAL SHEETS OR SPECIFICATIONS, NOTIFY ARCHITECT OF DISCREPANCY.



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DEMOLITION PLANS - BP1

SHEET NUMBER:

AD1.10

7/24/2024 2:17:24 PM

DEMO SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- HATCH INDICATES AREA NOT IN SCOPE
- GYPSUM BOARD OR PLASTER PARTITION TO BE REMOVED
- CMU PARTITION TO BE REMOVED
- FRAME AND DOOR TO BE REMOVED, SALVAGE HARDWARE TO OWNER
- SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED
- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
- GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
- GYPSUM BOARD OR PLASTER CEILING TO REMAIN
- RECESSED 2x4 LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x2 LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x4 LAY-IN LIGHT FIXTURE TO REMAIN
- RECESSED 2x2 LAY-IN LIGHT FIXTURE TO REMAIN
- LINEAR LIGHT FIXTURE TO BE REMOVED
- REMOVE CEILING MOUNTED PROJECTOR - SALVAGE TO OWNER
- RETURN AIR GRILLE TO BE REMOVED
- SUPPLY AIR GRILLE TO BE REMOVED
- RETURN AIR GRILLE TO REMAIN
- SUPPLY AIR GRILLE TO REMAIN

DEMO GENERAL NOTES:

- PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
- REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MOODS WITH THE ORIGINAL SYSTEM.
- WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
- CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCUMBER THE USE OF EXISTING ADJACENT SPACES.
- EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
- REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
- REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
- REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
- NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
- ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
- REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES.
- PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXISTING ELECTRICAL DEVICES - REFER TO ELECTRICAL DRAWINGS.

DEMO REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
- F3. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR AREA FOR NEW FLOOR FINISH.
- F3A. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES TO EXTENTS.
- F3B. EXISTING FLOOR FINISH TO REMAIN.
- F4. NOT USED.
- F5. EXISTING FLOOR BOXES TO REMAIN - PREP COVER AS REQUIRED FOR NEW FINISH INSERT.

WALL DEMOLITION KEYED NOTES

- W1. REMOVE EXISTING CMU WALL TO EXTENTS INDICATED. BRACE EXISTING CMU AS REQUIRED FOR TIE-IN TO NEW WORK. PATCH AND PREP ADJACENT CMU WALLS AS REQUIRED FOR NEW WORK.
- W2. REMOVE GYP / MITL STUD PARTITION TO EXTENTS INDICATED. RELOCATE ANY PIPING OR WIRING FEEDING ANY EXISTING TO REMAIN DEVICES OR FIXTURES. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
- W3. REMOVE HOLLOW METAL WINDOW SYSTEM AND ASSOCIATED GLAZING AND THE GYP SUPPORT WALL BELOW COMPLETE. PREP REMAINING WALL HEADER / JAMBS FOR NEW WORK.
- W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
- W5. REMOVE EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING COMPLETE. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- W6. EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- W7. EXISTING FIRE EXTINGUISHER BE REMOVED AND TURNED OVER TO OWNER.
- W8. REMOVE WALL MOUNTED WIREMOLD / CONDUIT COMPLETE, INCLUDING ALL ASSOCIATED WIRING AND ACCESSORIES. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK.
- W9. REMOVE ELECTRICAL / TECHNOLOGY DEVICES AND ALL ASSOCIATED MONITOR MOUNTS AND ACCESSORIES COMPLETE. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK. REFER TO ELECTRICAL AND TECHNOLOGY DRAWINGS.

CEILING DEMOLITION KEYED NOTES

- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
- C1B. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN.
- C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
- C3. REMOVE EXISTING SUPPLY DIFFUSERS AND RETURN AIR GRILLES AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO MECH).
- C4. REMOVE EXISTING CEILING MOUNTED TRACK, SUPPORT, GRID SYSTEM AND ALL ASSOCIATED EQUIPMENT, LIGHTING, CONDUIT, WIRING, ETC COMPLETE.
- C5. REMOVE EXISTING SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLE.
- C6. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
- C7. EXISTING RADIANIT HEATING TILE SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- C8. REMOVE SPEAKER AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO ELEC.).
- C9. REMOVE MULTI-MONITOR SUSPENSION SYSTEM COMPLETE, INCLUDING ALL ASSOCIATED SUPPORTS, WIRING, AND STRUCTURE ABOVE CEILING.

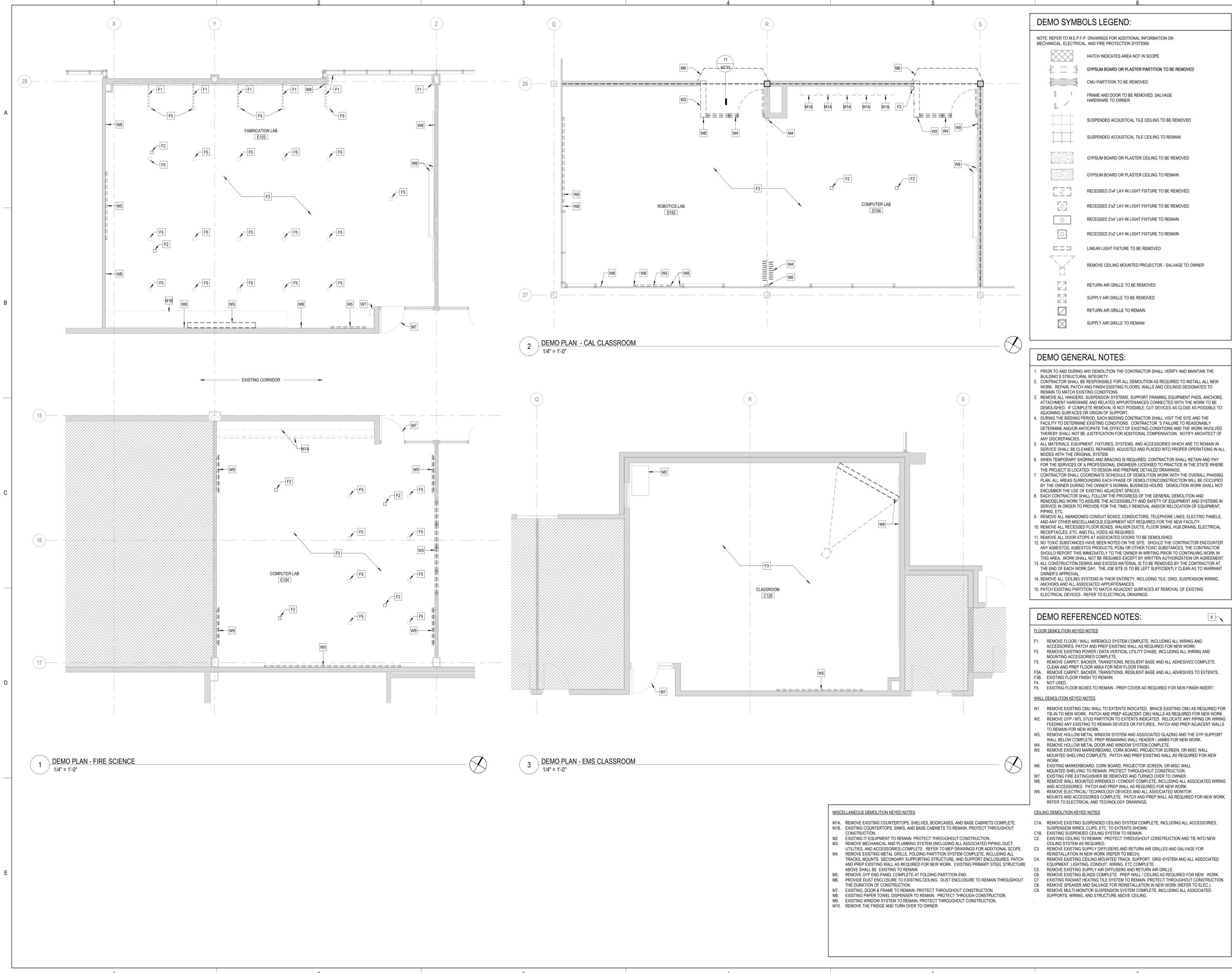
MISCELLANEOUS DEMOLITION KEYED NOTES

- M1A. REMOVE EXISTING COUNTERTOPS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
- M1B. EXISTING COUNTERTOPS, SINKS, AND BASE CABINETS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M2. EXISTING IT EQUIPMENT TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M3. REMOVE MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
- M4. REMOVE EXISTING METAL GRILLE, FOLDING PARTITION SYSTEM COMPLETE, INCLUDING ALL TRACKS, MOUNTS, SECONDARY SUPPORTING STRUCTURE, AND SUPPORT ENCLOSURES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK. EXISTING PRIMARY STEEL STRUCTURE ABOVE SHALL BE EXISTING TO REMAIN.
- M5. REMOVE GYP END PANEL COMPLETE AT FOLDING PARTITION END.
- M6. PROVIDE DUST ENCLOSURE TO EXISTING CEILING. DUST ENCLOSURE TO REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION.
- M7. EXISTING DOOR & FRAME TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M8. EXISTING PAPER TOWEL DISPENSER TO REMAIN. PROTECT THROUGH CONSTRUCTION.
- M9. EXISTING WINDOW SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M10. REMOVE THE FRIDGE AND TURN OVER TO OWNER.

2 DEMO PLAN - CAL CLASSROOM
 1/4" = 1'-0"

3 DEMO PLAN - EMS CLASSROOM
 1/4" = 1'-0"

1 DEMO PLAN - FIRE SCIENCE
 1/4" = 1'-0"





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DEMO REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
- F3. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR AREA FOR NEW FLOOR FINISH.
- F3A. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES TO EXTENTS.
- F3B. EXISTING FLOOR FINISH TO REMAIN.
- F4. NOT USED.
- F5. EXISTING FLOOR BOXES TO REMAIN - PREP COVER AS REQUIRED FOR NEW FINISH INSERT.

WALL DEMOLITION KEYED NOTES

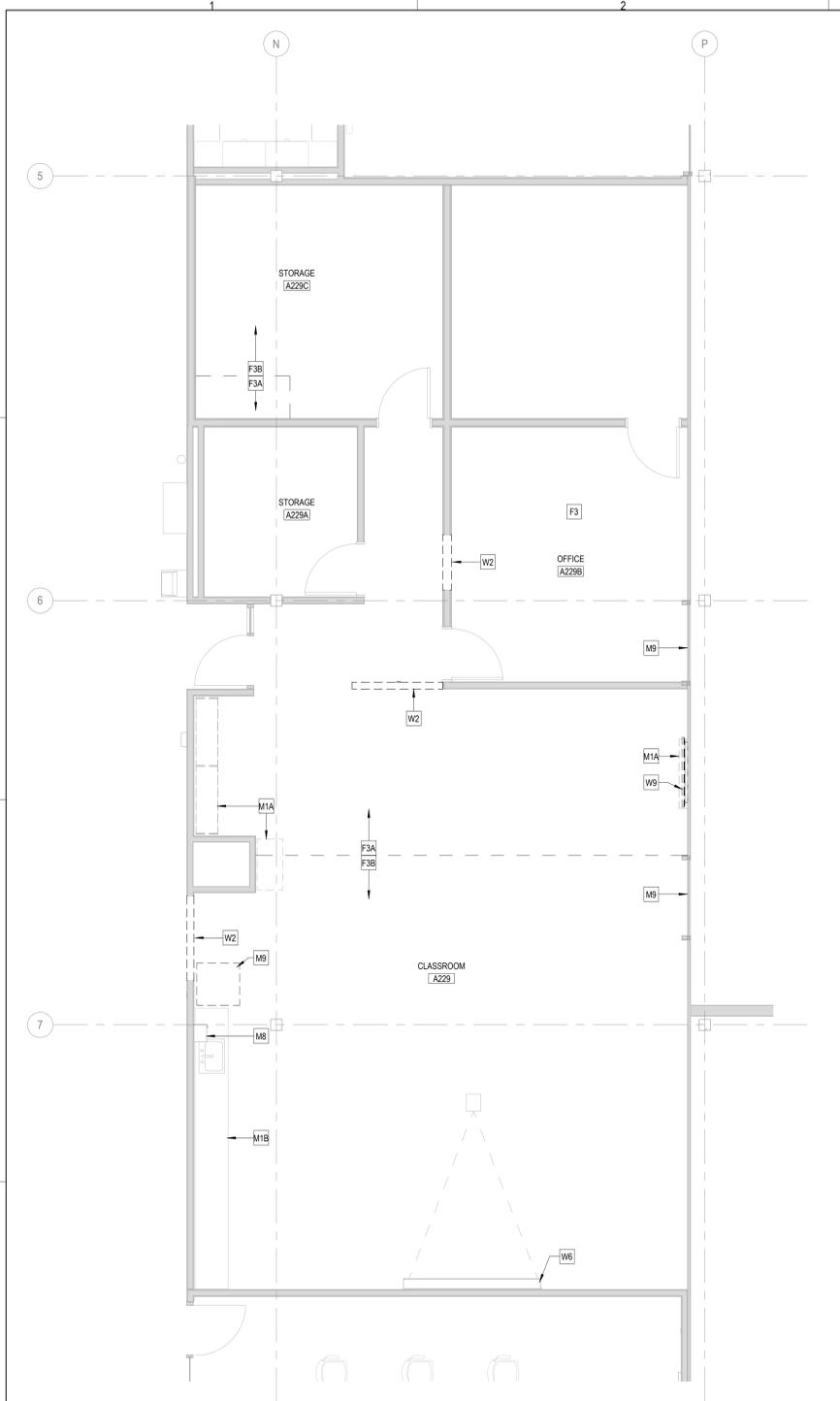
- W1. REMOVE EXISTING CMU WALL TO EXTENTS INDICATED. BRACE EXISTING CMU AS REQUIRED FOR TIE-IN TO NEW WORK. PATCH AND PREP ADJACENT CMU WALLS AS REQUIRED FOR NEW WORK.
- W2. REMOVE GYP / MTL STUD PARTITION TO EXTENTS INDICATED. RELOCATE ANY PIPING OR WIRING FEEDING ANY EXISTING TO REMAIN DEVICES OR FIXTURES. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
- W3. REMOVE HOLLOW METAL WINDOW SYSTEM AND ASSOCIATED GLAZING AND THE GYP SUPPORT WALL BELOW COMPLETE. PREP REMAINING WALL HEADER / JAMBS FOR NEW WORK.
- W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
- W5. REMOVE EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING COMPLETE. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- W6. EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- W7. EXISTING FIRE EXTINGUISHER BE REMOVED AND TURNED OVER TO OWNER.
- W8. REMOVE WALL MOUNTED WIREMOLD / CONDUIT COMPLETE, INCLUDING ALL ASSOCIATED WIRING AND ACCESSORIES. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK.
- W9. REMOVE ELECTRICAL / TECHNOLOGY DEVICES AND ALL ASSOCIATED MONITOR MOUNTS AND ACCESSORIES COMPLETE. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK. REFER TO ELECTRICAL AND TECHNOLOGY DRAWINGS.

CEILING DEMOLITION KEYED NOTES

- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
- C1B. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN.
- C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
- C3. REMOVE EXISTING SUPPLY DIFFUSERS AND RETURN AIR GRILLES AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO MECH).
- C4. REMOVE EXISTING CEILING MOUNTED TRACK, SUPPORT, GRID SYSTEM AND ALL ASSOCIATED EQUIPMENT, LIGHTING, CONDUIT, WIRING, ETC COMPLETE.
- C5. REMOVE EXISTING SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLE.
- C6. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
- C7. EXISTING RADIANIT HEATING TILE SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- C8. REMOVE SPEAKER AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO ELEC.).
- C9. REMOVE MULTI-MONITOR SUSPENSION SYSTEM COMPLETE, INCLUDING ALL ASSOCIATED SUPPORTS, WIRING, AND STRUCTURE ABOVE CEILING.

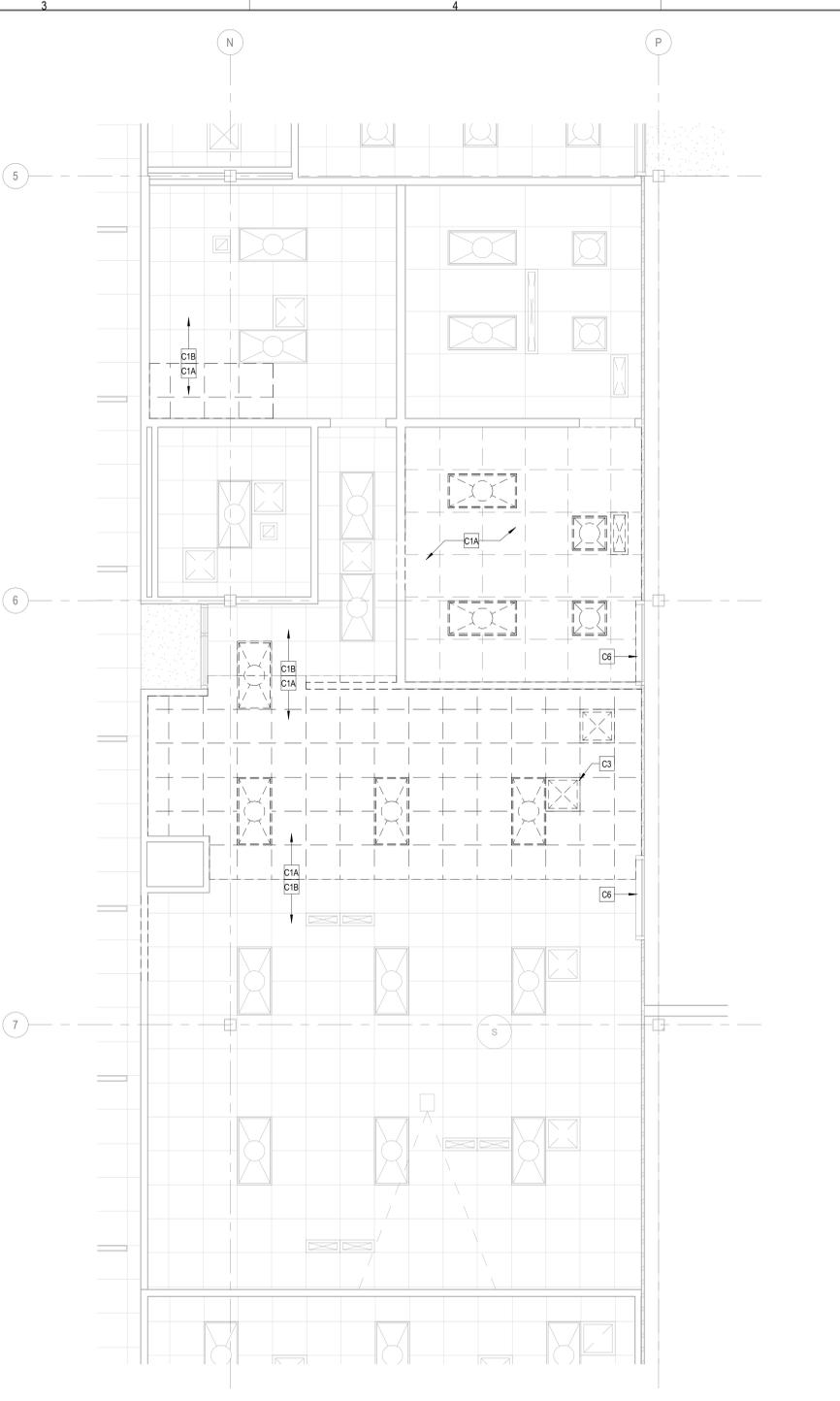
MISCELLANEOUS DEMOLITION KEYED NOTES

- M1A. REMOVE EXISTING COUNTERTOPS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
- M1B. EXISTING COUNTERTOPS, SINKS, AND BASE CABINETS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M2. EXISTING IT EQUIPMENT TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M3. REMOVE MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
- M4. REMOVE EXISTING METAL GRILLE, FOLDING PARTITION SYSTEM COMPLETE, INCLUDING ALL TRACKS, MOUNTS, SECONDARY SUPPORTING STRUCTURE, AND SUPPORT ENCLOSURES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK. EXISTING PRIMARY STEEL STRUCTURE ABOVE SHALL BE EXISTING TO REMAIN.
- M5. REMOVE GYP END PANEL COMPLETE AT FOLDING PARTITION END.
- M6. PROVIDE DUST ENCLOSURE TO EXISTING CEILING. DUST ENCLOSURE TO REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION.
- M7. EXISTING DOOR & FRAME TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M8. EXISTING PAPER TOWEL DISPENSER TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M9. EXISTING WINDOW SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M10. REMOVE THE FRIDGE AND TURN OVER TO OWNER.



1 DEMO PLAN - A229
 1/4" = 1'-0"

2 DEMO RCP - A229
 1/4" = 1'-0"



KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
DEMOLITION RCP - BP1

SHEET NUMBER:
AD2.10

DEMO SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- HATCH INDICATES AREA NOT IN SCOPE
- GYPSUM BOARD OR PLASTER PARTITION TO BE REMOVED
- CMU PARTITION TO BE REMOVED
- FRAME AND DOOR TO BE REMOVED, SALVAGE HARDWARE TO OWNER
- SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED
- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
- GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
- GYPSUM BOARD OR PLASTER CEILING TO REMAIN
- RECESSED 2x4' LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x2' LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2x4' LAY-IN LIGHT FIXTURE TO REMAIN
- RECESSED 2x2' LAY-IN LIGHT FIXTURE TO REMAIN
- LINEAR LIGHT FIXTURE TO BE REMOVED
- REMOVE CEILING MOUNTED PROJECTOR - SALVAGE TO OWNER
- RETURN AIR GRILLE TO BE REMOVED
- SUPPLY AIR GRILLE TO BE REMOVED
- RETURN AIR GRILLE TO REMAIN
- SUPPLY AIR GRILLE TO REMAIN

DEMO GENERAL NOTES:

1. PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
3. REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
4. DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
6. WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
7. CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCUMBER THE USE OF EXISTING ADJACENT SPACES.
8. EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
9. REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
10. REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
11. REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
12. NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
13. ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
14. REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES.
15. PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXISTING ELECTRICAL DEVICES - REFER TO ELECTRICAL DRAWINGS.

DEMO REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

- F1. REMOVE FLOOR / WALL WIREMOLD SYSTEM COMPLETE, INCLUDING ALL WIRING AND ACCESSORIES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK.
- F2. REMOVE EXISTING POWER / DATA VERTICAL UTILITY CHASE, INCLUDING ALL WIRING AND MOUNTING ACCESSORIES COMPLETE.
- F3. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES COMPLETE. CLEAN AND PREP FLOOR AREA FOR NEW FLOOR FINISH.
- F3A. REMOVE CARPET, BACKER, TRANSITIONS, RESILIENT BASE AND ALL ADHESIVES TO EXTENTS.
- F3B. EXISTING FLOOR FINISH TO REMAIN.
- F4. NOT USED.
- F5. EXISTING FLOOR BOXES TO REMAIN - PREP COVER AS REQUIRED FOR NEW FINISH INSERT.

WALL DEMOLITION KEYED NOTES

- W1. REMOVE EXISTING CMU WALL TO EXTENTS INDICATED. BRACE EXISTING CMU AS REQUIRED FOR TIE-IN TO NEW WORK. PATCH AND PREP ADJACENT CMU WALLS AS REQUIRED FOR NEW WORK.
- W2. REMOVE GYP / MTL STUD PARTITION TO EXTENTS INDICATED. RELOCATE ANY PIPING OR WIRING FEEDING ANY EXISTING TO REMAIN DEVICES OR FIXTURES. PATCH AND PREP ADJACENT WALLS TO REMAIN FOR NEW WORK.
- W3. REMOVE HOLLOW METAL WINDOW SYSTEM AND ASSOCIATED GLAZING AND THE GYP SUPPORT WALL BELOW COMPLETE. PREP REMAINING WALL HEADER / JAMBS FOR NEW WORK.
- W4. REMOVE HOLLOW METAL DOOR AND WINDOW SYSTEM COMPLETE.
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- W6. EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- W7. EXISTING FIRE EXTINGUISHER BE REMOVED AND TURNED OVER TO OWNER.
- W8. REMOVE WALL MOUNTED WIREMOLD / CONDUIT COMPLETE, INCLUDING ALL ASSOCIATED WIRING AND ACCESSORIES. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK.
- W9. REMOVE ELECTRICAL / TECHNOLOGY DEVICES AND ALL ASSOCIATED MONITOR MOUNTS AND ACCESSORIES COMPLETE. PATCH AND PREP WALL AS REQUIRED FOR NEW WORK. REFER TO ELECTRICAL AND TECHNOLOGY DRAWINGS.

CEILING DEMOLITION KEYED NOTES

- C1A. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETE, INCLUDING ALL ACCESSORIES, SUSPENSION WIRES, CLIPS, ETC. TO EXTENTS SHOWN.
- C1B. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN.
- C2. EXISTING CEILING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION AND TIE INTO NEW CEILING SYSTEM AS REQUIRED.
- C3. REMOVE EXISTING SUPPLY DIFFUSERS AND RETURN AIR GRILLES AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO MECH).
- C4. REMOVE EXISTING CEILING MOUNTED TRACK, SUPPORT, GRID SYSTEM AND ALL ASSOCIATED EQUIPMENT, LIGHTING, CONDUIT, WIRING, ETC COMPLETE.
- C5. REMOVE EXISTING SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLE.
- C6. REMOVE EXISTING BLINDS COMPLETE. PREP WALL / CEILING AS REQUIRED FOR NEW WORK.
- C7. EXISTING RADIANT HEATING TILE SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- C8. REMOVE SPEAKER AND SALVAGE FOR REINSTALLATION IN NEW WORK (REFER TO ELEC).
- C9. REMOVE MULTI-MONITOR SUSPENSION SYSTEM COMPLETE, INCLUDING ALL ASSOCIATED SUPPORTS, WIRING, AND STRUCTURE ABOVE CEILING.

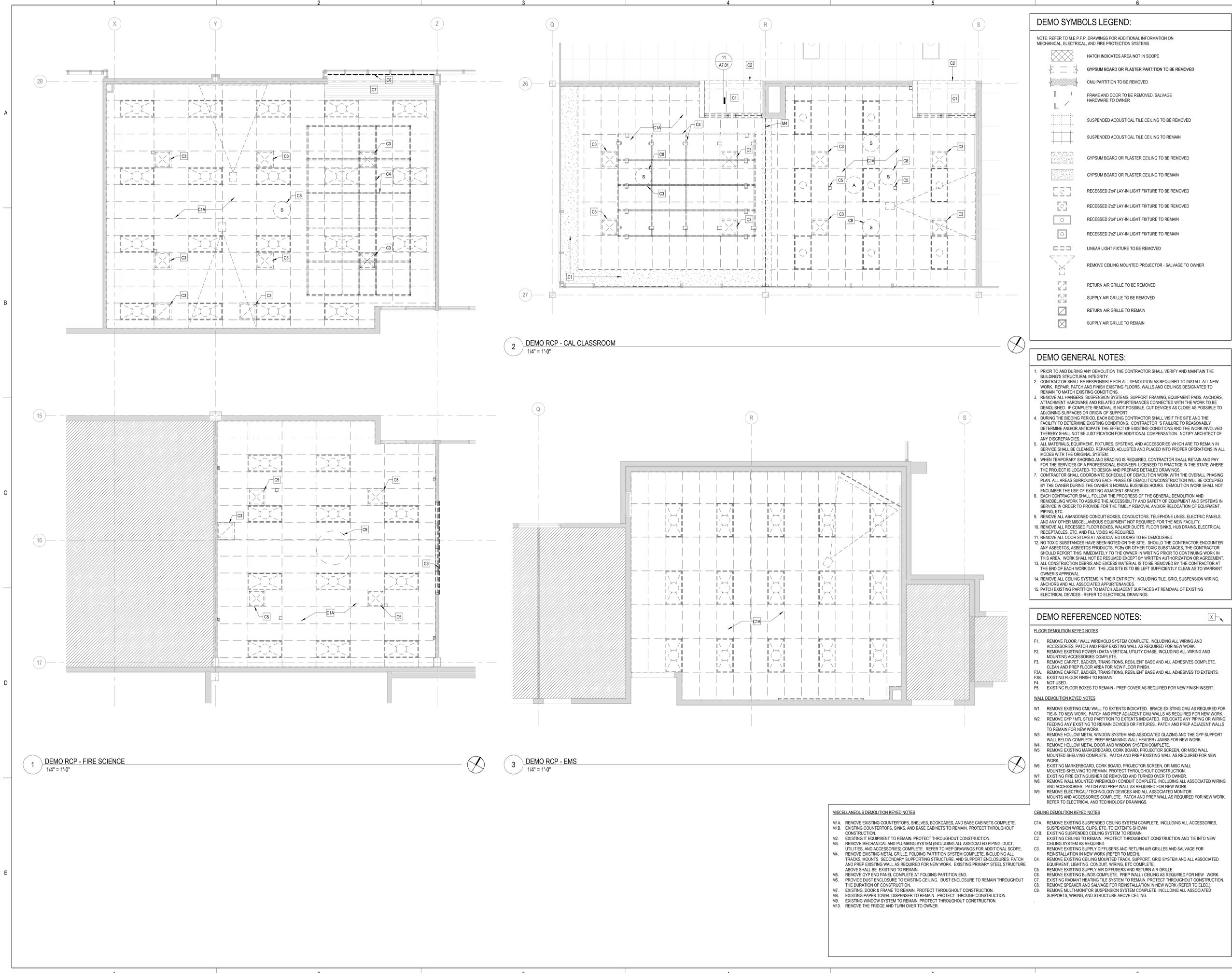
MISCELLANEOUS DEMOLITION KEYED NOTES

- M1A. REMOVE EXISTING COUNTERTOPS, SHELVES, BOOKCASES, AND BASE CABINETS COMPLETE.
- M1B. EXISTING COUNTERTOPS, SINKS, AND BASE CABINETS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M2. EXISTING IT EQUIPMENT TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M3. REMOVE MECHANICAL AND PLUMBING SYSTEM (INCLUDING ALL ASSOCIATED PIPING, DUCT, UTILITIES, AND ACCESSORIES) COMPLETE. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE.
- M4. REMOVE EXISTING METAL GRILLE, FOLDING PARTITION SYSTEM COMPLETE, INCLUDING ALL TRACKS, MOUNTS, SECONDARY SUPPORTING STRUCTURE, AND SUPPORT ENCLOSURES. PATCH AND PREP EXISTING WALL AS REQUIRED FOR NEW WORK. EXISTING PRIMARY STEEL STRUCTURE ABOVE SHALL BE EXISTING TO REMAIN.
- M5. REMOVE GYP END PANEL COMPLETE AT FOLDING PARTITION END.
- M6. PROVIDE DUST ENCLOSURE TO EXISTING CEILING. DUST ENCLOSURE TO REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION.
- M7. EXISTING DOOR & FRAME TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M8. EXISTING PAPER TOWEL DISPENSER TO REMAIN. PROTECT THROUGH CONSTRUCTION.
- M9. EXISTING WINDOW SYSTEM TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- M10. REMOVE THE FRIDGE AND TURN OVER TO OWNER.

2 DEMO RCP - CAL CLASSROOM
 1/4" = 1'-0"

3 DEMO RCP - EMS
 1/4" = 1'-0"

1 DEMO RCP - FIRE SCIENCE
 1/4" = 1'-0"





ARCHITECT OF RECORD
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**McHenry County College
 2024 RENOVATIONS - BID PACKAGE 1**

8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

KEY PLAN:

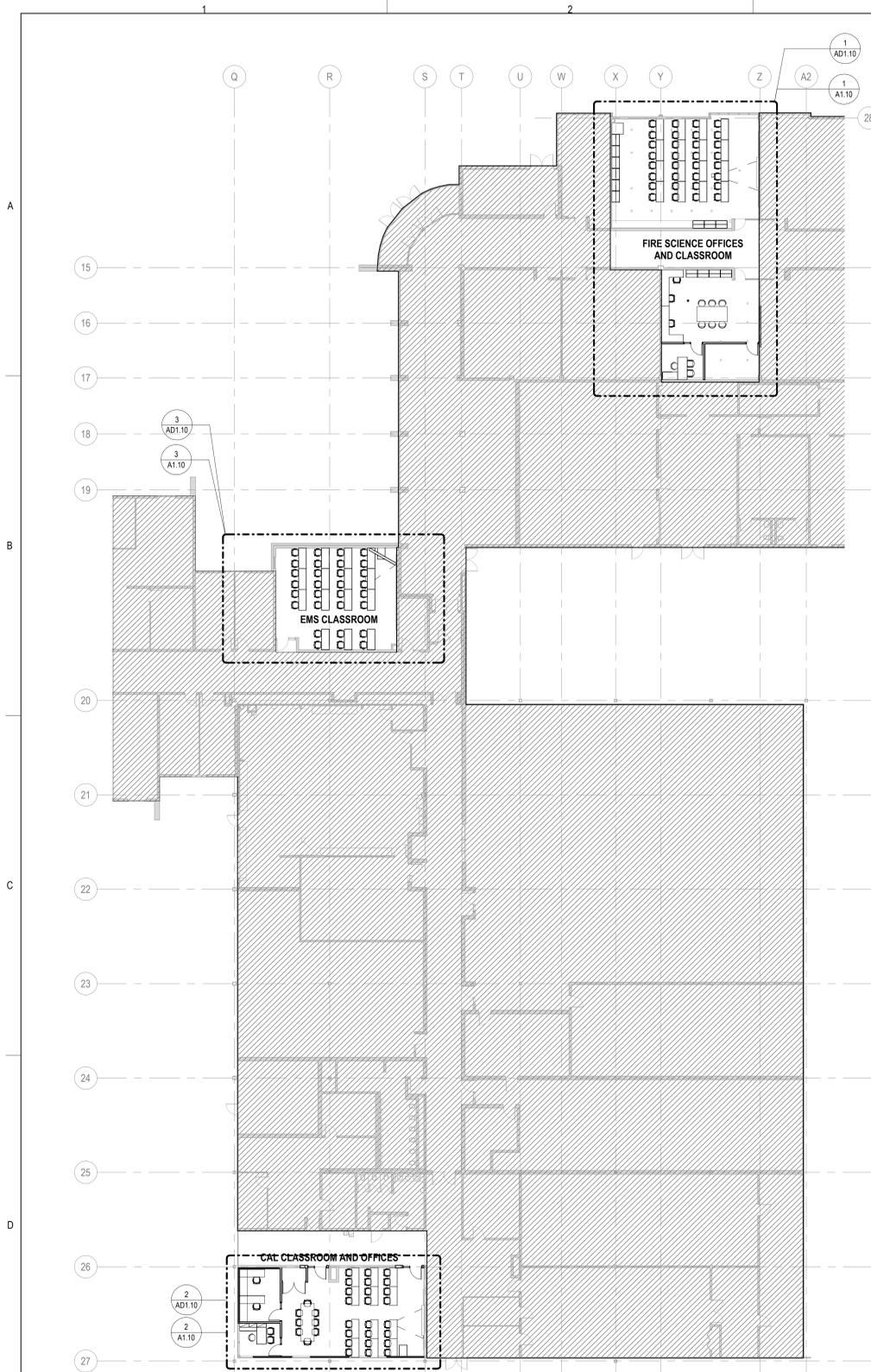
SHEET STATUS: 7/24/2024
**ISSUED FOR BID - NOT
 FOR CONSTRUCTION**

NO.	DESCRIPTION:	DATE:

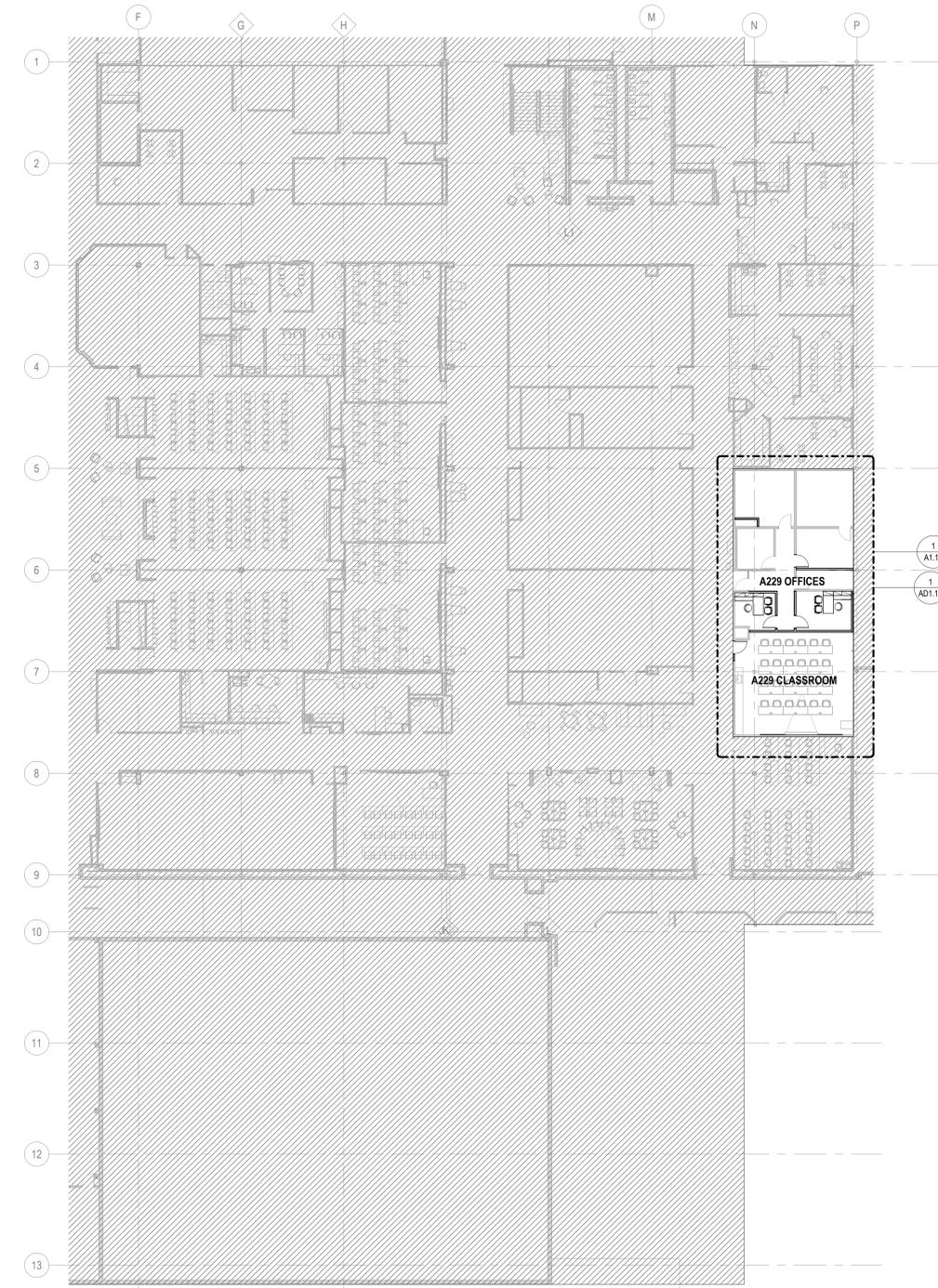
SHEET TITLE:
**OVERALL PLANS -
 BP1**

SHEET NUMBER:

A0.10



1 LEVEL 1 - OVERALL PLAN - BP1
 1/16" = 1'-0"
 TRUE NORTH



2 LEVEL 2 - OVERALL PLAN - BP1
 1/16" = 1'-0"
 TRUE NORTH



ARCHITECT OF RECORD
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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
 8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
FLOOR PLANS - BP1

SHEET NUMBER:

A1.10

7/24/2024 2:16:41 PM

FLOOR PLAN & SECTION SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

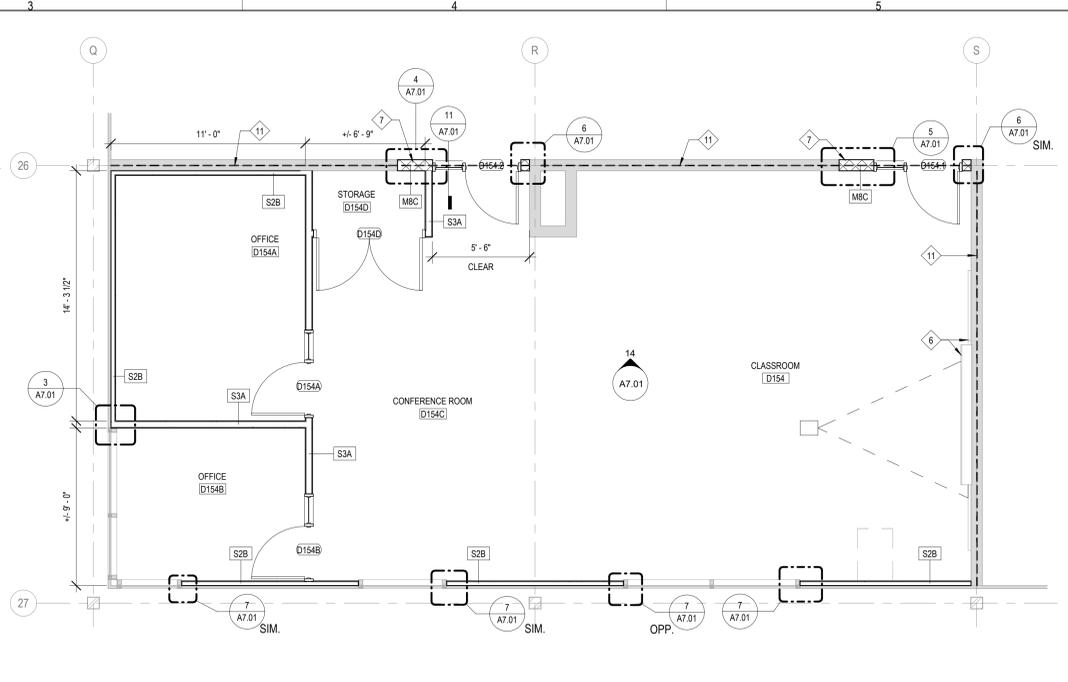
- GREYTOPE LINES DEPICT EXISTING CONSTRUCTION
- EXISTING DOOR
- NEW WALL CONSTRUCTION
- NEW DOOR
- ROOM NAME
- ROOM TAG
- DOOR / FRAME TAG
- WINDOW TAG
- PARTITION TYPE
- PARTITION MODIFIERS - REFER TO A10.01
- PLAN AND SECTION DETAIL CALLOUT
- SECTION CALLOUT
- ELEVATION CALLOUT
- DATUM ELEVATION
- DATUM TAG
- NEW WORK REFERENCED NOTES
- FLOOR DRAIN - REFER TO PLUMBING
- SURFACE-MOUNTED EXTINGUISHER CABINET
- SEMI-RECESSED EXTINGUISHER CABINET
- RECESSED EXTINGUISHER CABINET
- LENGTH SPECIFIED MARKERBOARD

FLOOR PLAN GENERAL NOTES:

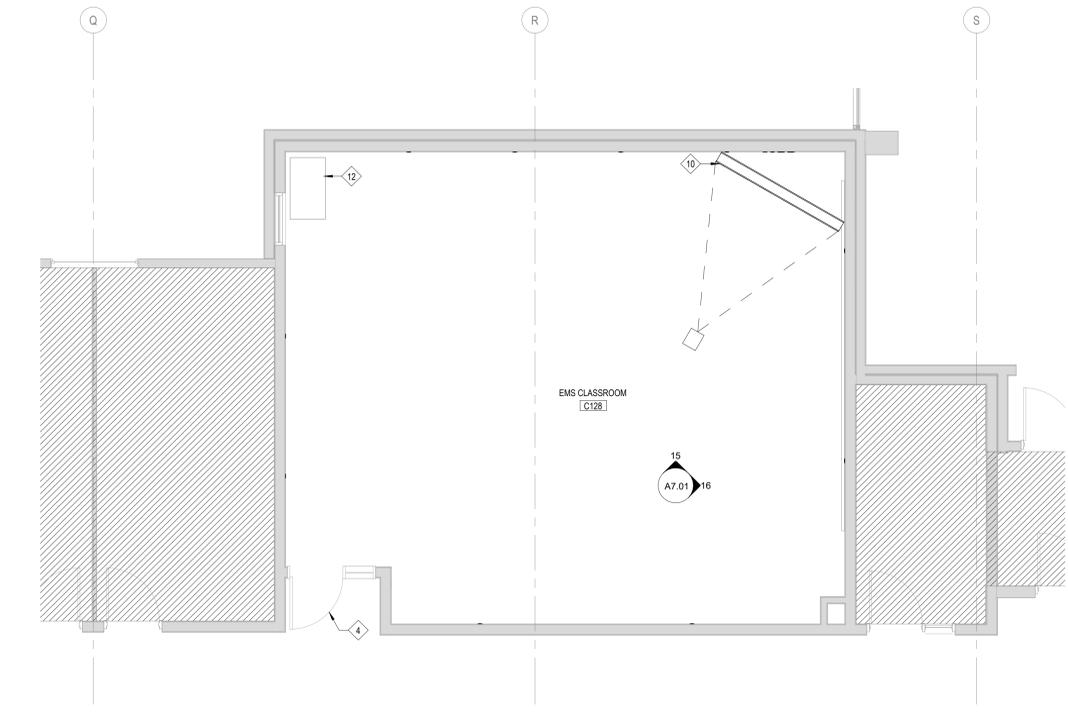
- ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO FIRST FLOOR FINISH ELEVATION OF 0'-0".
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO WORK COMMENCING.
- NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING CONDITIONS AND IN-FIELD DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- PROVIDE ACCESS PANELS AT LOCATIONS INDICATED AND AS REQUIRED FOR ACCESS TO EQUIPMENT AND DEVICES INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING AND ELECTRICAL WORK. PAINT ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING FINISH.

FLOOR PLAN REFERENCED NOTES:

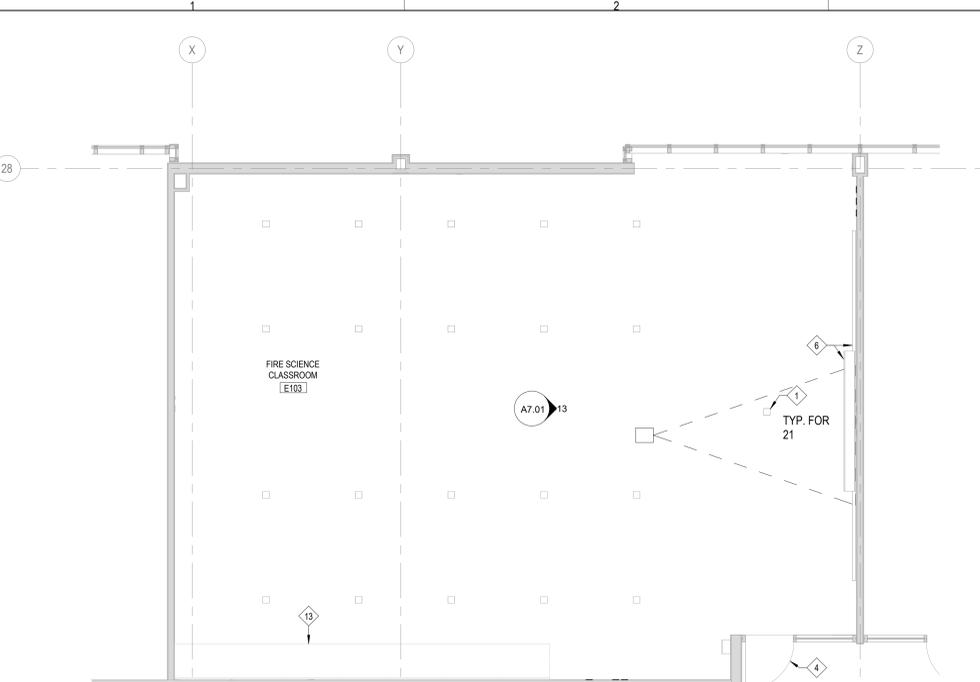
- EXISTING FLOOR BOXES WITH POWER TO REMAIN. COORDINATE WITH NEW FLOORING FOR FLUSH INSTALLATION.
- EXISTING MARKER BOARD AND PROJECTOR TO BE SALVAGED AND REINSTALLED.
- INFILL OPENING WITH GYP WALL TO MATCH EXISTING ADJACENT WALL CONSTRUCTION - TIE INTO JAMBS / HEAD AS REQUIRED FOR FLUSH INSTALLATION (REFER TO DEMO).
- EXISTING DOOR TO REMAIN. SEAL AT THE BEGINNING OF CONSTRUCTION FOR DUST CONTROL, AND PROTECT THROUGHOUT CONSTRUCTION.
- PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXISTING MILLWORK.
- EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING TO REMAIN - PROTECT THROUGHOUT CONSTRUCTION.
- 8" CMU STACK BOND WALL +/- 10" HIGH TO ALIGN WITH ADJACENT EXISTING CMU WALL TO REMAIN. TIE END OF NEW CMU WALL INTO EXISTING CMU WALL TO REMAIN FOR CONTINUOUS CONNECTION. PROVIDE CMU BOND BEAM / INFILL CMU ABOVE DOOR AS REQUIRED. CONTRACTOR RESPONSIBLE TO PROVIDE A COMPLETE TIE IN BETWEEN EXISTING CMU WALL TO REMAIN AND COLUMN R26 AND S26.
- GC TO FIELD VERIFY EXISTING LOCATION OF FLOOR BOXES WITH NEW WALL LOCATION AND REVIEW WITH OWNER / ARCHITECT PRIOR TO START OF CONSTRUCTION.
- NEW WALLS TO ENCLOSE EXISTING DUCT. PROVIDE ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS TO ANY J-BOXES OR CONTROLS.
- PROJECTION SCREEN BY OWNER.
- PROVIDE COLD-FORMED METAL FRAMING KICKERS, ANCHORED TO TOP OF EXISTING NEW CMU WALLS AND RUN TO STRUCTURE ABOVE TO PROVIDE LATERAL BRACING OF CMU WALLS. SPACE KICKERS AS REQUIRED FOR PROPER SUPPORT.
- CONTRACTOR RESPONSIBLE FOR LIFTING / MOVING THE IT RACK IN ORDER TO COMPLETE FLOORING BASE PAINT INSTALLATION.
- EXISTING MILLWORK TO REMAIN.



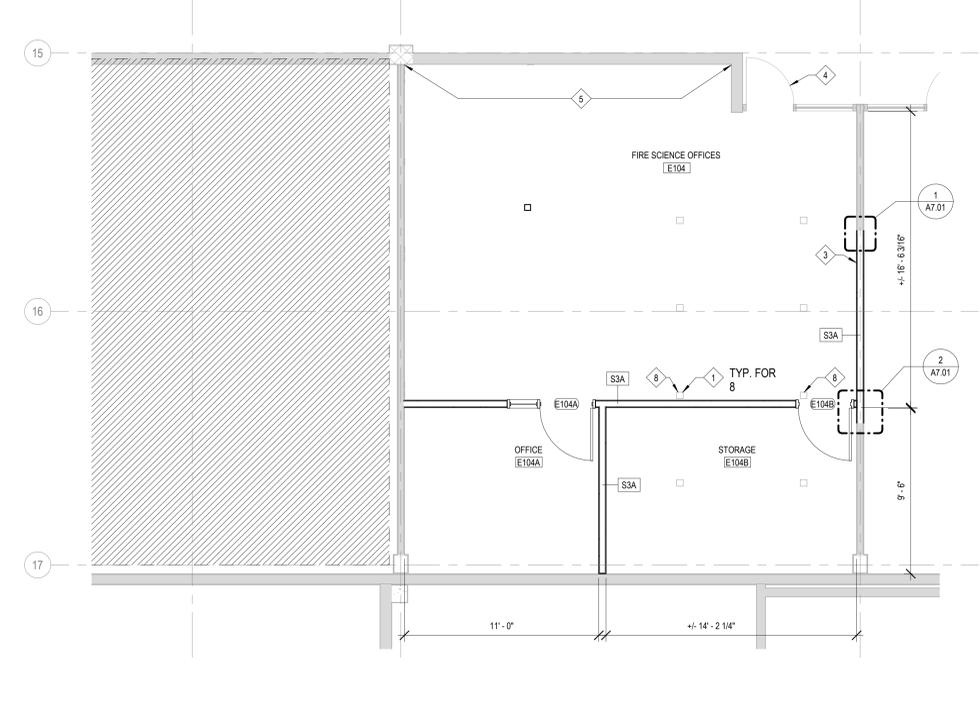
2 FLOOR PLAN - CAL CLASSROOM
 1/4" = 1'-0"



3 FLOOR PLAN - EMS CLASSROOM
 1/4" = 1'-0"



1 FLOOR PLAN - FIRE SCIENCE
 1/4" = 1'-0"



1 FLOOR PLAN - FIRE SCIENCE
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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
 8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024

ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:

FLOOR PLANS - BP1

SHEET NUMBER:

A1.11

7/24/2024 2:16:42 PM

FLOOR PLAN & SECTION SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

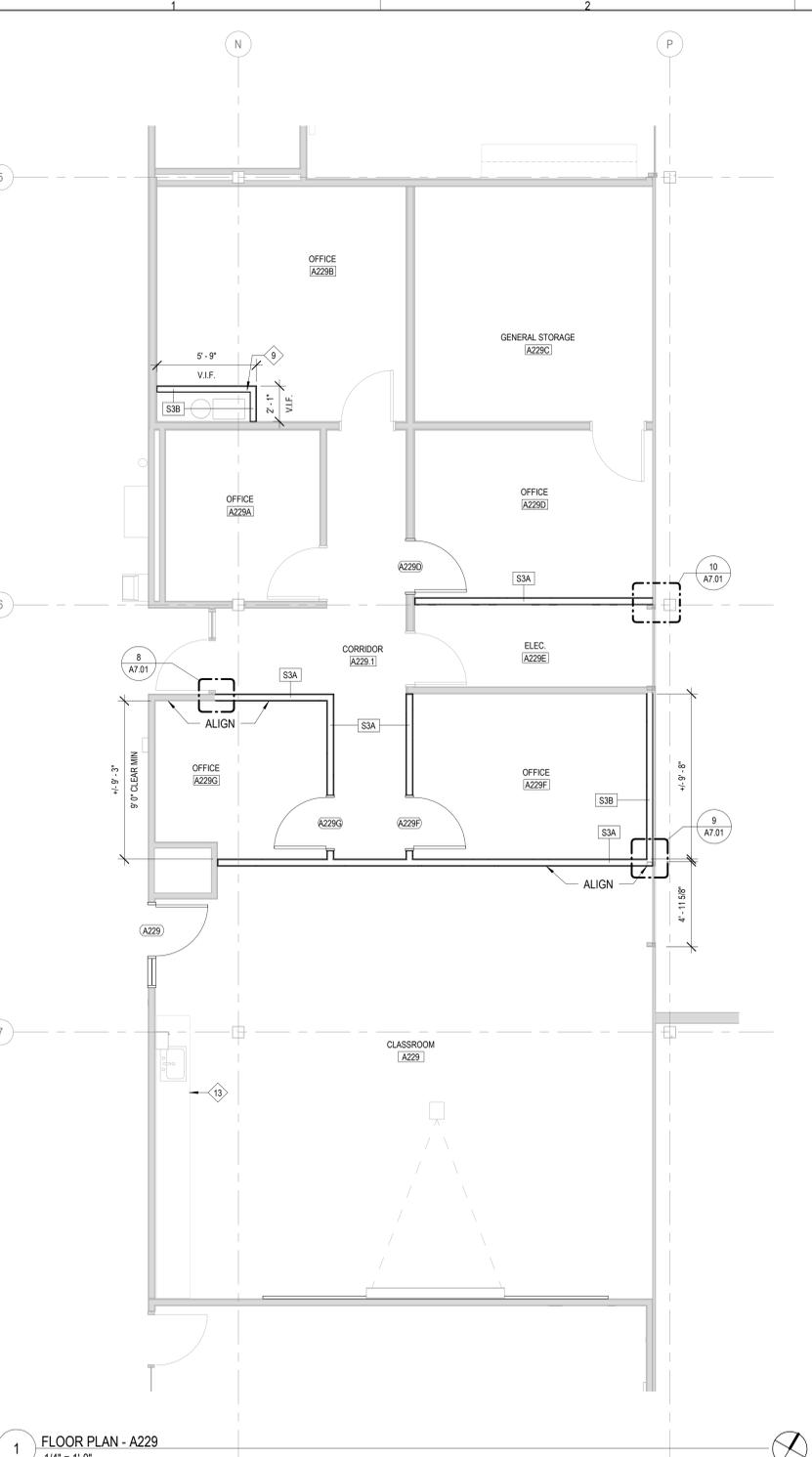
	GREY TONE LINES DEPICT EXISTING CONSTRUCTION
	EXISTING DOOR
	NEW WALL CONSTRUCTION
	NEW DOOR
	ROOM NAME
	ROOM TAG
	DOOR / FRAME TAG
	WINDOW TAG
	PARTITION TYPE
	PARTITION MODIFIERS - REFER TO A10.01
	PLAN AND SECTION DETAIL CALLOUT
	SECTION CALLOUT
	ELEVATION CALLOUT
	DATUM TAG
	NEW WORK REFERENCED NOTES
	FLOOR DRAIN - REFER TO PLUMBING
	SURFACE-MOUNTED EXTINGUISHER CABINET
	SEMI-RECESSED EXTINGUISHER CABINET
	RECESSED EXTINGUISHER CABINET
	LENGTH SPECIFIED MARKERBOARD

FLOOR PLAN GENERAL NOTES:

- ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO FIRST FLOOR FINISH ELEVATION OF 0'-0".
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO WORK COMMENCING.
- NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING CONDITIONS AND IN-FIELD DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- PROVIDE ACCESS PANELS AT LOCATIONS INDICATED AND AS REQUIRED FOR ACCESS TO EQUIPMENT AND DEVICES INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING AND ELECTRICAL WORK. PAINT ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING FINISH.

FLOOR PLAN REFERENCED NOTES:

- EXISTING FLOOR BOXES WITH POWER TO REMAIN. COORDINATE WITH NEW FLOORING FOR FLUSH INSTALLATION.
- EXISTING MARKER BOARD AND PROJECTOR TO BE SALVAGED AND REINSTALLED.
- INFILL OPENING WITH GYP WALL TO MATCH EXISTING ADJACENT WALL CONSTRUCTION - TIE INTO JAMBS / HEAD AS REQUIRED FOR FLUSH INSTALLATION (REFER TO DEMO).
- EXISTING DOOR TO REMAIN. SEAL AT THE BEGINNING OF CONSTRUCTION FOR DUST CONTROL AND PROTECT THROUGHOUT CONSTRUCTION.
- PATCH EXISTING PARTITION TO MATCH ADJACENT SURFACES AT REMOVAL OF EXISTING MILLWORK.
- EXISTING MARKERBOARD, CORK BOARD, PROJECTOR SCREEN, OR MISC WALL MOUNTED SHELVING TO REMAIN - PROTECT THROUGHOUT CONSTRUCTION.
- 8" CMU STACK BOND WALL +/- 10" HIGH TO ALIGN WITH ADJACENT EXISTING CMU WALL TO REMAIN. TIE END OF NEW CMU WALL INTO EXISTING CMU WALL TO REMAIN FOR CONTINUOUS CONNECTION. PROVIDE CMU BOND BEAM / INFILL CMU ABOVE DOOR AS REQUIRED. CONTRACTOR RESPONSIBLE TO PROVIDE A COMPLETE TIE IN BETWEEN EXISTING CMU WALL TO REMAIN AND COLUMN R26 AND S26.
- GC TO FIELD VERIFY EXISTING LOCATION OF FLOOR BOXES WITH NEW WALL LOCATION AND REVIEW WITH OWNER / ARCHITECT PRIOR TO START OF CONSTRUCTION.
- NEW WALLS TO ENCLOSE EXISTING DUCT. PROVIDE ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS TO ANY J-BOXES OR CONTROLS.
- PROJECTION SCREEN BY OWNER.
- PROVIDE COLD-FORMED METAL FRAMING KICKERS, ANCHORED TO TOP OF EXISTING NEW CMU WALLS AND RUN TO STRUCTURE ABOVE TO PROVIDE LATERAL BRACING OF CMU WALLS. SPACE KICKERS AS REQUIRED FOR PROPER SUPPORT.
- CONTRACTOR RESPONSIBLE FOR LIFTING / MOVING THE IT RACK IN ORDER TO COMPLETE FLOORING / BASE PAINT INSTALLATION.
- EXISTING MILLWORK TO REMAIN.



1 FLOOR PLAN - A229
 1/4" = 1'-0"



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2024 RENOVATIONS - BID PACKAGE 1
 8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

RCP SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- CEILING TYPE
- CEILING ELEVATION OFF
- SUSPENDED ACOUSTICAL TILE CEILING
- GYPSUM BOARD CEILING OR SOFFIT
- LINEAR WOOD SLAT CEILING SYSTEM
- WOOD PANEL CEILING
- ROLLER SHADE (TYP.)
- WINDOW SHADE & POCKET
- RECESSED 2x4 LIGHT FIXTURE
- RECESSED 1x4 LIGHT FIXTURE
- RECESSED 2x2 FIXTURE
- RECESSED LINEAR FIXTURE
- SMALL PENDANT LIGHT FIXTURE
- PENDANT LIGHT MOUNT FIXTURE
- RECESSED DOWN LIGHT
- PENDANT LIGHT MOUNT LINEAR FIXTURE
- SURFACE LIGHT MOUNT FIXTURE
- PENDANT LIGHT MOUNT FIXTURE
- SPRINKLER HEAD
- PENDANT LIGHT HUNG STRIP FIXTURE
- MOTORIZED SCREEN
- CEILING MOUNTED PROJECTOR
- SOLID HATCH DENOTES EXIT SIGN FACE PLATE
- DIRECTION OF EGRESS
- EXIT SIGN, WALL MOUNTED
- HEAT DETECTOR
- SMOKE DETECTOR
- FIRE ALARM DEVICE
- SPEAKER
- CLOSED CIRCUIT CAMERA
- OCCUPANT SENSOR
- WIRELESS ACCESS POINT
- LIGHT SENSOR
- RETURN AIR GRILLE
- SUPPLY AIR GRILLE
- LINEAR DIFFUSER - SUPPLY/RETURN
- ACCESS PANEL
- CABINET UNIT HEATER

RCP GENERAL NOTES:

1. ALL HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS FOR REFERENCE AND COORDINATION ONLY. REFER TO HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ACTUAL QUANTITIES. IN CASE OF CONFLICT THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF THESE ITEMS.
2. IN AREAS THAT DO NOT HAVE ARCHITECTURAL REFLECTED CEILING PLANS YET REQUIRE NEW ITEMS TO BE INSTALLED IN OR ABOVE THE CEILING PLANE, CONTRACTOR SHALL REMOVE AND REINSTALL, REPLACE OR MODIFY EXISTING CEILING CONSTRUCTION TO ACCOMMODATE NEW WORK. ANY NEW CEILING AREAS SHALL MATCH EXISTING ADJACENT FINISHES.
3. CENTER ALL FIXTURES IN CEILING TILES AND FIELD VERIFY GRID LAYOUT FOR PROPER FIXTURE LOCATION. ALIGN ALL FIXTURES IN BOTH DIRECTIONS OF CEILING TILE. (UNO)
4. CENTER ALL SPRINKLER HEADS IN CEILING TILES.
5. ALL GYP. BD. CEILINGS TO BE PAINTED PT-1 UNLESS OTHERWISE NOTED ON PLANS
6. EXTEND FACE OF ALL GYP. BD. SOFFITS AND HEADERS 6" MIN. BEYOND FINISHED CEILING ABOVE U.I.O.

RCP REFERENCED NOTES:

1. NEW ROLLER SHADES.
2. EXISTING RADANT HEATING TILE TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
3. EXISTING CEILING TO REMAIN - PULL BACK GRID AND REMOVE TILES AS NEEDED FOR NEW WALL CONSTRUCTION. RE-INSTALL GRID TO NEW WALL AND CUT TILES AS REQUIRED FOR NEW WALL LAYOUT.
4. TIE-IN NEW CEILING SYSTEM TO EXISTING CEILING SYSTEM. ALIGN NEW GRIDS WITH EXISTING LAYOUT.
5. CONTRACTOR TO CONFIRM EXISTING CEILING HEIGHT. DESIGN INTENT FOR NEW CEILING TO BE INSTALLED AT SAME HEIGHT AS EXISTING CEILING TO BE REMOVED.

CEILING TYPES:

TYPE	DESCRIPTION
0	EXPOSED STRUCTURE
1	2X2 ACOUSTICAL PANEL SYSTEM
2	1/2" PAINTED GYP BOARD ON METAL FRAMING

2 REFLECTED CEILING PLAN - CAL CLASSROOM
 1/4" = 1'-0"

3 REFLECTED CEILING PLAN - EMS CLASSROOM
 1/4" = 1'-0"

1 REFLECTED CEILING PLAN - FIRE SCIENCE
 1/4" = 1'-0"



KEY PLAN:

SHEET STATUS: 7/24/2024

ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
REFLECTED CEILING PLANS - BP1

SHEET NUMBER:

A2.10



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2024 RENOVATIONS - BID PACKAGE 1
 8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

RCP SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- CEILING TYPE
- CEILING ELEVATION OFF
- SUSPENDED ACOUSTICAL TILE CEILING
- GYPSUM BOARD CEILING OR SOFFIT
- LINEAR WOOD SLAT CEILING SYSTEM
- WOOD PANEL CEILING
- ROLLER SHADE (TYP.)
- WINDOW SHADE & POCKET
- RECESSED 2x4 LIGHT FIXTURE
- RECESSED 1x4 LIGHT FIXTURE
- RECESSED 2x2 LIGHT FIXTURE
- RECESSED LINEAR FIXTURE
- SMALL PENDANT LIGHT FIXTURE
- PENDANT LIGHT MOUNT FIXTURE
- RECESSED DOWN LIGHT
- PENDANT LIGHT MOUNT LINEAR FIXTURE
- SURFACE LIGHT MOUNT FIXTURE
- PENDANT LIGHT MOUNT FIXTURE
- SPRINKLER HEAD
- PENDANT LIGHT HUNG STRIP FIXTURE
- MOTORIZED SCREEN
- CEILING MOUNTED PROJECTOR
- SOLID HATCH DENOTES EXIT SIGN FACE PLATE
- DIRECTION OF EGRESS
- EXIT SIGN, WALL MOUNTED
- HEAT DETECTOR
- SMOKE DETECTOR
- FIRE ALARM DEVICE
- SPEAKER
- CLOSED CIRCUIT CAMERA
- OCCUPANT SENSOR
- WIRELESS ACCESS POINT
- LIGHT SENSOR
- RETURN AIR GRILLE
- SUPPLY AIR GRILLE
- LINEAR DIFFUSER - SUPPLY/RETURN
- ACCESS PANEL
- CABINET UNIT HEATER

RCP GENERAL NOTES:

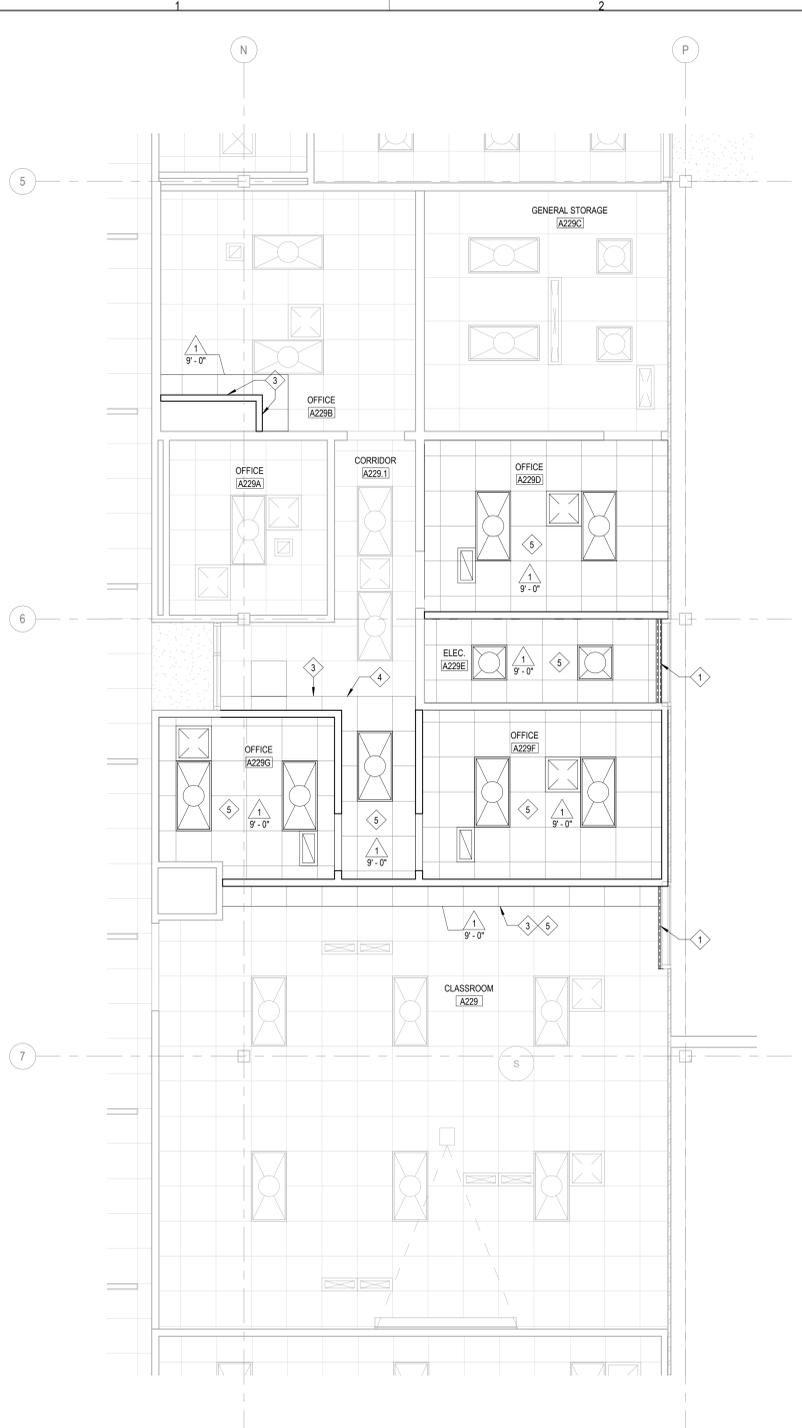
1. ALL HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS FOR REFERENCE AND COORDINATION ONLY. REFER TO HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ACTUAL QUANTITIES. IN CASE OF CONFLICT THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF THESE ITEMS.
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3. CENTER ALL FIXTURES IN CEILING TILES AND FIELD VERIFY GRID LAYOUT FOR PROPER FIXTURE LOCATION. ALIGN ALL FIXTURES IN BOTH DIRECTIONS OF CEILING TILE. (UNO)
4. CENTER ALL SPRINKLER HEADS IN CEILING TILES.
5. ALL GYP. BD. CEILINGS TO BE PAINTED PT-1 UNLESS OTHERWISE NOTED ON PLANS
6. EXTEND FACE OF ALL GYP. BD. SOFFITS AND HEADERS 6" MIN. BEYOND FINISHED CEILING ABOVE U.I.O.

RCP REFERENCED NOTES:

1. NEW ROLLER SHADES.
2. EXISTING RADANT HEATING TILE TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
3. EXISTING CEILING TO REMAIN - PULL BACK GRID AND REMOVE TILES AS NEEDED FOR NEW WALL CONSTRUCTION. RE-INSTALL GRID TO NEW WALL AND CUT TILES AS REQUIRED FOR NEW WALL LAYOUT.
4. TIE-IN NEW CEILING SYSTEM TO EXISTING CEILING SYSTEM. ALIGN NEW GRIDS WITH EXISTING LAYOUT.
5. CONTRACTOR TO CONFIRM EXISTING CEILING HEIGHT. DESIGN INTENT FOR NEW CEILING TO BE INSTALLED AT SAME HEIGHT AS EXISTING CEILING TO BE REMOVED.

CEILING TYPES:

TYPE	DESCRIPTION
0	EXPOSED STRUCTURE
1	2X2 ACOUSTICAL PANEL SYSTEM
2	1/2" PAINTED GYP BOARD ON METAL FRAMING



1 REFLECTED CEILING PLAN - A229
 1/4" = 1'-0"



KEY PLAN:

SHEET STATUS: 7/24/2024

ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
REFLECTED CEILING PLANS - BP1

SHEET NUMBER:

A2.11

KEY PLAN:

SHEET STATUS: 7/24/2024

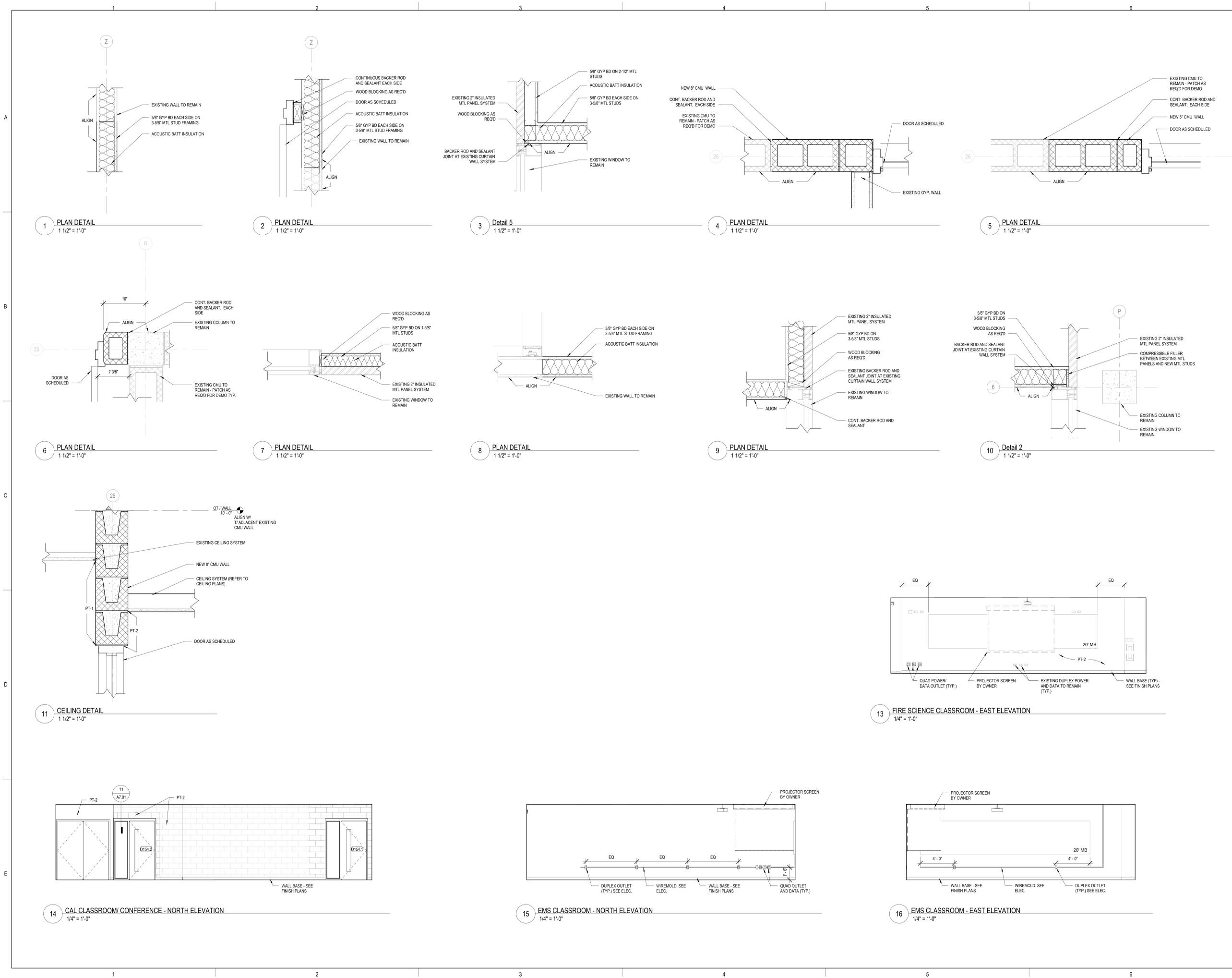
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

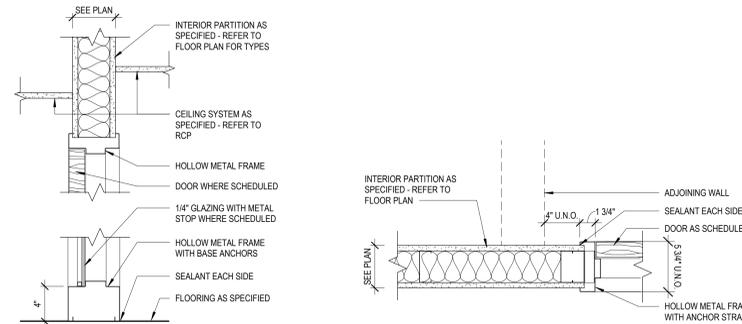
SHEET TITLE:
INTERIOR ELEVATIONS & DETAILS - BP1

SHEET NUMBER:

A7.01

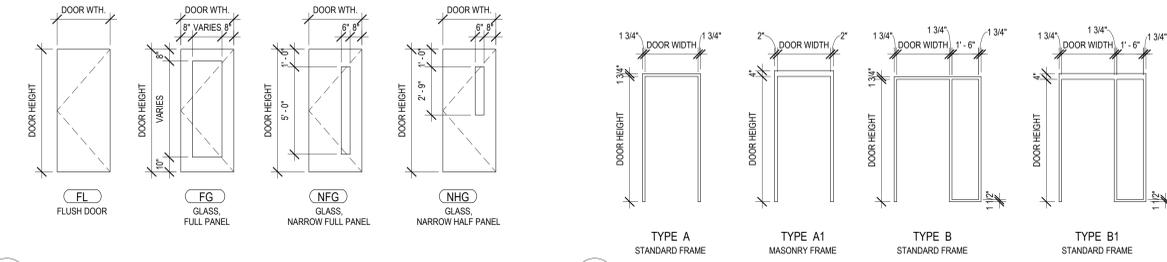


DOOR AND FRAME SCHEDULE												
NUMBER	ROOM NAME	DOOR				FRAME				HARDWARE SET	REMARKS	
		WIDTH	HEIGHT	FIRE RATING	MATERIAL	ELEV	GLAZING TYPE	MATERIAL	ELEV			GLAZING TYPE
A229	CLASSROOM	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	AL	B	GL-02 (1/2")	HS-01	
A229D	OFFICE	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	AL	A	-	HS-02	
A229F	OFFICE	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	AL	A	-	HS-02	
A229G	OFFICE	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	AL	A	-	HS-02	
D154.1	CLASSROOM	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	HM	B1	GL-02 (1/2")	HS-01	
D154.2	CONFERENCE ROOM	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	HM	B1	GL-02 (1/2")	HS-01	
D154A	OFFICE	3'-0"	7'-0"	-	WD	FG	GL-03 (3/8")	HM	B	GL-02 (1/2")	HS-02	
D154B	OFFICE	3'-0"	7'-0"	-	WD	FG	GL-03 (3/8")	HM	B	GL-02 (1/2")	HS-02	
D154D	STORAGE	6'-0"	7'-0"	-	WD	FL	-	HM	A	-	HS-04	
E104A	OFFICE	3'-0"	7'-0"	-	WD	NFG	GL-01 (1/4")	HM	B	GL-02 (1/2")	HS-02	
E104B	STORAGE	3'-0"	7'-0"	-	WD	FL	-	HM	A	-	HS-03	



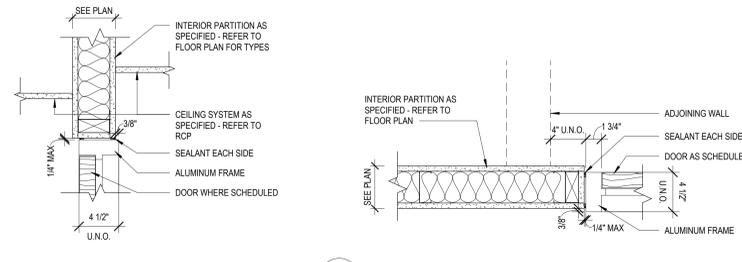
3 HOLLOW METAL FRAME - HEAD & SILL
 1 1/2" = 1'-0"

4 HOLLOW METAL FRAME - JAMB
 1 1/2" = 1'-0"



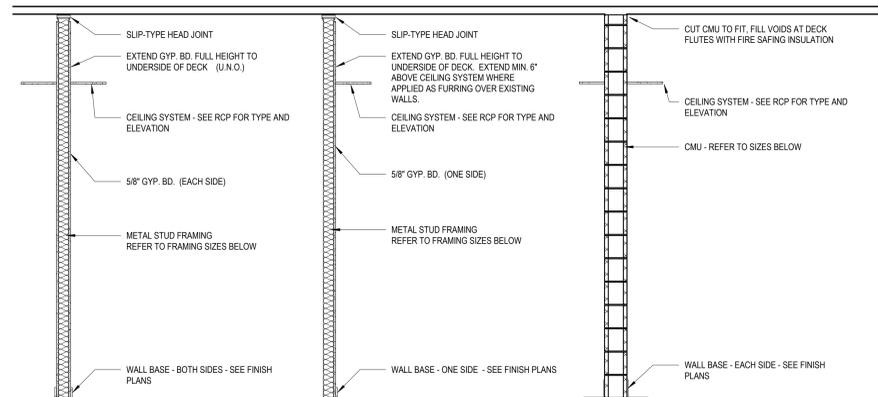
1 DOOR ELEVATIONS
 1/4" = 1'-0"

2 FRAME ELEVATIONS
 1/4" = 1'-0"

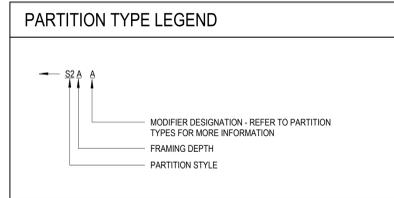


5 ALUMINUM FRAME - HEAD
 1 1/2" = 1'-0"

6 ALUMINUM FRAME - JAMB
 1 1/2" = 1'-0"



- | | | |
|---|---|--|
| <ul style="list-style-type: none"> S1A 1-5/8" METAL STUD FRAMING S2A 2-1/2" METAL STUD FRAMING S3A 3-5/8" METAL STUD FRAMING S4A 4" METAL STUD FRAMING S6A 6" METAL STUD FRAMING | <ul style="list-style-type: none"> S1B 1-5/8" METAL STUD FRAMING S2B 2-1/2" METAL STUD FRAMING S3B 3-5/8" METAL STUD FRAMING S4B 4" METAL STUD FRAMING S6B 6" METAL STUD FRAMING | <ul style="list-style-type: none"> M4C 4" CMU M6C 6" CMU M8C 8" CMU M10C 10" CMU M12C 12" CMU |
|---|---|--|



- PARTITION TYPE GENERAL NOTES:**
- ALL INTERIOR PARTITIONS SHALL BE TYPE S1A (U.N.O.)
 - ALL GYP BD ENCLOSURES AROUND COLUMNS SHALL BE TYPE S2D (U.N.O.)
 - PROVIDE SOLID FIRE RESISTANT TRICATED WOOD BLOCKING, FLAT METAL STRAPS, OR METAL BACKING PLATES AT ALL WALL MOUNTED FIXTURES AND ACCESSORIES, INCLUDING BUT NOT LIMITED TO, DOOR STOPS, MILLWORK, DIGITAL DISPLAYS, VISUAL DISPLAY BOARDS, TOILET PARTITIONS, AND SIMILAR CONDITIONS.
 - PROVIDE MOISTURE RESISTANT GYP BD AT ALL PLUMBING PARTITIONS NOT SCHEDULED TO RECEIVE TILE.
 - SEE SPECIFICATIONS FOR ORIENTATION OF GYP BD PANELS, SIZING, AND SPACING OF METAL STUD FRAMING.
 - SEE SPECIFICATIONS FOR TYPE AND SPACING OF CMU HORIZONTAL JOINT REINFORCEMENT.
 - SEE INTERIOR ELEVATIONS FOR ANY GYP BD REVEAL PATTERNS.
 - FIRE RESISTANCE-RATED SEPARATIONS
 - SEE CODE COMPLIANCE PLANS FOR LOCATIONS AND TYPES OF FIRE RESISTANCE-RATED SEPARATIONS.
 - AT SMOKE PARTITIONS, FIRE PARTITIONS AND FIRE BARRIERS, WALL ASSEMBLY CONSTRUCTION SHALL EXTEND FROM TOP OF FLOOR TO THE UNDERSIDE OF THE FLOOR, ROOF SLAB, OR DECK ABOVE.
 - ALL PARTITIONS SHALL HAVE THE FOLLOWING PERMANENTLY AFFIXED MARKINGS AND IDENTIFICATION:
 - 1/2" HIGH LETTERING, INDICATING RATING AND FIRE RESISTANCE RATED PARTITION TYPE, I.E. "2-HR FIRE WALL" OR "1-HR FIRE BARRIER", AND SHALL ALSO INCLUDE THE FOLLOWING SUFFIX: "PROTECT ALL OPENINGS AND PENETRATIONS"
 - LOCATE LETTERING ABOVE ACCESSIBLE CEILINGS AT INTERVALS NOT TO EXCEED 30'-0". THERE SHOULD BE A MINIMUM OF ONE MARKING PER WALL, PER ROOM.

KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
DOOR SCHEDULE AND WALL TYPES - BP1

SHEET NUMBER:

A10.00



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2024 RENOVATIONS - BID PACKAGE 1
 8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

FINISH PLAN SYMBOLS LEGEND:

	WALL FINISH TYPE		WALL BASE TYPE		FLOOR FINISH TYPE
--	------------------	--	----------------	--	-------------------

FINISH PLAN GENERAL NOTES:

1. PAINT ALL EXPOSED CONDUIT, DUCTWORK, PIPING, ETC. IN ALL FINISHED SPACES. REFER TO INTERIOR FINISH PLANS AND REFLECTED CEILING PLANS FOR CLARIFICATIONS.
2. PAINT ALL EXPOSED METAL ON EXTERIOR INCLUDING, BUT NOT LIMITED TO: CONDUIT, PIPING, FLASHING, MECHANICAL FLUES AND DUCTS, AND HOLLOW METAL FRAMES AND DOORS.
3. PROVIDE CEMENTITIOUS SELF-LEVELING UNDERLAYMENT AT REMOVAL OF EXISTING FLOOR DRAINS AS REQUIRED TO PROVIDE A LEVEL SUBSTRATE FOR NEW FLOOR FINISH.
4. ALL FINISHES ARE MONUMENTAL PER ROOM UNLESS NOTED OTHERWISE.
5. HOLLOW METAL DOORS AND FRAMES TO BE PAINTED PT-3 UNLESS NOTED OTHERWISE.
6. AT ALL LOCATIONS WHERE EXISTING CASEWORK IS TO REMAIN, THE SUBSEQUENT BASE TYPE SPECIFIED FOR EACH ROOM SHALL BE INSTALLED OVER CASEWORK TOE KICKS UNLESS NOTED OTHERWISE. REFER TO FLOOR PLANS FOR CASEWORK LOCATIONS.
7. ALL CARPET TILE TO BE INSTALLED ASHLAR UNLESS SPECIFIED OTHERWISE.
8. ALL LUXURY VINYL TILE TO BE INSTALLED RANDOM STAGGERED UNLESS SPECIFIED OTHERWISE.

WALL FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
PT-1	GENERAL PAINT	BENJAMIN MOORE	2126-70 CHALK WHITE
PT-2	ACCENT PAINT	BENJAMIN MOORE	TBD
PT-3	HM PAINT	BENJAMIN MOORE	TBD

WALL BASE TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
RB1	4" COVE RUBBER BASE	JOHNSONITE	TBD

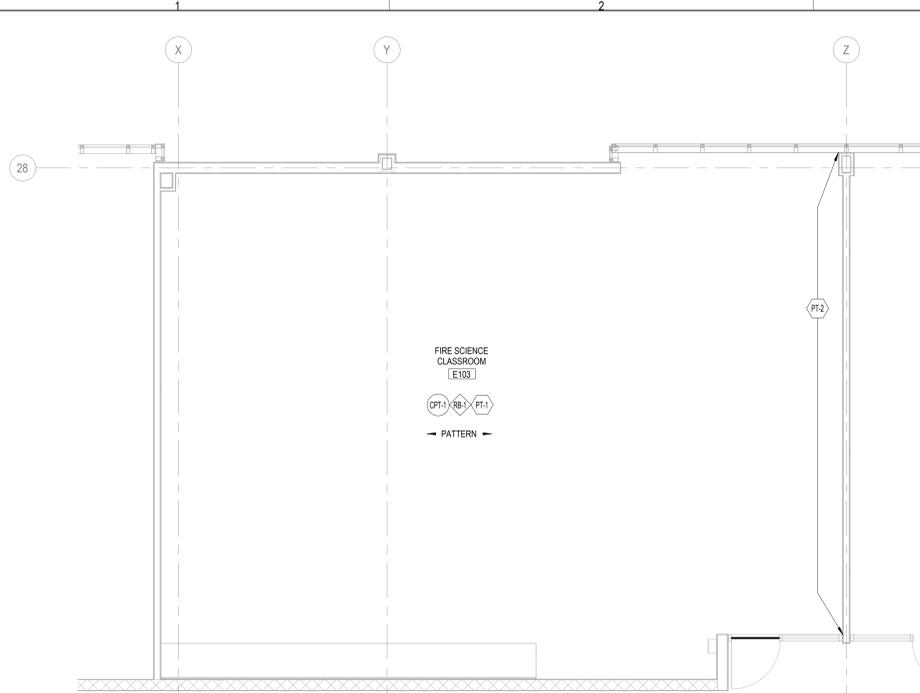
FLOOR FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
CPT-1	CARPET TILE	SHAW	BEVEL HEXAGON SIZE: 24" H X 28.8" DIA. COLOR: BLACK INSTALL: RANDOM
LVT-1	LUXURY VINYL TILE	SHAW	NAME: BRANCHING OUT, SIZE: 6X48, COLOR: TBD, INSTALL: RANDOM STAGGERED
SC	SEALED CONCRETE	REFER TO SPEC	REFER TO SPEC

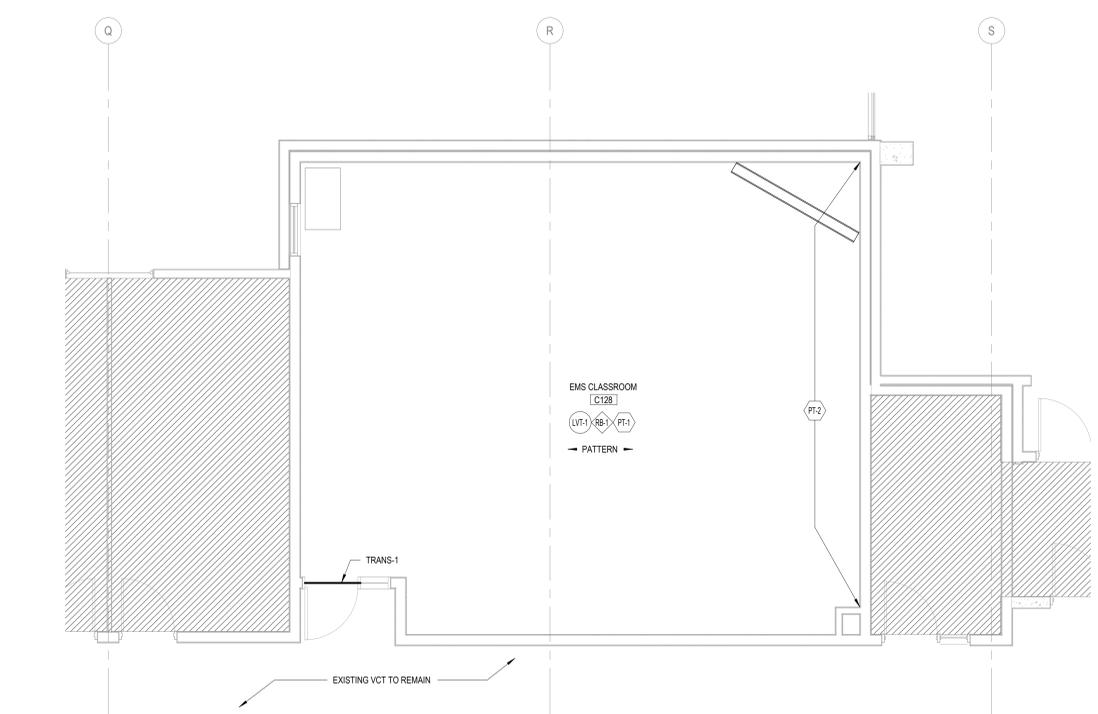
FLOOR TRANSITION TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
TRANS-1	1/4" TO 1/8"	JOHNSONITE	SLT-XX-A, COLOR TBD
TRANS-2	1/4" TO SUBFLOOR	JOHNSONITE	SLT-XX-A, COLOR TBD

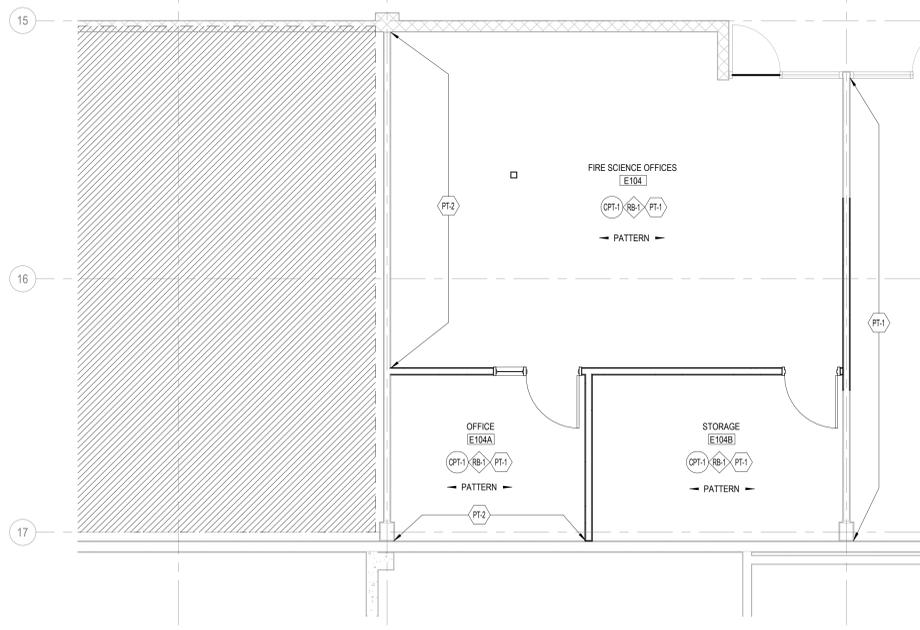
FINISH PLAN REFERENCED NOTES:



2 FINISH PLAN - CAL CLASSROOM
 1/4" = 1'-0"



3 FINISH PLAN - EMS CLASSROOM
 1/4" = 1'-0"



1 FINISH PLAN - FIRE SCIENCE
 1/4" = 1'-0"

KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
FINISH PLANS - BP1

SHEET NUMBER:
A11.10



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 DKA PROJECT NO: 24-031

FINISH PLAN SYMBOLS LEGEND:

(X) WALL FINISH TYPE	(X) WALL BASE TYPE	(X) FLOOR FINISH TYPE
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- FINISH PLAN GENERAL NOTES:**
1. PAINT ALL EXPOSED CONDUIT, DUCTWORK, PIPING, ETC. IN ALL FINISHED SPACES. REFER TO INTERIOR FINISH PLANS AND REFLECTED CEILING PLANS FOR CLARIFICATIONS.
 2. PAINT ALL EXPOSED METAL ON EXTERIOR INCLUDING, BUT NOT LIMITED TO: CONDUIT, PIPING, FLASHING, MECHANICAL FLUES AND DUCTS, AND HOLLOW METAL FRAMES AND DOORS.
 3. PROVIDE CEMENTITIOUS SELF-LEVELING UNDERLAYMENT AT REMOVAL OF EXISTING FLOOR DRAINS AS REQUIRED TO PROVIDE A LEVEL SUBSTRATE FOR NEW FLOOR FINISH.
 4. ALL FINISHES ARE MONUMENTAL PER ROOM UNLESS NOTED OTHERWISE.
 5. HOLLOW METAL DOORS AND FRAMES TO BE PAINTED PT-3 UNLESS NOTED OTHERWISE.
 6. AT ALL LOCATIONS WHERE EXISTING CASEWORK IS TO REMAIN, THE SUBSEQUENT BASE TYPE SPECIFIED FOR EACH ROOM SHALL BE INSTALLED OVER CASEWORK TOE KICKS UNLESS NOTED OTHERWISE. REFER TO FLOOR PLANS FOR CASEWORK LOCATIONS.
 7. ALL CARPET TILE TO BE INSTALLED ASHLAR UNLESS SPECIFIED OTHERWISE.
 8. ALL LUXURY VINYL TILE TO BE INSTALLED RANDOM STAGGERED UNLESS SPECIFIED OTHERWISE.

WALL FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
PT-1	GENERAL PAINT	BENJAMIN MOORE	2126-70 CHALK WHITE
PT-2	ACCENT PAINT	BENJAMIN MOORE	TBD
PT-3	HM PAINT	BENJAMIN MOORE	TBD

WALL BASE TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
RB1	4" COVE RUBBER BASE	JOHNSONITE	TBD

FLOOR FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
CPT-1	CARPET TILE	SHAW	BEVEL HEXAGON SIZE: 24" H X 28" DIA. COLOR: BLACK INSTALL: RANDOM
LVT-1	LUXURY VINYL TILE	SHAW	NAME: BRANCHING OUT, SIZE: 6X48, COLOR: TBD, INSTALL: RANDOM STAGGERED
SC	SEALED CONCRETE	REFER TO SPEC	REFER TO SPEC

FLOOR TRANSITION TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
TRANS-1	1/4" TO 1/8"	JOHNSONITE	SLT-XX-A, COLOR TBD
TRANS-2	1/4" TO SUBFLOOR	JOHNSONITE	SLT-XX-L, COLOR TBD

FINISH PLAN REFERENCED NOTES:



1 FINISH PLAN - A229
 1/4" = 1'-0"

KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
FINISH PLANS - BP1

SHEET NUMBER:
A11.11



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
 8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
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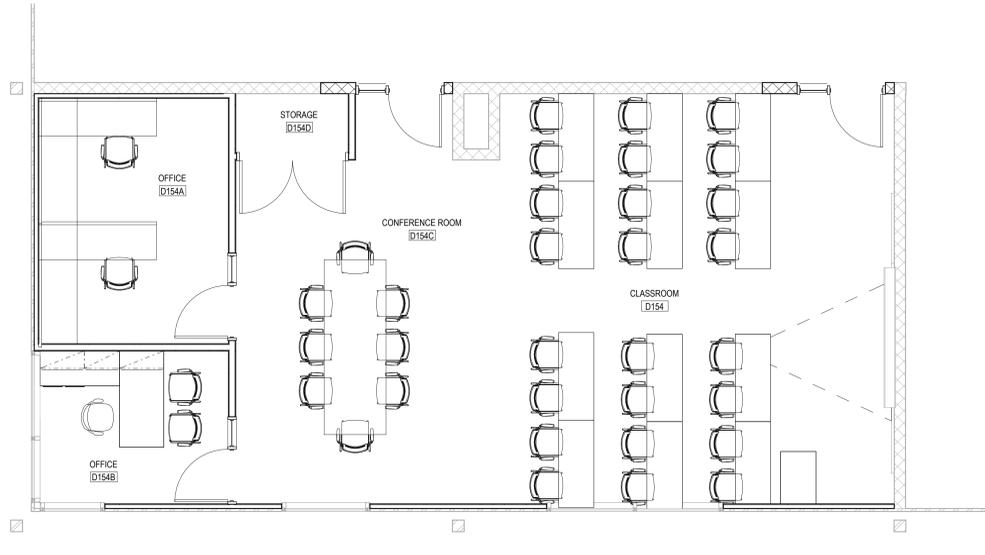
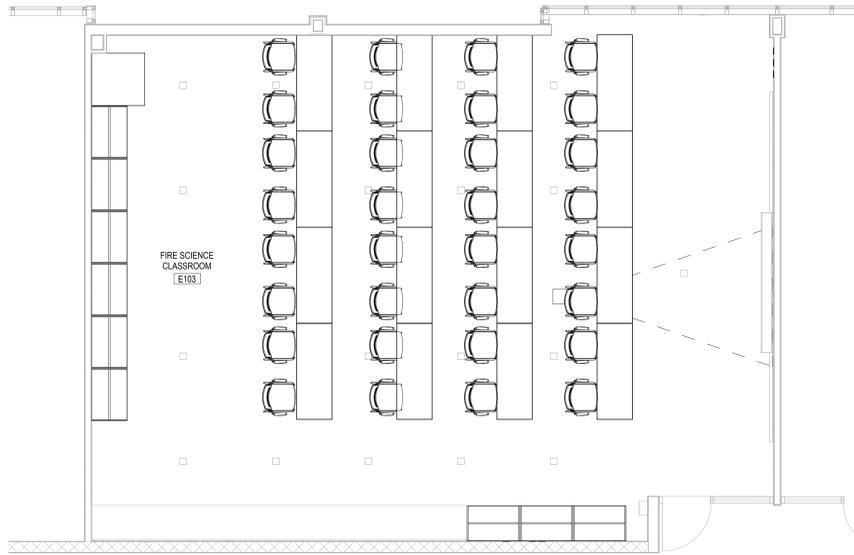
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SHEET TITLE:
FURNITURE PLANS - BP1

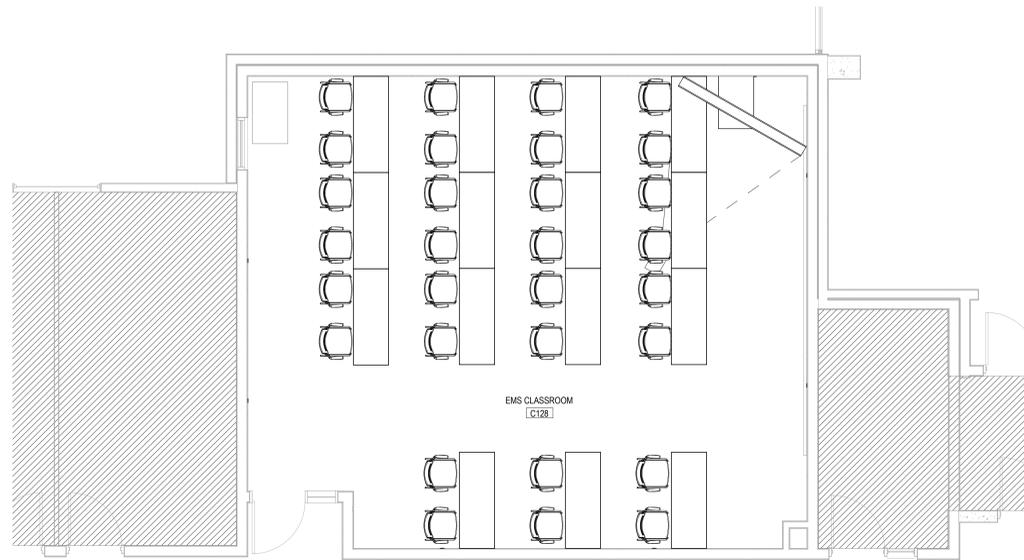
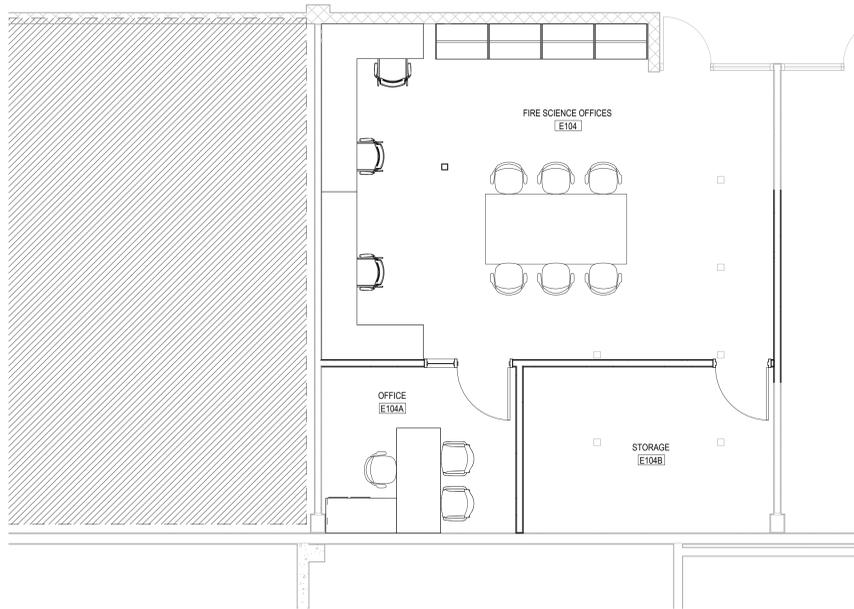
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A12.10

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2 FURNITURE PLAN - CAL CLASSROOM (FOR REFERENCE ONLY)
 1/4" = 1'-0"



3 FURNITURE PLAN - EMS CLASSROOM (FOR REFERENCE ONLY)
 1/4" = 1'-0"

1 FURNITURE PLAN - FIRE SCIENCE (FOR REFERENCE ONLY)
 1/4" = 1'-0"



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**McHenry County College
 2024 RENOVATIONS - BID PACKAGE 1**

8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024

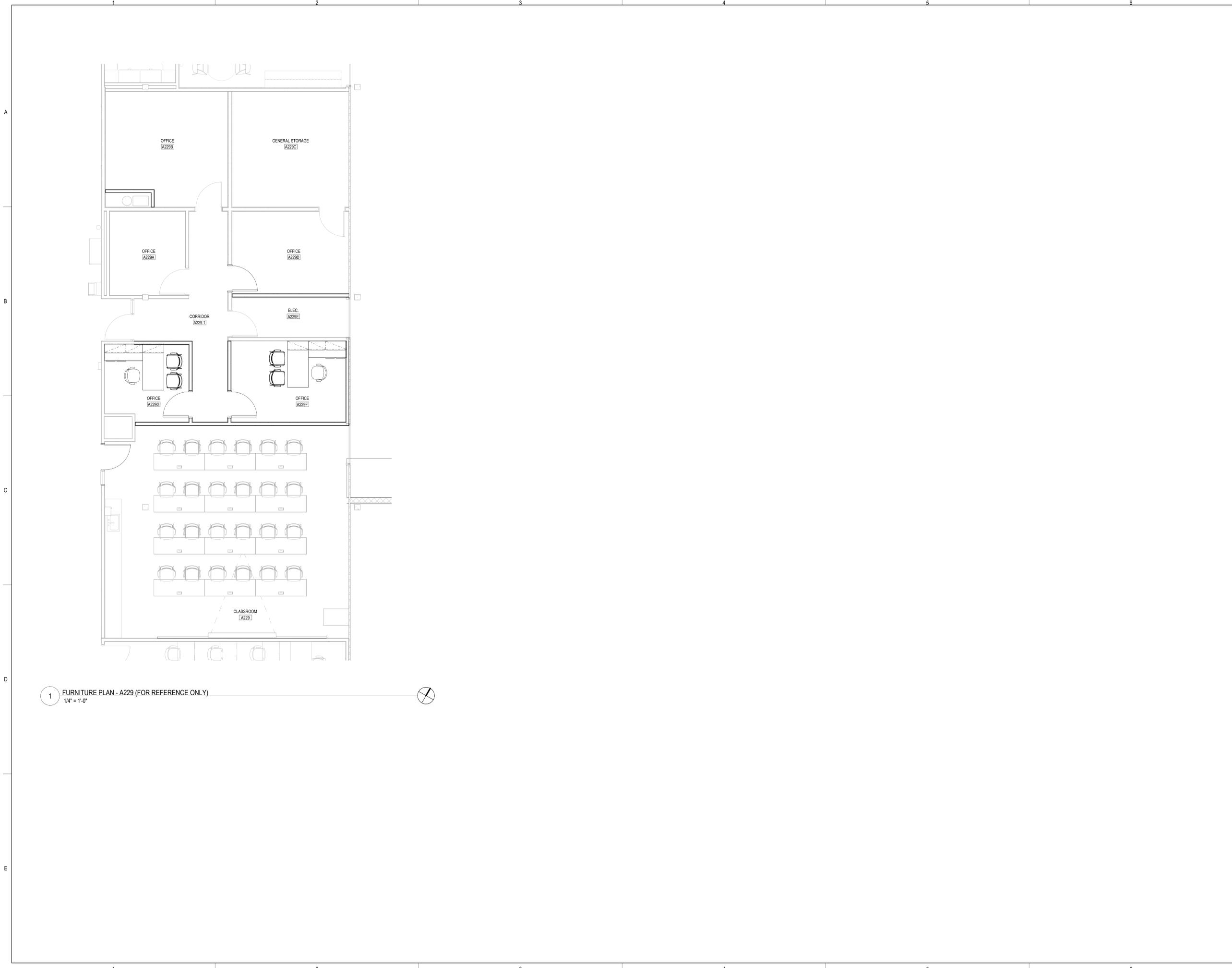
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 FOR CONSTRUCTION**

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
**FURNITURE PLANS -
 BP 1**

SHEET NUMBER:

A12.11



1 FURNITURE PLAN - A229 (FOR REFERENCE ONLY)
 1/4" = 1'-0"



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GENERAL REMODELING NOTES - ALL CONTRACTORS

1. ALL WORK SHOWN ON DRAWINGS SHALL BE CONSIDERED NEW AND IN CONTRACT UNLESS SPECIFICALLY INDICATED OTHERWISE.
2. DRAWINGS ARE GENERALLY DIAGRAMMATIC. ROUTING OF PIPING, DUCTWORK, CONDUITS, RACEWAYS, ETC. AS SHOWN ON DRAWINGS, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. EACH CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.
3. IT IS INTENDED THAT EQUIPMENT SHALL BE LOCATED SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS OF THE BUILDING, NOTWITHSTANDING THE FACT THAT LOCATIONS INDICATED BY THESE DRAWINGS MAY BE DISTORTED FOR CLARITY OF PRESENTATION.
4. CONTRACTOR SHALL CHECK DRAWINGS OF OTHER TRADES TO VERIFY THAT SPACES IN WHICH THEIR WORK WILL BE INSTALLED ARE CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED TO MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITIONS AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, CONTRACTOR SHALL NOTIFY OWNER/ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE INSTALLATION OF THEIR WORK.
5. CONTRACTOR SHALL FURNISH OTHER TRADES ADVANCE INFORMATION AND/OR SHOP DRAWINGS ON LOCATIONS AND SIZES OF PIPING, DUCTWORK, CONDUIT, RACEWAYS, EQUIPMENT, FRAMES, BOXES, SLEEVES AND OPENINGS, ETC. NEEDED FOR THEIR WORK TO PERMIT OTHER TRADES AFFECTED TO INSTALL THEIR WORK PROPERLY AND WITHOUT DELAY.
6. WHERE THERE IS EVIDENCE THAT WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, ALL TRADES SHALL MEET ON JOB SITE TO WORK OUT SPACE CONDITIONS AND MAKE SATISFACTORY ADJUSTMENTS TO INSTALLATION OF THE NEW WORK. CONTRACTORS SHALL VERIFY EXACT LOCATIONS OF ALL DEVICES AND EQUIPMENT WITH FIELD CONDITIONS, SHOP DRAWINGS, AND WORK OF OTHER TRADES PRIOR TO ROUGH-IN. EACH CONTRACTOR SHALL BE RESPONSIBLE, AT THEIR OWN EXPENSE, FOR THE REMOVAL AND REINSTALLATION OF ANY PART OF THEIR WORK IF SAME WAS INSTALLED WITHOUT CONSULTING WITH OTHER TRADES BEFORE INSTALLING THEIR WORK.
7. CONTRACTOR SHALL PROVIDE SLEEVES IN BEAMS, FLOORS, COLUMNS AND WALLS AS SHOWN ON THE DRAWINGS, AS REQUIRED BY JOB SITE CONDITIONS, AND/OR AS SPECIFIED, WHEN INSTALLING THEIR WORK. ALL BEAMS AND COLUMNS WHICH ARE REQUIRED TO BE SLEEVED SHALL BE CUT AND REINFORCED AS REQUIRED BY FIELD CONDITIONS AND LOCATIONS AND SIZES SHALL BE CHECKED AND APPROVED BY ARCHITECT BEFORE CONTRACTOR CUTS ANY STRUCTURAL BUILDING MEMBER.
8. THE SEQUENCE FOR THE INSTALLATION OF ALL WORK SHALL BE COORDINATED BETWEEN ALL CONTRACTORS ON THE PROJECT AND IN STRICT ACCORDANCE WITH ARCHITECT/ENGINEER AND OWNERS STIPULATION AS DIRECTED.
9. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL CONTRACT DRAWINGS (BEFORE SUBMITTING THEIR BIDS) TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF THE GENERAL CONTRACTOR'S WORK, CEILING HEIGHTS AND CLEARANCE FOR INSTALLING THEIR WORK.
10. CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING AND REMOVAL/REPLACEMENT OF NEW OR EXISTING BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED AND PAID FOR BY THE INSTALLING CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT. (NOTE: CONTRACTOR SHALL VERIFY EXISTING BUILDING'S ROOF WARRANTY AND EMPLOY OTHER SUBCONTRACTOR(S) AS REQUIRED BY ROOF MANUFACTURER'S REPRESENTATIVE SO AS NOT TO VOID OWNER'S ROOF WARRANTY.)
11. SOME OF THE EXISTING ITEMS AND EQUIPMENT SCHEDULED TO BE REMOVED SHALL BE TURNED OVER TO THE OWNER. ANY ITEMS THAT THE OWNER WANTS TO RETAIN SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE THEM. ALL OTHER ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN CLEAN-UP DURING CONSTRUCTION. IF CONTRACTOR FAILS TO PROVIDE SUCH CLEAN-UP, THE ARCHITECT/ENGINEER WILL DIRECT ANOTHER CONTRACTOR TO PERFORM THE CLEAN-UP AND THE NEGLIGENT CONTRACTOR SHALL PAY THE ASSOCIATED BACK-CHARGES AS DEEMED APPROPRIATE BY THE ARCHITECT/ENGINEER.
13. CONTRACTOR SHALL INSTALL ALL AUXILIARY SUPPORTING STEEL AS REQUIRED FOR THE SUPPORTING OF THEIR PIPING, DUCTWORK, CONDUIT, TANKS, EQUIPMENT, ETC. ALL SUPPORTING STEEL FOR ITEMS ABOVE A SUSPENDED CEILING SHALL BE FROM BUILDING STRUCTURAL MEMBERS ONLY.
14. IT IS MANDATORY THAT THE COMPLETE EXISTING BUILDING REMAIN IN CONTINUOUS AND NON-INTERRUPTED OPERATION DURING REMODELING/ALTERING OF SAID EXISTING BUILDING. THE SPECIFIC AREA(S) BEING REMODELED/ALTERED AT ANY SCHEDULED TIME ARE OBVIOUSLY EXCLUSIVE OF THIS STATEMENT. SERVICES TO EXISTING BUILDING SHALL BE KEPT IN CONTINUOUS OPERATION INCLUDING POWER, SIGNAL SYSTEMS, LIGHTING, TELEPHONE, HEATING, COOLING, VENTILATING, TEMPERATURE CONTROL, SEWERS AND HOT AND COLD WATER. ANY ABSOLUTELY NECESSARY INTERRUPTION OF THESE SERVICES TO ACCOMPLISH CONTRACT WORK SHALL BE ARRANGED WITH THE OWNER A MINIMUM OF TEN (10) WORKING DAYS IN ADVANCE. SUCH INTERRUPTIONS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AS FAR AS TIME INTERVAL IS INVOLVED AND TEMPORARY SERVICES SHALL BE FURNISHED AND INSTALLED UNDER THIS CONTRACT WHERE NECESSARY TO ACCOMPLISH THIS PURPOSE. TEMPORARIES SHALL BE REMOVED BY THE CONTRACTOR ONLY AFTER NEW PERMANENT SERVICES ARE INSTALLED AND FULLY OPERATIONAL.
15. UNLESS INDICATED OTHERWISE, THE ARCHITECT/ENGINEER MAKES NO REPRESENTATION AS TO WHETHER OR NOT ANY HAZARDOUS OR CONTAMINATED MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS, PCBs, CONTAMINATED SOILS, ETC.) ARE PRESENT WITHIN THE EXISTING BUILDING OR ON THE SITE. WORK SHOWN ON THE DRAWINGS AND/OR INDICATED IN THE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CALL FOR CONTACT WITH ANY OF THESE MATERIALS. IF THESE MATERIALS ARE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL NOT DISTURB THEM AND SHALL CONTACT THE ARCHITECT/ENGINEER IMMEDIATELY.
16. WHERE WORK CALLED FOR ON THE DRAWINGS OR IN THE SPECIFICATIONS INVOLVES THE REMOVAL OR RELOCATION OF PIPING OR EQUIPMENT CONTAINING REFRIGERANT, ALL REFRIGERANT SHALL BE RECOVERED BY APPROVED METHODS PER EPA REGULATIONS.
17. CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT SHIPPED TO THE SITE IN A PROTECTED AREA. IF MATERIAL IS STORED OUTSIDE OF THE BUILDING, IT MUST BE STORED OFF THE GROUND A MINIMUM OF SIX INCHES (6") SET ON 6 X 6 PLANKS AND/OR WOOD PALLETS. ALL MATERIAL AND EQUIPMENT MUST BE COMPLETELY COVERED WITH WATERPROOF TARPS OR VISQUIN. ALL PIPING AND DUCTWORK WILL HAVE THE ENDS CLOSED TO KEEP OUT DIRT AND OTHER DEBRIS. NO EQUIPMENT WILL BE ALLOWED TO BE STORED OUTSIDE THE BUILDING ON THE SITE UNLESS IT IS SUPPORTED OFF THE GROUND AND COMPLETELY PROTECTED WITH WEATHERPROOF COVERS.
18. THE DRAWINGS, SCHEDULES AND SPECIFICATIONS HAVE BEEN PREPARED USING ONE MANUFACTURER FOR EACH PIECE OF EQUIPMENT AS THE BASIS FOR DIMENSIONAL DESIGN. IF THE CONTRACTOR PURCHASES EQUIPMENT FROM A SPECIFIED ACCEPTABLE MANUFACTURER, BUT NOT THE SCHEDULED MANUFACTURER USED FOR THE BASE DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL THE DIMENSIONS OF THE EQUIPMENT TO VERIFY THAT IT WILL FIT IN THE SPACE SHOWN ON THE DRAWINGS. MINOR DEVIATIONS IN DIMENSIONS WILL BE PERMITTED, PROVIDED THE RATINGS MEET THOSE SHOWN ON THE DRAWINGS AND EQUIPMENT WILL PHYSICALLY FIT INTO THE SPACE ALLOCATED WITH SUITABLE ACCESS AROUND EQUIPMENT FOR OPERATION AND MAINTENANCE OF THE EQUIPMENT. WHEN EQUIPMENT SUBMITTED FOR REVIEW DOES NOT MEET THE PHYSICAL SIZE OR ARRANGEMENT OF THAT SCHEDULED AND SPECIFIED, CONTRACTOR SHALL PAY FOR ALL ALTERATIONS REQUIRED TO ACCOMMODATE SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR WILL ALSO PAY ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT TO FIT IN THE SPACE AND FUNCTION AS INTENDED.
19. CONTRACTOR AND/OR MANUFACTURER SHALL VERIFY THAT THE CHARACTERISTICS OF THE EQUIPMENT SUBMITTED FOR REVIEW MEETS THE CAPACITY AND DUTY SPECIFIED. WHEN EQUIPMENT SUBMITTED FOR REVIEW REQUIRES MODIFICATIONS TO THE WORK OF OTHER CONTRACTORS, SUBMITTING CONTRACTOR SHALL PAY FOR ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT FUNCTION SAFELY AND PROPERLY.
20. CONTRACTOR SHALL FIELD VERIFY THE SIZE OF EXISTING OPENINGS, WINDOWS, DOORS, CORRIDORS, ROOMS, ETC. FOR ACCESS OF THE NEW EQUIPMENT INTO OR REMOVAL OF EXISTING EQUIPMENT FROM THE BUILDING. IF OPENINGS ARE TOO SMALL FOR ACCESS THEN CONTRACTOR SHALL, AT THEIR OWN EXPENSE, PROVIDE NEW OR ENLARGED OPENINGS AND RESTORE SAME TO ORIGINAL SIZE AND CONDITION. CONTRACTOR MAY ELECT TO ORDER THE EQUIPMENT DISASSEMBLED AND/OR WITH SPLIT HOUSING FOR ENTRANCE INTO THE EXISTING SPACE OR BUILDING. CONTRACTOR SHALL REASSEMBLE EQUIPMENT AFTER IT IS IN THE SPACE AT THEIR OWN EXPENSE.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THEIR ASSOCIATED FEES.
22. CONTRACTOR SHALL SUBMIT DIGITAL COPIES OF SHOP DRAWINGS OF ALL EQUIPMENT, DIFFUSERS, REGISTERS, TEMPERATURE CONTROL SYSTEM, FIRE DAMPERS, LIGHTING FIXTURES, PANELBOARDS, ELECTRICAL DEVICES, PLUMBING FIXTURES, ETC. TO ENGINEER FOR APPROVAL PRIOR TO ORDERING ANY ITEMS OR FABRICATING ANY DUCTWORK.
23. CONTRACTOR SHALL PROVIDE OWNER TRAINING ON ALL EQUIPMENT AND BUILDING SYSTEMS PROVIDED/ALTERED BY THEIR WORK. TRAINING SHALL BE ACCOMPLISHED DURING TIME DEDICATED FOR THAT PURPOSE, NOT IN CONJUNCTION WITH SERVICE WORK. SEE SPECIAL TEMPERATURE CONTROL TRAINING INSTRUCTIONS ELSEWHERE.
24. AT COMPLETION OF PROJECT, CONTRACTOR SHALL SUBMIT ONE PHYSICAL AND DIGITAL COPIES OF OPERATION AND MAINTENANCE MANUALS FOR ALL WORK PROVIDED BY THEM ON PROJECT. MANUALS SHALL BE CLEARLY ORGANIZED AND CONTAIN COPIES OF APPROVED EQUIPMENT, SHOP DRAWINGS, EQUIPMENT PARTS LISTS, SERVICE CONTACTS, CONTRACTOR AND MANUFACTURER WARRANTIES, AND 'AS BUILT' FLOOR PLANS.
25. CONTRACTOR SHALL PROVIDE WARRANTY FOR ALL MATERIAL AND GUARANTEE ALL WORKMANSHIP PROVIDED BY THEM FOR 1 (ONE) YEAR FROM SUBSTANTIAL COMPLETION OF WORK INVOLVED.
26. CONTRACTOR SHALL MAINTAIN A CURRENT CRYSTAL LAKE LICENSE THROUGHOUT ALL PHASES OF CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL INSPECTIONS WITH THE CRYSTAL LAKE OFFICIALS. CONTRACTOR SHALL PROVIDE ANY MINIMUM PRIOR NOTICE FOR INSPECTIONS WITH CRYSTAL LAKE OFFICIALS.
27. IDENTIFY ALL PIPING AND DUCTWORK WITH PLASTIC LABELS INDICATING CONTENTS AND FLOW DIRECTION. MARKERS TO BE PLACED AT A MAXIMUM OF 50 FT. INTERVALS AT BRANCH CONNECTIONS, AND AT BOTH SIDES OF WALL/FLOOR PENETRATIONS. IDENTIFY VALVES, EQUIPMENT, AND PANELS WITH ENGRAVED 3-LAYER PLASTIC LAMINATED TAGS OR SIGNS. IN ADDITION TO PROVIDING ENGRAVED PLASTIC NAMEPLATES ON THE VAV AND FFB BOXES, PROVIDE ENGRAVED PLASTIC NAMEPLATES ON THE CEILING GRID BELOW THE BOX. THE NAMEPLATE SHALL BE NO WIDER THAN THE WIDTH OF THE GRID (WHITE WITH BLACK LETTERS).

McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
 8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024

ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:

MEP NOTES AND DETAILS

SHEET NUMBER:

ME1.00



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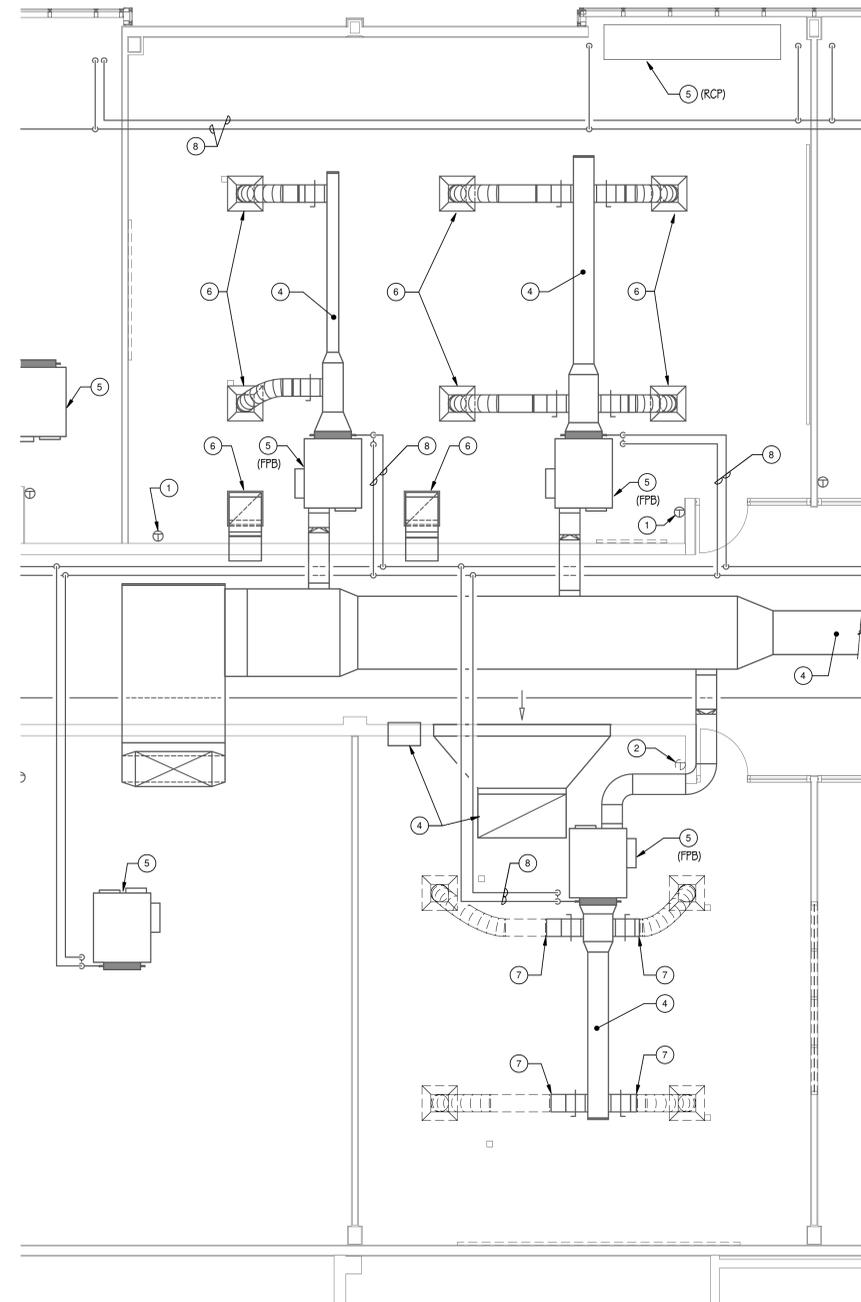
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SHEET NUMBER:

HVD1.10

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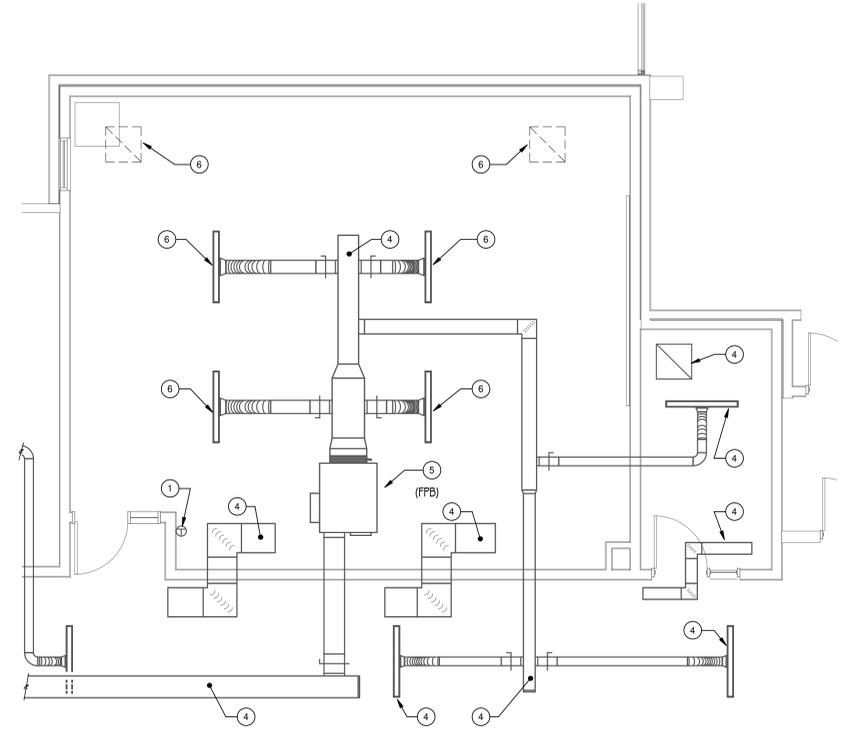


3 LEVEL 1 - FIRE SCIENCE HVAC DEMOLITION PLAN
 1/4" = 1'-0"

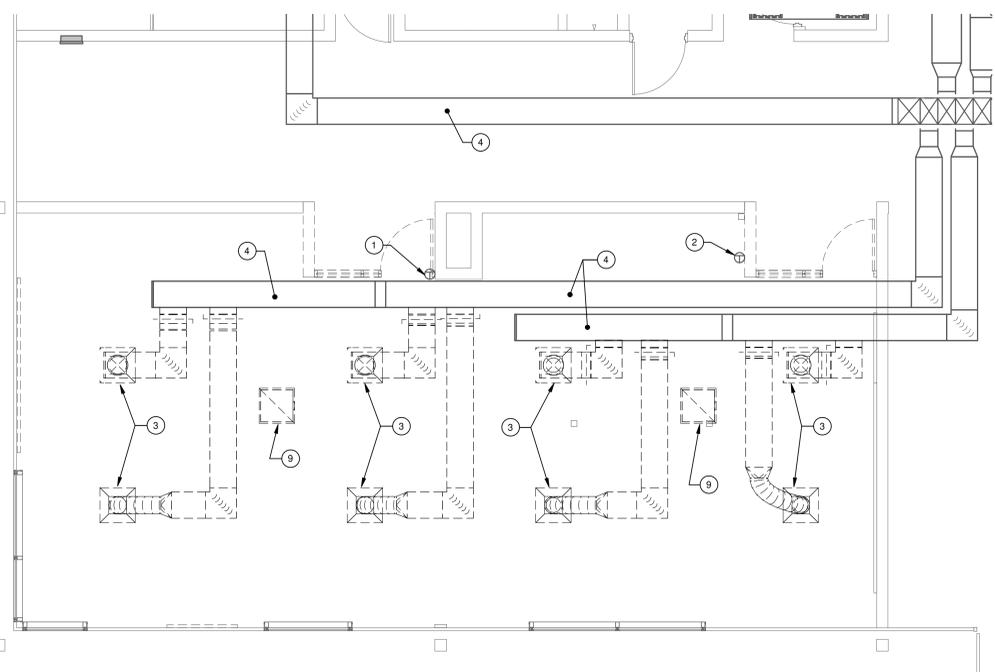
DRAWING NOTES

- EXISTING THERMOSTAT TO REMAIN.
- CAREFULLY REMOVE EXISTING THERMOSTAT INCLUDING ASSOCIATED CONDUIT, WIRING, PNEUMATIC TUBING, ETC. LOCATED ABOVE ANY ACCESSIBLE CEILING BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS. INSTALL AT NEW LOCATION AS INDICATED ON NEW WORK PLANS. PROVIDE BLANK COVER PLATE OVER ALL ABANDONED JUNCTION BOXES IN WALLS THAT ARE TO REMAIN.
- REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED AND CAP ANY UNUSED OPENING AT MAIN.
- EXISTING DUCTWORK, DIFFUSERS, REGISTERS, AND GRILLES TO REMAIN.
- EXISTING HVAC EQUIPMENT TO REMAIN.
- SUPPORT EXISTING DIFFUSERS, REGISTERS, GRILLES AND ASSOCIATED DUCTWORK AS REQUIRED TO ACCOMMODATE LIGHTING AND CEILING WORK THIS AREA. MODIFY/EXTEND DUCTWORK AS REQUIRED TO REINSTALL EXISTING DIFFUSER IN CEILING.
- NEW CONNECTION TO BE MADE AT THIS LOCATION. REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED BEYOND THIS POINT.
- EXISTING PIPING AND VALVING TO REMAIN.
- REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED.

BIDDING NOTE:
 PRIOR TO ANY WORK PERFORMED OR SYSTEM MODIFICATIONS, MEASURE EXISTING SUPPLY/RETURN/EXHAUST AIR FLOW RATES AT EACH EXISTING DIFFUSER/REGISTER/GRILLE WITHIN AREA OF WORK. MEASURE AIRFLOW RATE AT SUPPLY AND RETURN MAIN DUCTWORK AT EQUIPMENT PRIOR TO ANY TAKEOFFS. PROVIDE REPORT TO ENGINEER INDICATING EXISTING AIR FLOW RATES MEASURED, AND INCLUDE A MAP INDICATING WHERE EACH READING WAS TAKEN. INCLUDE IN REPORT ANY DUCTWORK OR SYSTEM DEFICIENCIES IDENTIFIED DURING EXISTING SYSTEM AIR FLOW TESTING.



2 LEVEL 1 - EMS CLASSROOM HVAC DEMOLITION PLAN
 1/4" = 1'-0"



1 LEVEL 1 - CAL CLASSROOM HVAC DEMOLITION PLAN
 1/4" = 1'-0"



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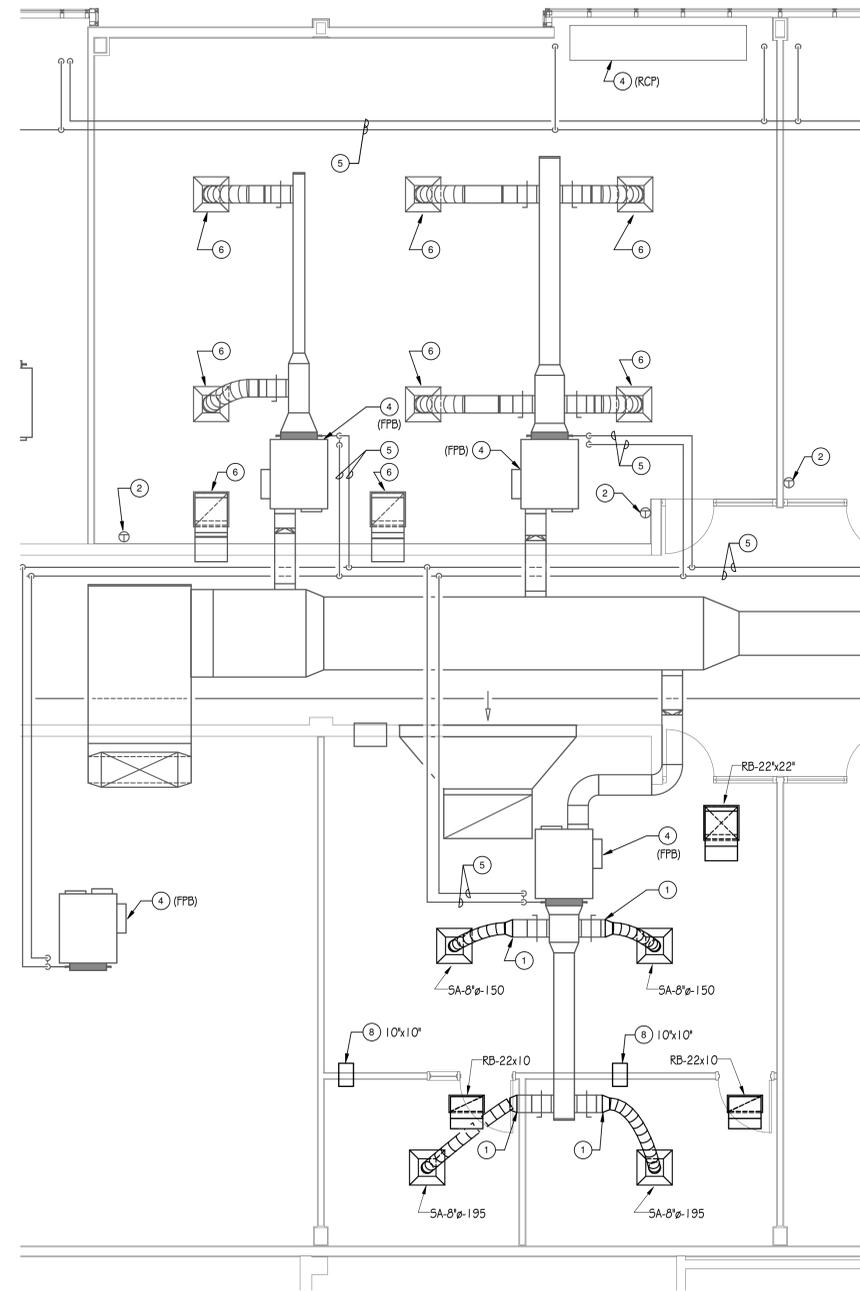
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SHEET TITLE:
HVAC PLANS-BP1

SHEET NUMBER:

HV1.10

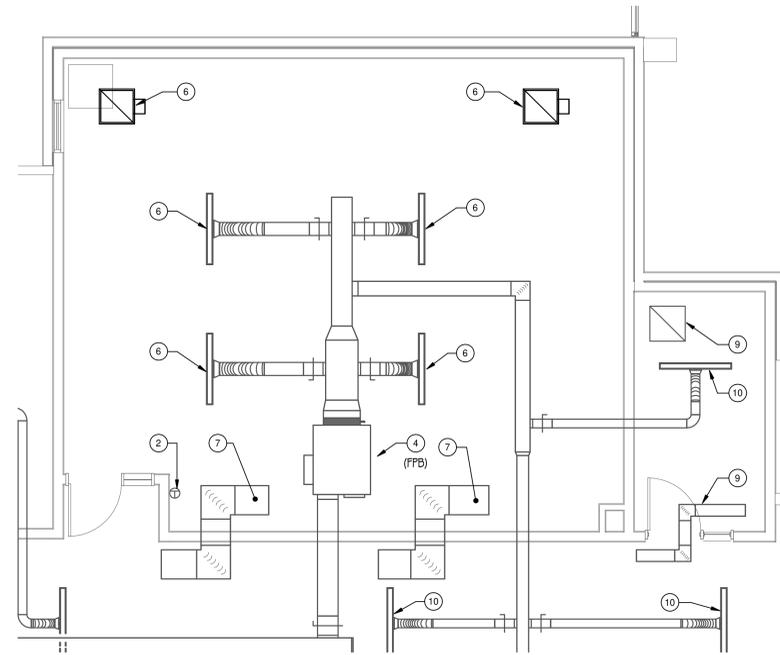
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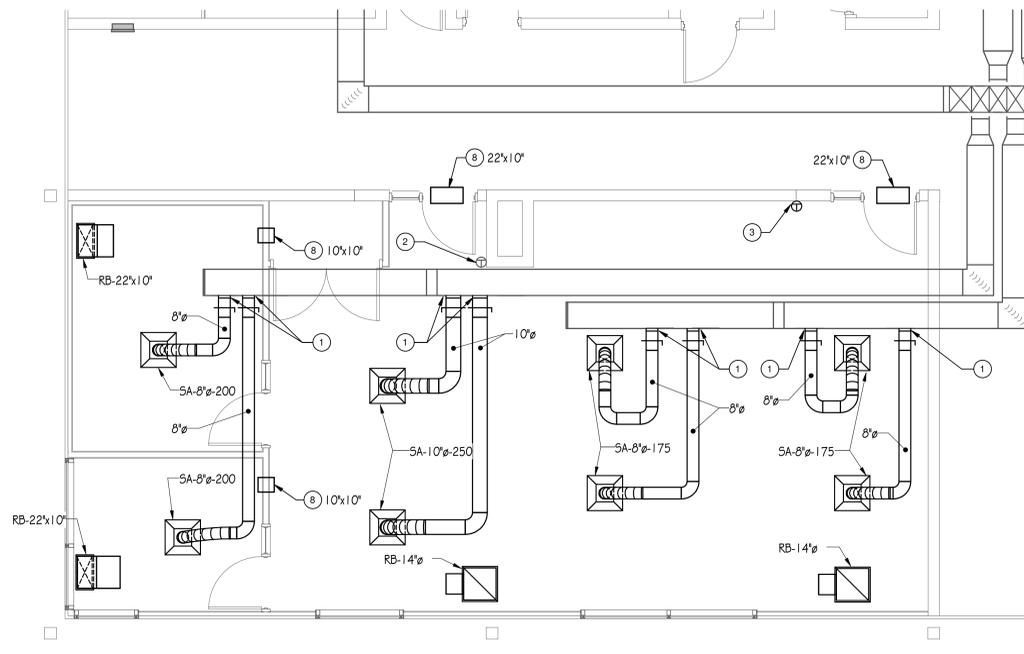
3 LEVEL 1 - FIRE SCIENCE HVAC PLAN
 1/4" = 1'-0"

DRAWING NOTES

- 1 MAKE NEW CONNECTION TO EXISTING DUCTWORK AT THIS LOCATION.
- 2 EXISTING THERMOSTAT TO REMAIN.
- 3 NEW LOCATION OF EXISTING THERMOSTAT. MODIFY/EXTEND CONDUIT, WIRING, PNEUMATIC TUBING, ETC. BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS.
- 4 EXISTING HVAC EQUIPMENT TO REMAIN.
- 5 EXISTING PIPING AND VALVING TO REMAIN.
- 6 EXTEND/MODIFY EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE INSTALLATION OF EXISTING DIFFUSER, REGISTER, OR GRILLE INTO CEILING. CLEAN TO BE FREE OF DUST/DIRT. BALANCE TO AIRFLOW RATE MEASURED PRIOR TO SYSTEM MODIFICATIONS.
- 7 EXISTING DUCTWORK, DIFFUSERS, REGISTERS, AND GRILLES TO REMAIN.
- 8 PROVIDE TRANSFER DUCT ABOVE CEILING OF SIZE INDICATED.
- 9 SUPPORT EXISTING DIFFUSERS, REGISTERS, GRILLES AND ASSOCIATED DUCTWORK AS REQUIRED TO ACCOMMODATE LIGHTING AND CEILING WORK THIS AREA. MODIFY/EXTEND DUCTWORK AS REQUIRED TO REINSTALL EXISTING DIFFUSER IN CEILING.
- 10 BALANCE EXISTING DIFFUSER TO AIRFLOW RATE MEASURED PRIOR TO SYSTEM MODIFICATIONS.



2 LEVEL 1 - EMS CLASSROOM HVAC PLAN
 1/4" = 1'-0"



1 LEVEL 1 - CAL CLASSROOM HVAC PLAN
 1/4" = 1'-0"



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HVAC PLANS - BP1

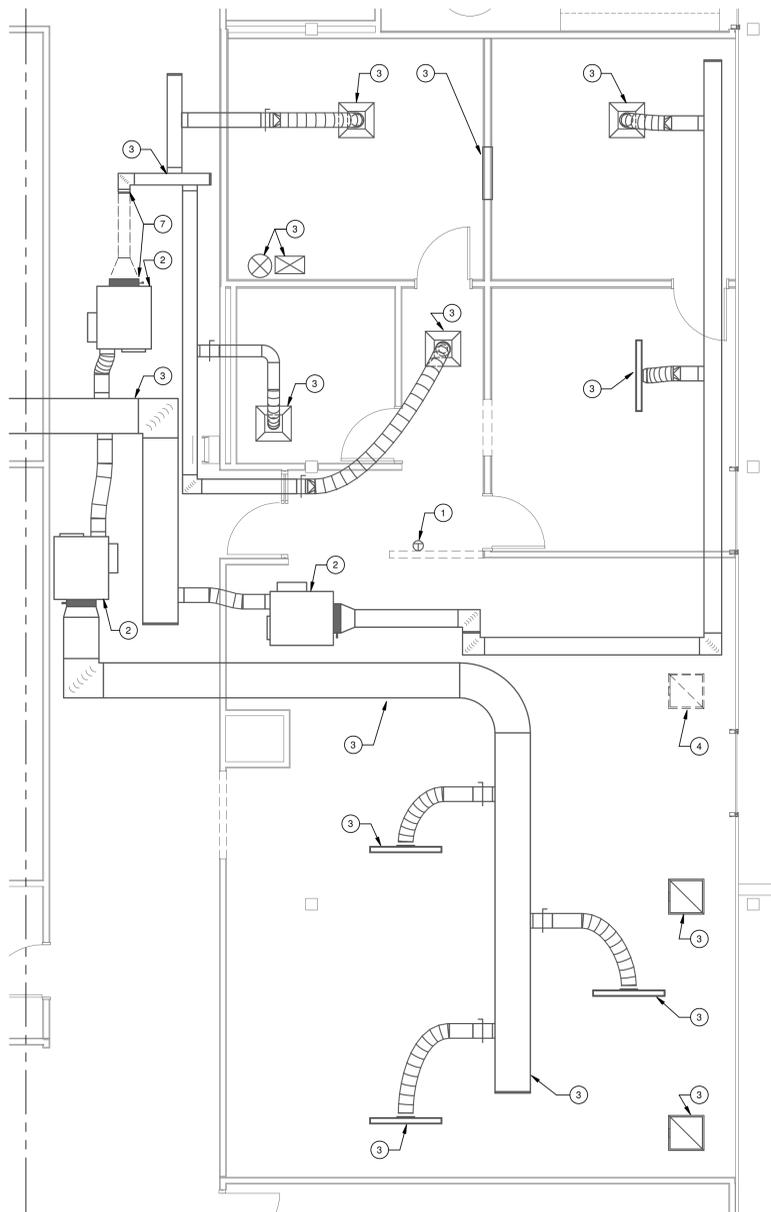
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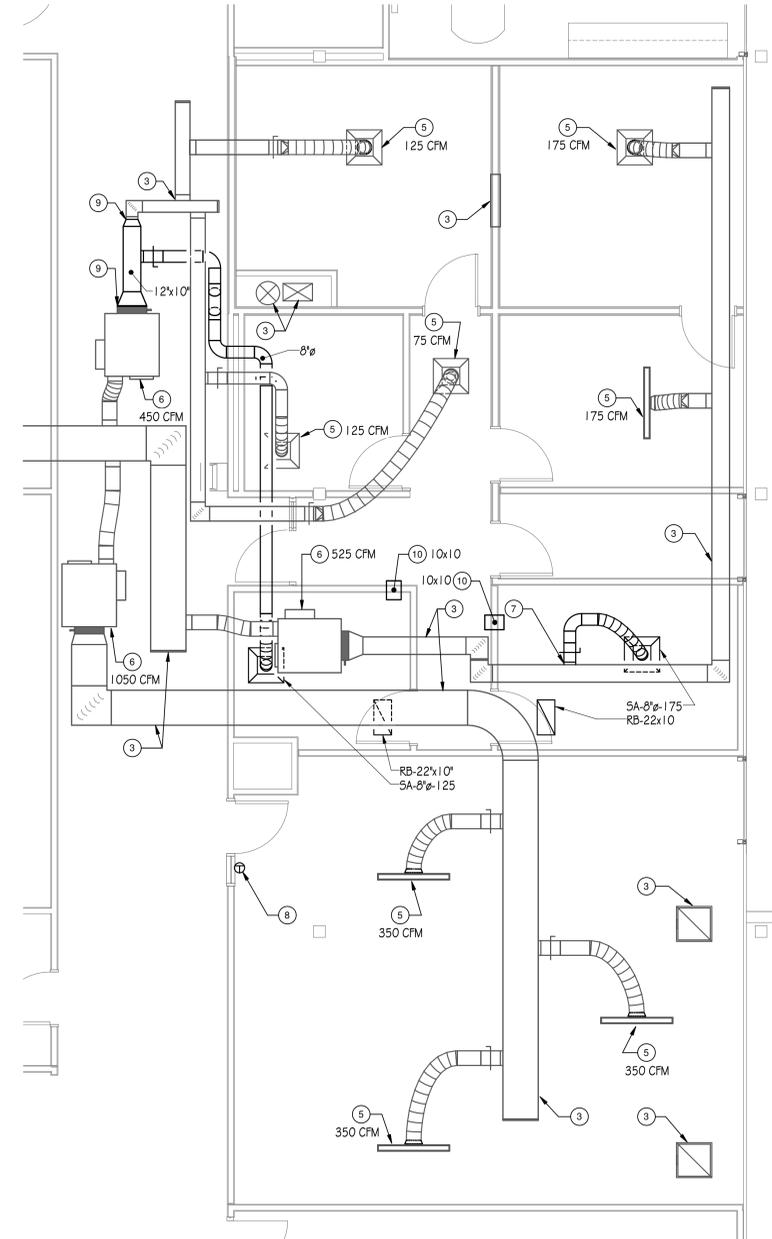
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DRAWING NOTES

- CAREFULLY REMOVE EXISTING THERMOSTAT INCLUDING ASSOCIATED CONDUIT, WIRING, PNEUMATIC TUBING, ETC. LOCATED ABOVE ANY ACCESSIBLE CEILING BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS. INSTALL AT NEW LOCATION AS INDICATED ON NEW WORK PLANS. PROVIDE BLANK COVER PLATE OVER ALL ABANDONED JUNCTION BOXES IN WALLS THAT ARE TO REMAIN.
- EXISTING HVAC EQUIPMENT TO REMAIN.
- EXISTING DUCTWORK, DIFFUSERS, REGISTERS, AND GRILLES TO REMAIN.
- REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED.
- BALANCE EXISTING DIFFUSER TO AIRFLOW RATE MEASURED PRIOR TO SYSTEM MODIFICATIONS.
- BALANCE EXISTING HVAC EQUIPMENT TO AIRFLOW RATE INDICATED.
- NEW CONNECTION TO BE MADE AT THIS LOCATION. REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED BEYOND THIS POINT.
- NEW LOCATION OF EXISTING THERMOSTAT. MODIFY/EXTEND CONDUIT, WIRING, PNEUMATIC TUBING, ETC. BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS.
- MAKE NEW CONNECTION TO EXISTING DUCTWORK AT THIS LOCATION.
- PROVIDE TRANSFER DUCT ABOVE CEILING OF SIZE INDICATED.



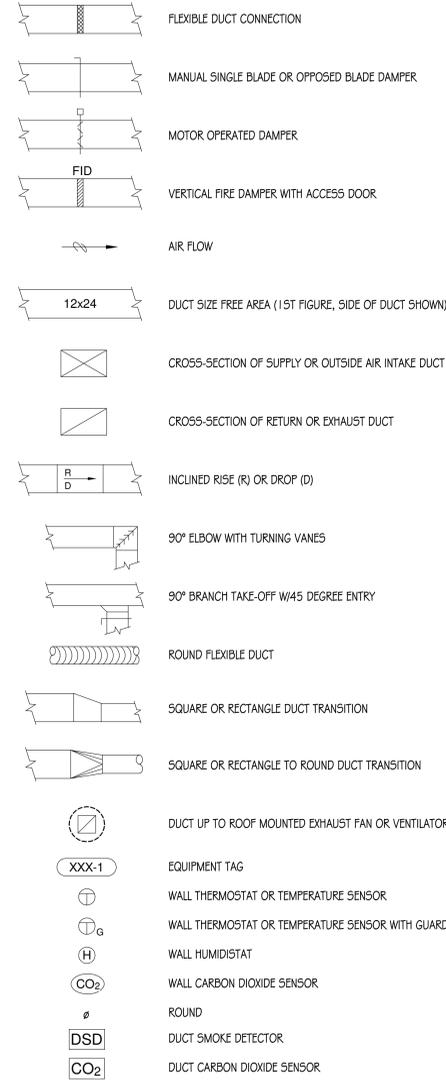
1 HVAC DEMOLITION PLAN - A229
 1/4" = 1'-0"



2 HVAC PLAN - A229
 1/4" = 1'-0"

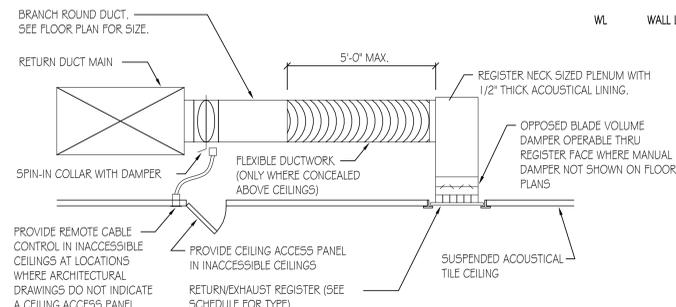
HVAC SYMBOLS AND ABBREVIATIONS

ACCU	AIR COOLED CONDENSING UNIT	FTR	FINNED TUBE RADIATION	HWS	HOT WATER SUPPLY
AD	ACCESS DOOR	G	GAS PIPING	HWR	HOT WATER RETURN
A.F.F.	ABOVE FINISHED FLOOR	GC	GENERAL CONTRACTOR	CA	COMPRESSED AIR (NON-MEDICAL)
AHU	AIR HANDLING UNIT	GPM	GALLONS PER MINUTE	G	NATURAL GAS
AP	ACCESS PANEL	HE	HEAT EXCHANGER	RS	REFRIGERANT SUCTION
BAS	BUILDING AUTOMATION SYSTEM	HP	HORSEPOWER	RL	REFRIGERANT LIQUID
BHP	BRAKE HORSEPOWER	HWC	HOT WATER COIL	D	DRAIN LINE
BOP	BOTTOM OF PIPE	HWR	HOT WATER RETURN	BV	BALL VALVE (2" & SMALLER) BUTTERFLY VALVE (2 1/2" & LARGER)
BTU	BRITISH THERMAL UNIT	HWS	HOT WATER SUPPLY	DF	DIRECTION OF FLOW
BTUH	BRITISH THERMAL UNIT PER HOUR	LAT	LEAVING AIR TEMPERATURE	P	PITCH OF PIPE (DOWN)
CFM	CUBIC FEET PER MINUTE	LWT	LEAVING WATER TEMPERATURE	PE	PIPE ELBOW (TURNED UP)
CU	CONDENSING UNIT	MCA	MINIMUM CIRCUIT AMPS	PE	PIPE ELBOW (TURNED DOWN)
CUH	CABINET UNIT HEATER	MOC	MAXIMUM OVERCURRENT PROTECTION	PT	PIPE TEE DOWN (DROP)
CV	CONVECTOR	MOD	MOTOR OPERATED DAMPER	PT	PIPE TEE UP
D	DRAIN LINE	NC	NEW CONNECTION	PT	PIPE TEE UP OR ANGLE
DB	DRY BULB	NK	NECK	PT	PIPE TEE DOWN OR ANGLE
DG	DOOR GRILLE	N.I.C.	NOT IN CONTRACT	NC	NEW CONNECTION
DN	DOWN	PD	PRESSURE DROP	GR	GAS PRESSURE REGULATOR
D5	DUCT SILENCER	PH	PHASE		
D5D	DUCT SMOKE DETECTOR	PSI	POUNDS PER SQUARE INCH		
EAT	ENTERING AIR TEMPERATURE	RPM	REVOLUTIONS PER MINUTE		
EF	EXHAUST FAN	RTU	ROOFTOP UNIT		
EFT	ELECTRIC FINNED TUBE	SP	STATIC PRESSURE		
ESP	EXTERNAL STATIC PRESSURE	SUH	SUSPENDED UNIT HEATER		
EWT	ENTERING WATER TEMPERATURE	TC	TEMPERATURE CONTROL		
F	FAHRENHEIT	TSP	TOTAL STATIC PRESSURE		
FD	FLOOR DRAIN	TYP.	TYPICAL		
FID	FIRE DAMPER	UC	UNDERCUT DOOR		
FPB	SERIES FAN POWERED BOX	VAV	VARIABLE AIR VOLUME BOX		
FPB	PARALLEL FAN POWERED BOX	VD	VOLUME DAMPER		
FPF	FINS PER FOOT	VFD	VARIABLE FREQUENCY DRIVE		
FBM	FEET PER MINUTE	WB	WET BULB		
		W.C.	WATER COLUMN		
		WL	WALL LOUVER		

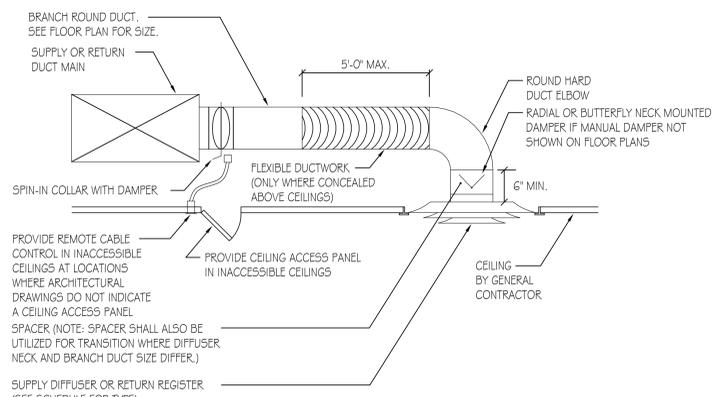


GENERAL NOTES - HVAC WORK:

- ALL NEW WORK AND MATERIALS SHALL CONFORM TO CRYSTAL LAKE CODE AND BUILDING STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS AND PAYING THEIR ASSOCIATED FEES.
- NOISE AND VIBRATION WILL NOT BE TOLERATED. CONTRACTOR SHALL BID ON FURNISHING EVERY DETAIL TO ASSURE THIS END.
- PATCH AND REFINISH ALL DAMAGED INSULATED SURFACES OF ALL EXISTING DUCTWORK, PIPING AND ASSOCIATED FITTINGS TO MATCH EXISTING WHERE NEW CONNECTIONS ARE BEING MADE.
- CONTRACTORS SHALL PROVIDE A ONE YEAR WARRANTY ON ALL MATERIALS, EQUIPMENT AND LABOR FROM DATE OF SUBSTANTIAL COMPLETION OF WORK.
- THE LOCATIONS SHOWN FOR ALL DIFFUSERS, REGISTERS AND GRILLES, ETC. ARE DIAGRAMMATIC. EXACT LOCATION SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS AND/OR ON THE JOB SITE BY THE ARCHITECT/ENGINEER REPRESENTATIVES.
- EXCEPT AS NOTED OTHERWISE, ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE GALVANIZED SHEET METAL WITH SEALED JOINTS CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH CURRENT SMACNA MANUAL. SIZES SHOWN ARE INSIDE FACE TO INSIDE FACE.
- ROUND EXPOSED SUPPLY OR RETURN DUCTWORK SHALL BE SINGLE WALL SPIRAL GALVANIZED.
- THE GAUGES OF IRON FOR DUCTS AND CASINGS AND SIZE OF STRUCTURAL REINFORCING ANGLES FOR DUCTS AND CASING SHALL BE SUCH AS TO PROVIDE ABSOLUTELY AIR TIGHT CONSTRUCTION FREE FROM PULSATION, DEFORMATION, OR VIBRATION AT NORMAL OPERATING PRESSURES.
- ALL NEW CONCEALED SUPPLY DUCTWORK OUTSIDE OF MECHANICAL ROOM ASHALL BE EXTERNALLY INSULATED WITH MINIMUM 1 1/2" THICK WITH FLEXIBLE FIBERGLASS INSULATION WITH VAPOR BARRIER JACKET.
- ALL ROUND CONCEALED FLEXIBLE DUCT SHALL BE WIREMOLD OR THERMOFLEX FACTORY INSULATED 1" THICK MAXIMUM OF 5'-0" LONG TO DIFFUSERS/REGISTERS, MAXIMUM OF 3'-0" LONG TO VAV OR FAN POWERED BOXES. FLEXIBLE DUCT MAY BE UTILIZED ONLY WHERE CONCEALED ABOVE ACCESSIBLE CEILINGS.
- ALL NEW RECTANGULAR RETURN AND TRANSFER DUCTWORK SHALL BE INTERNALLY LINED MINIMUM 1" THICK WITH MATT FACED FIBERGLASS DUCT LINER.
- PROVIDE MANUAL VOLUME DAMPERS AT EACH BRANCH DUCT TAKEOFF IN SUPPLY DUCTWORK (DOWNSTREAM OF FPB AND VAV BOXES) AND IN RETURN/EXHAUST DUCTWORK. PROVIDE TURNING VANES IN ALL SQUARE DUCT ELBOWS.
- FIRE DAMPERS SHALL BE RUSKIN MODEL D1BD WITH BLADE STACK OUTSIDE OF THE AIRSTREAM. PROVIDE DUCT ACCESS DOOR ADJACENT.
- PAINT ALL INTERIOR DUCTWORK VISIBLE THROUGH AIR INLETS OR OUTLETS FLAT BLACK.
- CONTRACTOR SHALL PROVIDE NEW FILTERS AND CLEAN CONDENSER COIL FOR EXISTING MECHANICAL EQUIPMENT SERVING AREAS OF WORK WHERE MECHANICAL SYSTEMS ARE MODIFIED.
- BALANCE DUCT SYSTEMS TO ACCOMPLISH AIR QUANTITIES SHOWN AT ALL INLETS/OUTLETS (NEW AND EXISTING) AS SHOWN ON DRAWING AND SUBMIT TEST REPORT FOR REVIEW BY OWNER AND ENGINEER.
- HOT WATER HEATING SUPPLY AND RETURN PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH WELDED OR SCREWED FITTINGS OR TYPE "L" COPPER WITH SOLDERED OR PRESSED FITTINGS, INSULATED WITH 1 1/2" THICK (1 1/4" AND BELOW) OR 2" THICK (1 1/2" AND ABOVE) FIBERGLASS WITH ALL SERVICE JACKET. PROVIDE DIELECTRIC NIPPLES OR BRASS VALVES BETWEEN DISSIMILAR PIPE MATERIALS.
- NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK AND CONFORM WITH ASTM STANDARDS WELDED FOR PIPE SIZES 2 1/2" AND OVER AND SCREWED FOR PIPE SIZES 2" AND UNDER. WIRE BRUSH CLEAN AND PAINT ALL PIPING AND FITTINGS WITH 2 COATS OF RUST RESISTANT PAINT.
- ALL PIPING SHALL BE SUSPENDED WITH CLEVIS AND/OR TRAPEZE PIPE HANGERS. INSULATED PIPING SHALL REST ON SHEET METAL INSULATION SHIELDS. (ANCHORS SHALL BE DRILLED INTO EXISTING FLOOR CONSTRUCTION).
- PITCH ALL SUPPLY AND RETURN WATER LINES TO DRAIN COMPLETELY THROUGH LOWER EQUIPMENT, UNIONS, OR DRAIN VALVES. INSTALL A 1/2" DRAIN VALVE WITH HOSE THREAD OUTLET IN ALL MAIN PIPING RUNS WHICH WOULD NOT BE ABLE TO DRAIN THRU A LOWER PIECE OF EQUIPMENT. PROVIDE MANUAL AIR VENTS IN ALL PIPE DROPS IN DIRECTION OF FLOW.
- FLUSH, CLEAN, PRESSURE TEST AND CHARGE ALL NEW PIPING SYSTEMS AND EXTENSION TO PIPING SYSTEMS. TESTING SHALL BE MINIMUM 50 PSI HIGHER THAN NORMAL OPERATING PRESSURE OF SYSTEM. CLEANING OF SYSTEM SHALL BE ACCOMPLISHED WITH H-O-H C-312 (OR EQUAL) CHEMICAL SOLUTION MULTIPURPOSE CLEANER UTILIZED IN STRICT ACCORDANCE WITH CHEMICAL TREATMENT SUPPLIER'S INSTRUCTION.
- ALL HYDRONIC SYSTEMS TO BE PROVIDED WITH H-O-H C5-39 (OR EQUAL) CHEMICAL SOLUTION CORROSION INHIBITOR IN CONCENTRATIONS RECOMMENDED BY AND INSTALLED IN STRICT ACCORDANCE WITH CHEMICAL SUPPLIER'S INSTRUCTION. PROVIDE 30% PROPYLENE GLYCOL FOR ALL CLOSED WATER SYSTEMS SUBJECT TO FREEZING.
- BALL VALVES SHALL BE STOCKHAM, MILWAUKEE, OR NIBCO M55 SP 110, 400 PSI WOG, ONE PIECE BRONZE BODY, CHROME PLATED BRASS BALL, FULL PORT, TEFLON SEATS, BLOW-OUT PROOF STEM, SOLDER ENDS, LEVER HANDLE.
- PROVIDE GAS SHUT-OFF VALVE AT EACH PIECE OF EQUIPMENT AND PRESSURE REGULATORS WHERE REQUIRED. VENT ALL PRESSURE REGULATORS WITHIN THE BUILDING FULL SIZE TO BUILDING EXTERIOR.
- BALANCE HOT WATER HEATING SYSTEM TO ACCOMPLISH WATER FLOW SHOWN AT ALL TERMINALS AS SHOWN ON DRAWINGS AND SUBMIT TEST REPORT FOR REVIEW BY OWNER AND ENGINEER.
- ALL TEMPERATURE CONTROL WORK SHALL MATCH EXISTING SYSTEM CURRENTLY INSTALLED IN BUILDING.
- LOW VOLTAGE WIRING SHALL BE UL LISTED AND PLENUM RATED (LOW SMOKE PRODUCING). WIRING SHALL BE CONCEALED IN WALLS AND MAY BE INSTALLED WITHOUT CONDUIT ABOVE ACCESSIBLE LAY-IN CEILING SPACES ONLY.



RETURN/EXHAUST REGISTER INSTALLATION DETAIL
NO SCALE



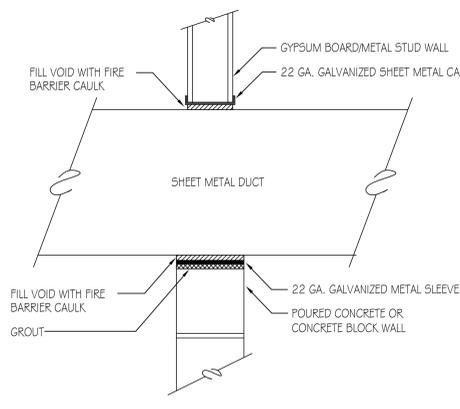
DIFFUSER/REGISTER INSTALLATION DETAIL
NO SCALE

DIFFUSER, REGISTER, AND GRILLE SCHEDULE						
TAG	MANUFACTURER	MODEL	TYPE	NOMINAL FACE SIZE	MATERIAL	MAX. N.C.
A	TITUS	OMNI	SQUARE PANEL FACE	24"x24"	STEEL	30
B	TITUS	50F	EGG CRATE	VARIES	ALUMINUM	30
C	TITUS	30R	HEAVY DUTY 0 DEG. DEFLECTION GRILLE	VARIES	STEEL	30

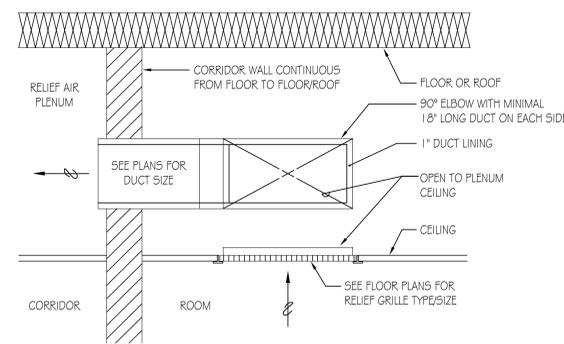
NOTES:
 1. OTHER ACCEPTABLE MANUFACTURERS: PRICE, CARNES.
 2. FINISH AS SELECTED BY ARCHITECT.
 3. OPPOSED BLADE DAMPER WHERE BRANCH DAMPER NOT INDICATED ON DRAWINGS.
 4. 1/2"x1/2"x1" OR 1/2"x1/2"x1/2" W 45 DEG. DEFLECTION GRID.

FLOOR PLAN TAG LEGEND:
 S= SUPPLY
 R= RETURN/RELIEF
 E= EXHAUST
 AIR FLOW (CFM)
 NECK SIZE (IN.)

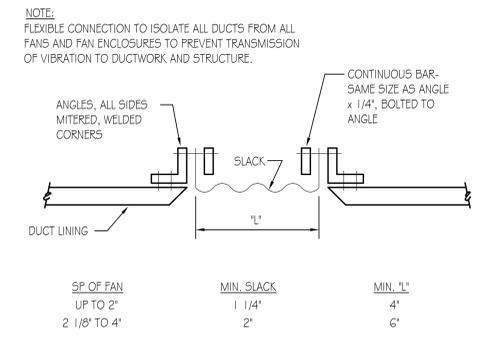
BIDDING NOTE:
 SEE DRAWINGS ME1.00 FOR GENERAL NOTES AND ADDITIONAL DETAILS APPLICABLE TO THIS TRADE'S WORK.



DUCT SLEEVE THRU INTERIOR WALL DETAIL
NO SCALE



TYPICAL RELIEF REGISTER DETAIL
NO SCALE



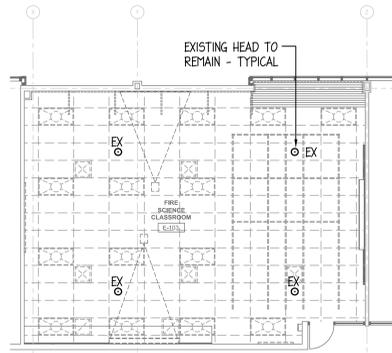
FLEXIBLE CONNECTION
NO SCALE

NO.	DESCRIPTION	DATE

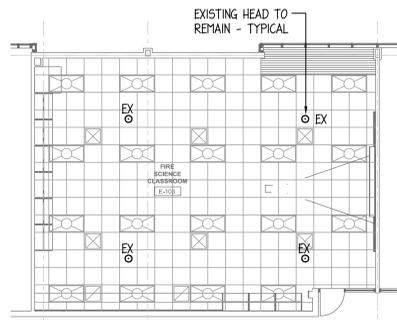


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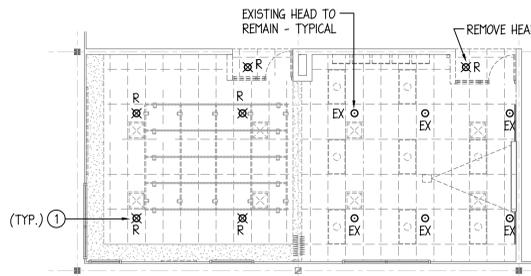
MEP-FP-T-ENGINEERS
 2010 ENGINEERING GROUP, LLC
 1216 TOWER ROAD
 SCHAUMBURG, IL 60173
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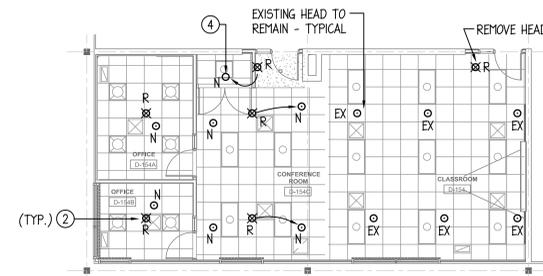
1 DEMO FIRE PROTECTION PLAN - FIRE SCIENCE
 1/8" = 1'-0"



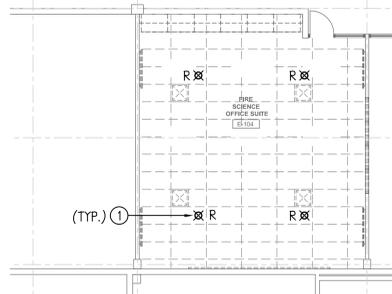
2 FIRE PROTECTION PLAN - FIRE SCIENCE
 1/8" = 1'-0"



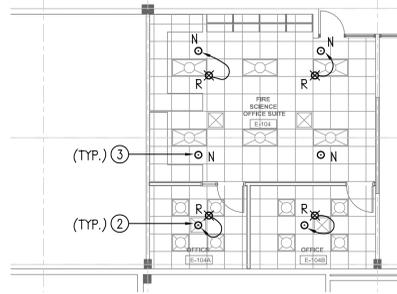
3 DEMO FIRE PROTECTION PLAN - CAL CLASSROOM
 1/4" = 1'-0"



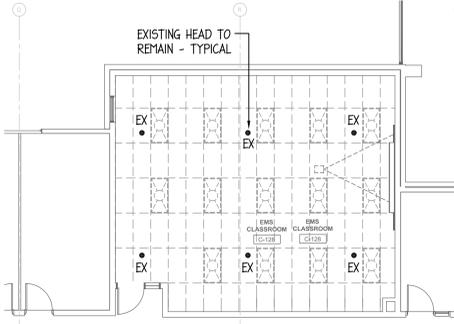
4 FIRE PROTECTION PLAN - CAL CLASSROOM
 1/4" = 1'-0"



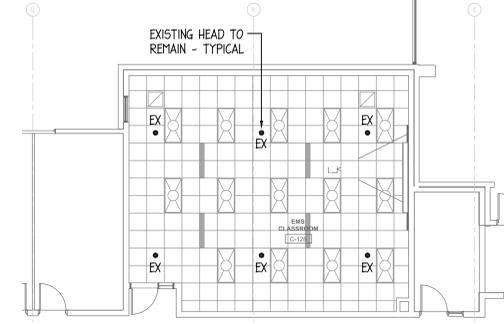
1 DEMO FIRE PROTECTION PLAN - FIRE SCIENCE
 1/8" = 1'-0"



2 FIRE PROTECTION PLAN - FIRE SCIENCE
 1/8" = 1'-0"



5 DEMO FIRE PROTECTION PLAN - EMS CLASSROOM
 1/4" = 1'-0"



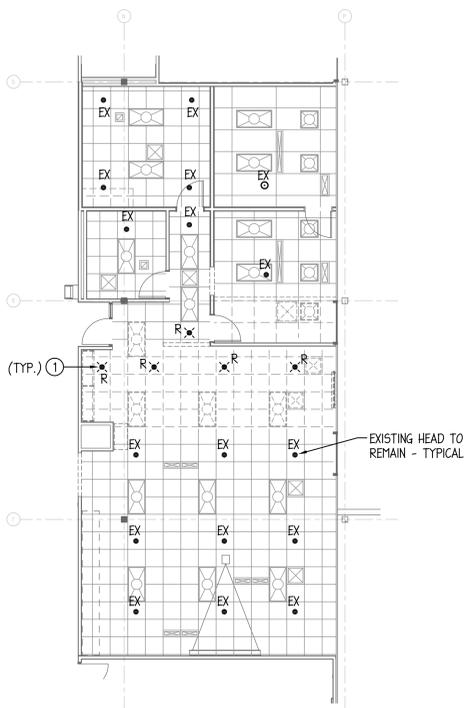
6 FIRE PROTECTION PLAN - EMS CLASSROOM
 1/4" = 1'-0"

SPRINKLER HEAD LEGEND:

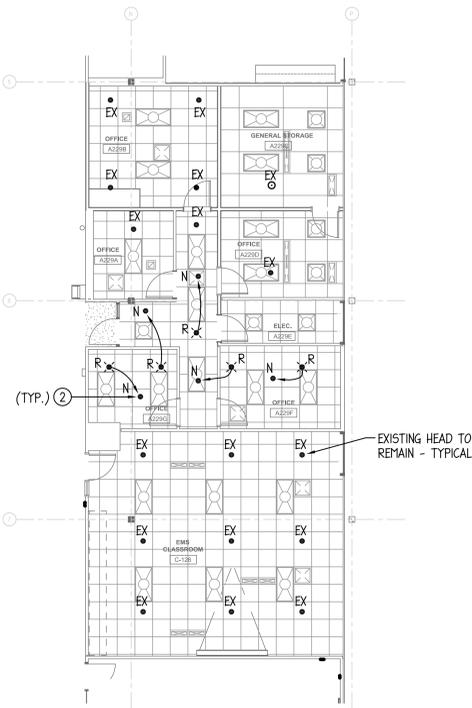
- EX ○ EXISTING SPRINKLER HEAD TO REMAIN
- R ⊗ REMOVE EXISTING HEAD
- N ○ NEW SPRINKLER HEAD, SEMI-RECESSED PENDENT, STANDARD COVERAGE, WHITE FINISH.
- N ● NEW SPRINKLER HEAD, CONCEALED PENDENT, STANDARD COVERAGE, WHITE FINISH.
- N ○ NEW UPRIGHT SPRINKLER HEAD
- N ○ REMOVE EXISTING HEAD, PROVIDE NEW HEAD AT NEW LOCATION, CENTER HEAD IN GRID AND ADJUST ELEVATION TO NEW CEILING HEIGHT

DRAWING NOTES:

- 1 REMOVE EXISTING HEAD LABELED WITH "R", REMOVE EXISTING BRANCH PIPING BACK TO A POINT WHERE IT CAN EXTENDED TO NEW LOCATION SHOWN PER NEW WORK PLAN.
- 2 REMOVE EXISTING HEAD LABELED WITH "R", REMOVE EXISTING BRANCH PIPING BACK TO A POINT WHERE IT CAN EXTENDED TO NEW LOCATION SHOWN, PROVIDE NEW HEAD LABELED WITH "N" AT LOCATION SHOWN CENTERED IN GRID AT NEW ELEVATION AND EXTEND BRANCH PIPING TO NEW HEAD LOCATION.
- 3 PROVIDE NEW HEAD LABELED WITH "N" AT LOCATION SHOWN CENTERED IN GRID AT NEW ELEVATION AND EXTEND NEW BRANCH PIPING TO NEW HEAD LOCATION.
- 4 PROVIDE NEW UPRIGHT TYPE HEAD LABELED WITH "N" AT LOCATION SHOWN, EXTEND NEW BRANCH PIPING TO NEW HEAD LOCATION.



7 DEMO FIRE PROTECTION PLAN - A229
 1/8" = 1'-0"



8 FIRE PROTECTION PLAN - A229
 1/8" = 1'-0"

**McHenry County College
 2024 RENOVATIONS - BID PACKAGE 1**

8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO.: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
FIRST AND SECOND FLOOR FIRE PROTECTION PLANS

SHEET NUMBER:

FP1.10



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MEP-FP-T-ENGINEERS
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GENERAL NOTES - FIRE PROTECTION:

GENERAL

- 1.1 SYSTEM TO PROVIDE COVERAGE FOR BUILDING AREAS NOTED. SYSTEMS SHALL CONFORM TO THE DESIGN CRITERIA REQUIRED BY NFPA-13 AND THE LOCAL AUTHORITY HAVING JURISDICTION. WORKING PLANS AND CALCULATIONS SHALL BE SUBMITTED TO LOCAL APPROVAL AGENCIES AND TO OWNERS FIRE PROTECTION CONSULTANT FOR APPROVAL.
- 1.2 ALL WORK SHALL BE INSTALLED AND ALL MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF NFPA-13, 2016 EDITION AND ALL LOCAL AMENDMENTS.
- 1.3 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THEIR ASSOCIATED FEES.
- 1.4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL INSPECTIONS WITH THE LOCAL AUTHORITY HAVING JURISDICTION.
- 1.5 DRAWINGS ARE GENERALLY DIAGRAMMATIC. ROUTING OF PIPING, ETC., AS SHOWN ON DRAWINGS, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.
- 1.6 ALL EXISTING PIPING INFORMATION SHOWN ON THIS DRAWING HAS BEEN OBTAINED FROM OWNER'S EXISTING CONSTRUCTION DOCUMENTS AND LIMITED FIELD SURVEY. EXACT LOCATION OF EXISTING SPRINKLER SYSTEM COMPONENTS SHALL BE FIELD VERIFIED BEFORE STARTING INSTALLATION.
- 1.7 THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE INSTALLATION AND TESTING PERIODS OF THE FIRE SPRINKLER SYSTEM WORK, FOR ANY MATERIAL DAMAGE TO THE WORK OF THE OWNER OR OTHERS, AND TO THE PROPERTY AND MATERIALS OF THE OWNER OR OTHERS, INCLUDING CEILING SPRINKLER TILES, AND INCLUDING DAMAGE CAUSED BY GREASE, OIL, OR LEAKS IN SPRINKLER EQUIPMENT, FITTINGS, OR BY DISCONNECTED PIPES.
- 1.8 THE CONTRACTOR SHALL REVIEW THE DRAWINGS OF ALL OTHER TRADES INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, HVAC, PLUMBING AND ELECTRICAL AS TO REVIEW FOR ADDITIONAL AREAS AND ASPECTS OF THE REQUIRED SPRINKLER DESIGN NOT SHOWN. CONTRACTOR SHALL VERIFY THE SPRINKLER REQUIREMENTS OF ALL SKYLIGHTS, CEILING POCKETS, FLOATING CEILINGS, CEILING ELEVATIONS, CEILING TYPES AND CONSTRUCTION, ATTIC SPACES, OVERBUILD ATTIC SPACES, STAIRCASE AND STAIRCASE LANDINGS, ELECTRICAL ROOMS, LIGHT FIXTURES, DUCTWORK, FURNITURE, AND OTHER OBSTRUCTIONS BY ARCHITECTURAL AND STRUCTURAL COMPONENTS. CONTRACTOR SHALL PROVIDE ALL REQUIRED SPRINKLER COVERAGE TO ADDRESS SUCH BUILDING CHARACTERISTICS.

HAZARD CLASSIFICATIONS AND HYDRAULIC CALCULATIONS

- 2.1 CONTRACTOR SHALL REVIEW ALL FLOOR PLANS AND DETERMINE EACH ROOM SPECIFIC HAZARD PER THE REQUIREMENTS OF NFPA-13. SPRINKLER DESIGN SHALL ADHERE TO THE STANDARDS SET FORTH IN NFPA-13.
- 2.2 LIGHT HAZARD AREAS SHALL BE DESIGNED TO 0.10 GPM PER SQUARE FOOT, 225 SQ.FT PER HEAD WITH A REMOTE AREA OF 1500 SQUARE FEET. AN AREA OF LESS THAN 1,500 SQUARE FEET MAY BE PERMITTED WHEN THE USE OF QUICK RESPONSE HEADS QUALIFIES FOR AN AREA REDUCTION. AREA SIZES SHALL BE DETERMINED BY THE REGULATIONS OF NFPA-13. ROOM TYPES SHALL INCLUDE BUT NOT BE LIMITED TO CLASSROOMS, TOILET ROOMS, CORRIDORS, VESTIBULES, MULTI-PURPOSE ROOMS, STAIRWAYS, EXAM ROOMS, OFFICE SPACES, ETC.
- 2.3 ORDINARY HAZARD GROUP I AREAS SHALL BE DESIGNED TO 0.15 GPM PER SQUARE FOOT, 130 SQ.FT PER HEAD WITH A REMOTE AREA OF 1,500 SQUARE FEET. ROOM TYPES SHALL INCLUDE BUT NOT BE LIMITED TO STORAGE ROOMS, ELECTRICAL ROOMS, MECHANICAL ROOMS, BOILER ROOM, SERVER ROOMS, ETC.

SHOP DRAWINGS, SUBMITTALS AND CLOSEOUT DOCUMENTS

- 3.1 SHOP DRAWINGS: PROVIDE A MINIMUM 1/8"=1'-0" SCALE LAYOUT IN ALL AREAS INDICATING SPRINKLER LOCATIONS COORDINATED WITH CEILING INSTALLATION. INDICATE HYDRAULIC CALCULATIONS REFERENCE POINTS, DETAILED PIPE LAYOUT INCLUDING PIPE SIZE, LENGTH, AND ELEVATION, HANGERS AND SUPPORTS, SPRINKLERS, COMPONENTS AND ACCESSORIES. INDICATE SYSTEM CONTROL VALVE, DRAIN VALVE, AUXILIARY DRAIN VALVE, AND INSPECTOR'S TEST LOCATIONS. INDICATE PIPE MATERIALS USED, JOINTING METHODS, SUPPORTS, FLOOR AND WALL PENETRATION SEALS AND REFERENCE ALL REQUIRED CODES. INDICATE SUPPORT DETAILS, REMOTE AREAS IDENTIFIED, SPRINKLER HEAD SUMMARY AND SITE PLAN OF WATER MAIN TO STREET CONNECTION. SUBMIT HYDRAULIC CALCULATIONS FOR EACH ZONE, OCCUPANCY TYPE, HAZARD TYPE, ETC.

- 3.2 PRODUCT DATA: SUBMIT DATA ON SPRINKLERS AND SPECIALTIES, INCLUDING HEADS, PIPING, VALVES, PIPE HANGERS, BACKFLOW PREVENTER, MANUFACTURERS CATALOG INFORMATION, SUBMIT PERFORMANCE RATINGS, ROUGH-IN DETAILS, SUPPORT REQUIREMENTS, AND PIPING CONNECTIONS.
- 3.3 PROJECT RECORD DOCUMENTS: PROVIDE UPDATED VERSION OF MINIMUM 1/8" = 1'-0" SCALE COORDINATION SHOP DRAWINGS INDICATING ACTUAL LOCATIONS OF VALVES, PIPING ABOVE AND BELOW GRADE, SPRINKLER HEADS, AUXILIARY DRAINS, FIRE DEPARTMENT CONNECTIONS, INSPECTORS TEST CONNECTIONS, PUMPS, BACKFLOW PREVENTERS, AND ALL OTHER EQUIPMENT INSTALLED BY THIS CONTRACTOR.

PIPE HANGERS AND SUPPORTS

- 4.1 ALL FIRE PROTECTION PIPING SHALL BE SUSPENDED WITH APPROVED/LISTED PIPE HANGERS IN COMPLIANCE WITH NFPA STANDARDS. CUTTING STRUCTURAL MEMBERS TO RUN PIPING, OR TO FACILITATE HANGER FASTENING IS NOT PERMITTED.
- 4.2 VERTICAL ATTACHMENT TO METAL DECK AND WOOD TRUSS'S SHALL NOT BE PERMITTED. HORIZONTAL ATTACHMENT TO WOOD TRUSS SHALL BE MADE BY HORIZONTAL SUPPORT TO BOTTOM CORD OF TRUSS.

SPRINKLER SYSTEM COMPONENTS AND ACCESSORIES

- 5.1 FIRE PROTECTION SYSTEM SHALL INCLUDE ALL ITEMS FOR A COMPLETE SYSTEM. SPECIFICALLY THIS IS TO INCLUDE BUT NOT LIMITED TO: PIPE SUPPORTS, VALVES, GAUGES, TRIM, ALARMS, SPECIALTY DEVICES, CONTROLS, AND ITEMS INCIDENTAL TO A COMPLETE SYSTEM.
- 5.2 AUXILIARY DRAINS AND SIGNS SHALL BE PROVIDED AT THE LOW POINT OF EACH TRAPPED SECTION OF PIPING AND IDENTIFYING SIGNS SHALL BE ATTACHED THERETO. INSTALL ALL AUXILIARY DRAIN VALVES IN ACCESSIBLE AREAS. FIELD COORDINATE LOCATIONS WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.
- 5.3 THE INTERCONNECTION OF THE ALARM SUPERVISORY SIGNALS MUST BE APPROVED BY THE PROPER ALARM REPRESENTATIVE, AND WORKING PLANS INDICATING THE LOCATIONS OF ALL ELECTRICAL COMPONENTS SHALL BE FURNISHED TO THE FIRE ALARM CONTRACTOR.
- 5.4 CONTRACTOR SHALL PROVIDE ALL MEANS TO SHUT-DOWN EXISTING PIPING SYSTEMS WHERE REQUIRED TO COMPLETE WORK UNDER THIS CONTRACT. CONTRACTOR SHALL PROVIDE ALL NECESSARY VALVES TO ISOLATE RENOVATED SECTIONS OF THE BUILDING WITHOUT DISTURBING SECTIONS OF THE BUILDING NOT UNDER RENOVATION.
- 5.5 INSTALL VALVES WITH STEMS UPRIGHT OR HORIZONTAL, NOT INVERTED.
- 5.6 PROVIDE ACCESS TO ALL VALVES AND SYSTEM COMPONENTS REQUIRING ACCESS. ALL PIPING ACCESSORIES AND EQUIPMENT SUCH AS VALVES SHALL BE INSTALLED AT A REASONABLE HEIGHT AND POSITION IN ORDER TO FACILITATE MAINTENANCE.

SPRINKLER HEADS

- 6.1 ALL SPRINKLER HEADS SHALL BE LOCATED IN THE CENTER OF 2x2 TILE OR QUARTER POINT OF 2x4 CEILING TILE UNLESS OTHERWISE NOTED OR DIRECTED BY THE ARCHITECT/ENGINEER OR LOCAL FIRE DEPARTMENT AUTHORITIES.
- 6.2 SPRINKLER HEADS IN FINISHED CEILING SHALL BE SEMI-RECESSED OR CONCEALED, TYPE AS SHOWN ON DRAWINGS. STANDARD RESPONSE, QUICK RESPONSE, CHROME PENDENT WITH ESCUTCHEON, K=5.6, 155 DEGREE UNLESS OTHERWISE NOTED.
- 6.3 SPRINKLER HEADS IN NON-CEILING AREAS SHALL BE BRASS UPRIGHT. STANDARD RESPONSE, K=5.6, 155 DEGREE UNLESS OTHERWISE NOTED. OPTION FOR QUICK RESPONSE SPRINKLERS ALLOWED WHERE PRESSURE PERMITS.
- 6.4 SPRINKLER HEADS LOCATED WITHIN MECHANICAL ROOMS, BOILER ROOMS, ELECTRICAL ROOMS, KITCHENS, ELEVATOR EQUIPMENT ROOMS, KILN ROOMS, SHALL BE RATED FOR 200 DEGREES.
- 6.5 ALL SPRINKLER HEADS BELOW 7'-0" FEET OR IN MECHANICAL ROOMS, STORAGE ROOMS, GYMNASIUMS OR IN AREAS SUBJECTED TO MECHANICAL INJURY SHALL HAVE AN APPROVED HEAD GUARD.
- 6.6 FLEXIBLE CONNECTION TO SPRINKLER HEADS SHALL NOT BE PERMITTED.
- 6.7 SPRINKLER HEADS SHOWN ARE MINIMUMS. CONTRACTOR SHALL PROVIDE ADDITIONAL HEADS AS REQUIRED TO COORDINATE WITH ARCHITECTURAL REFLECTED CEILING PLANS OR TO PROVIDE ADEQUATE COVERAGE AS SPECIFIED OR REQUIRED BY APPROPRIATE HAZARD CLASS.

FIRE PROTECTION (SPRINKLER) PIPING

- 7.1 MINIMUM PIPE SIZE SHALL BE 1 INCH. ANY REDUCING OF SIZE SHALL OCCUR AT SPRINKLER HEAD CONNECTION.
- 7.2 SPRINKLER PIPING SHALL NOT BE INSTALLED DIRECTLY OVER ANY ELECTRICAL EQUIPMENT PANELS, TELEPHONE OR LOW VOLTAGE EQUIPMENT OR SIMILAR TYPE OF EQUIPMENT.
- 7.3 ALL PIPE AND FITTINGS SHALL BE INSTALLED IN RUST-FREE CONDITION.
- 7.4 THE USE OF THREADED BUSHINGS WILL NOT BE PERMITTED IN ANY AREA OF THIS INSTALLATION.
- 7.5 ALL PIPING AND COMPONENTS NECESSARY FOR INSTALLATION MAY BE PREFABRICATED. HOWEVER, THE CONTRACTOR MUST BE WILLING TO REMARK THE PREFABRICATED PIPE, FITTINGS, AND THE LIKE, AS NECESSARY TO CONSTITUTE A PROPER APPROVED INSTALLATION, EXISTING SITE CONDITIONS NOTWITHSTANDING, AT NO ADDITIONAL COST TO THE OWNER.
- 7.6 ALL PIPING PASSING THRU' FLOOR CONSTRUCTION SHALL HAVE A SCHEDULE 40 STEEL PIPE SLEEVE INSTALLED AROUND PIPE ONLY. ALL PIPE PASSING THRU WALLS SHALL HAVE A GALVANIZED SHEET METAL OR SCHEDULE 40 STEEL PIPE SLEEVE INSTALLED AROUND THE PIPE. ALL EXPOSED PIPE WHICH PASSES THROUGH A WALL OR CEILING SHALL BE EQUIPPED WITH AN ESCUTCHEON PLATE.
- 7.7 ALL PIPING SHALL BE INSTALLED TO ALLOW FOR PROPER DRAINING OF ENTIRE SYSTEM PER NFPA-13.
- 7.8 SCREWED UNIONS SHALL NOT BE PERMITTED ON PIPING LARGER THAN 2 INCHES.
- 7.9 ALL NEW CONNECTIONS MADE TO AN EXISTING SYSTEM MAIN SHALL BE ACCOMPLISHED WITH A CUT-IN OR TEE FITTING OF EQUAL SIZE TO THAT OF THE EXISTING MAIN.
- 7.10 FIRE PROTECTION PIPING SHALL BE AS FOLLOWS:
 - A. (1"-6") STEEL PIPE: ASTM A795; SCHEDULE 40, BLACK. STEEL FITTINGS: ASME B16.5, STEEL FLANGES AND FITTINGS. CAST IRON FITTINGS: ASME 16.1, FLANGES AND FLANGED FITTINGS; OR ASME B16.4, THREADED FITTINGS. MALLEABLE IRON FITTINGS: ASME B16.3, THREADED FITTINGS.
 - B. (2 1/2"-6") STEEL PIPE: ASTM A795; SCHEDULE 40, BLACK. GROOVED END FITTINGS: ASTM A536 DUCTILE IRON HOUSING TO ENGAGE AND LOCK. MECHANICAL GROOVED COUPLINGS: DUCTILE IRON HOUSING CLAMPS TO ENGAGE AND LOCK, "C" SHAPED ELASTOMERIC SEALING GASKET, STEEL BOLTS, NUTS, AND WASHERS.
 - C. (2 1/2"-6") STEEL PIPE: ASTM A135, SCHEDULE 10, BLACK. STEEL FITTINGS: ASME B16.5, STEEL FLANGES AND FITTINGS. GROOVED END FITTINGS: ASTM A536 DUCTILE IRON HOUSING TO ENGAGE AND LOCK. MECHANICAL GROOVED COUPLINGS: DUCTILE IRON HOUSING CLAMPS TO ENGAGE AND LOCK, "C" SHAPED ELASTOMERIC SEALING GASKET, STEEL BOLTS, NUTS, AND WASHERS.
 - D. CPVC PIPING SHALL NOT BE PERMITTED.

PIPE AND VALVE IDENTIFICATION

- 8.1 PROVIDE PIPE LABELING IDENTIFICATION PER ASME A13.1. SEE DETAIL FOR ADDITIONAL INFORMATION. PIPE LABELS SHALL BE WRAP AROUND TYPE. SELF ADHESIVE TYPE SHALL NOT BE PERMITTED.

FIRE STOP SYSTEMS

- 9.1 GENERAL PURPOSE FIRE STOPPING SEALANT SHALL BE DOW CORNING, NELSON OR 3M COMPANY, WATER BASED, NON-SLUMPING, PREMIUM SEALANT WITH INTUMESCENT PROPERTIES, RATED FOR 3 HOURS PER ASTM E814, NFPA AND UL-1479. FILL ALL VOIDS AROUND ALL PIPING PENETRATIONS THROUGH WALLS AND CEILINGS WITH A MINIMUM 1 HOUR FIRE RATING. PROVIDE PVC COLLAR ASSEMBLY AT ALL PVC PIPING PENETRATIONS THROUGH FIRE WALLS, FLOORS OR CEILING WHERE REQUIRED BY LOCAL FIRE DISTRICT.

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2024 RENOVATIONS - BID PACKAGE 1
 8900 NORTHWEST HWY #14
 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO. 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
FIRE PROTECTION GENERAL NOTES

SHEET NUMBER:

FP2.10

BIDDING NOTE:
 SEE DRAWING ME100 FOR GENERAL NOTES AND ADDITIONAL DETAILS APPLICABLE TO THIS TRADES WORK.



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**McHenry County College
 2024 RENOVATIONS - BID PACKAGE 1**

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 CRYSTAL LAKE, IL 60012
 DKA PROJECT NO: 24-031

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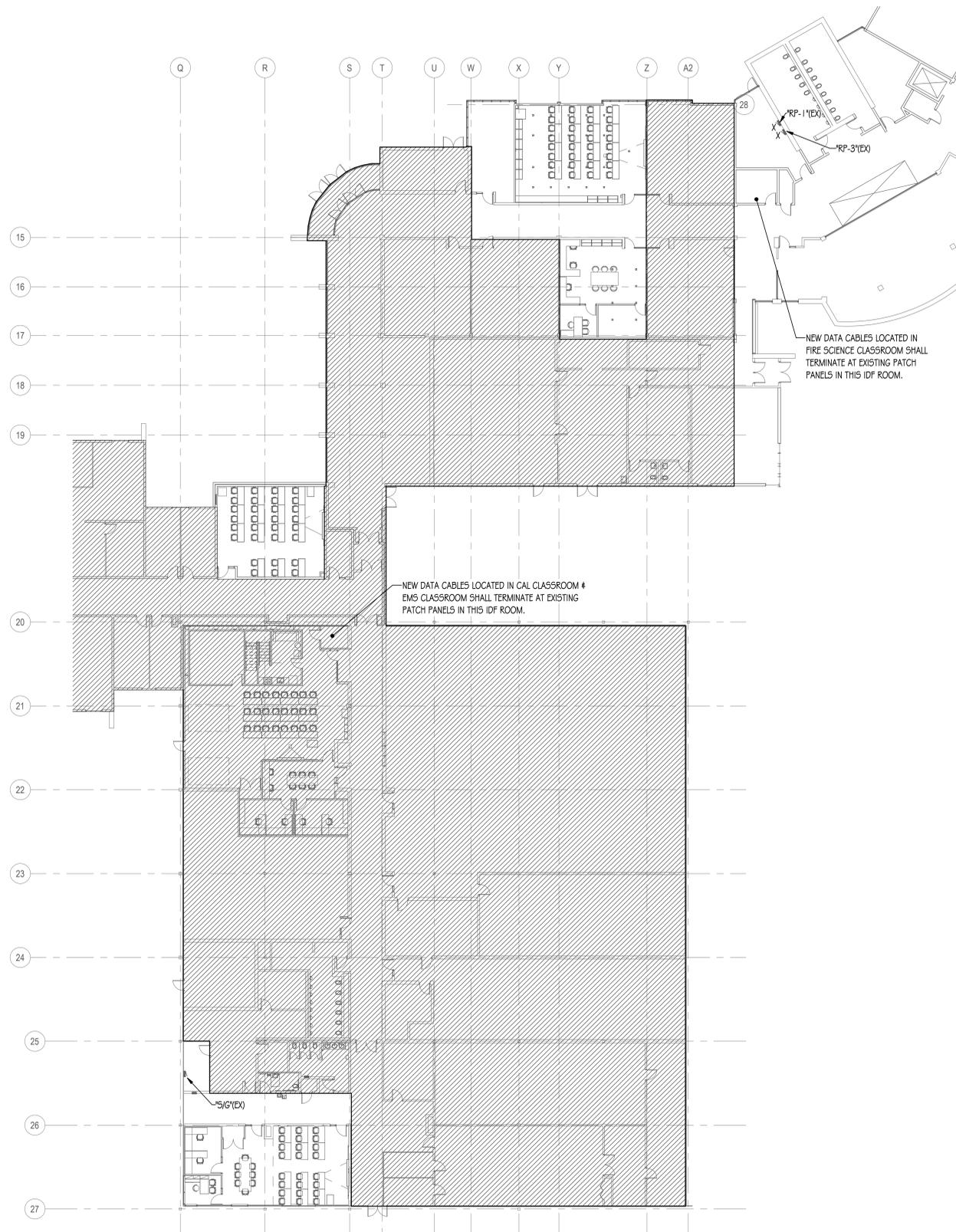
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OVERALL ELECTRICAL PLANS - BP1

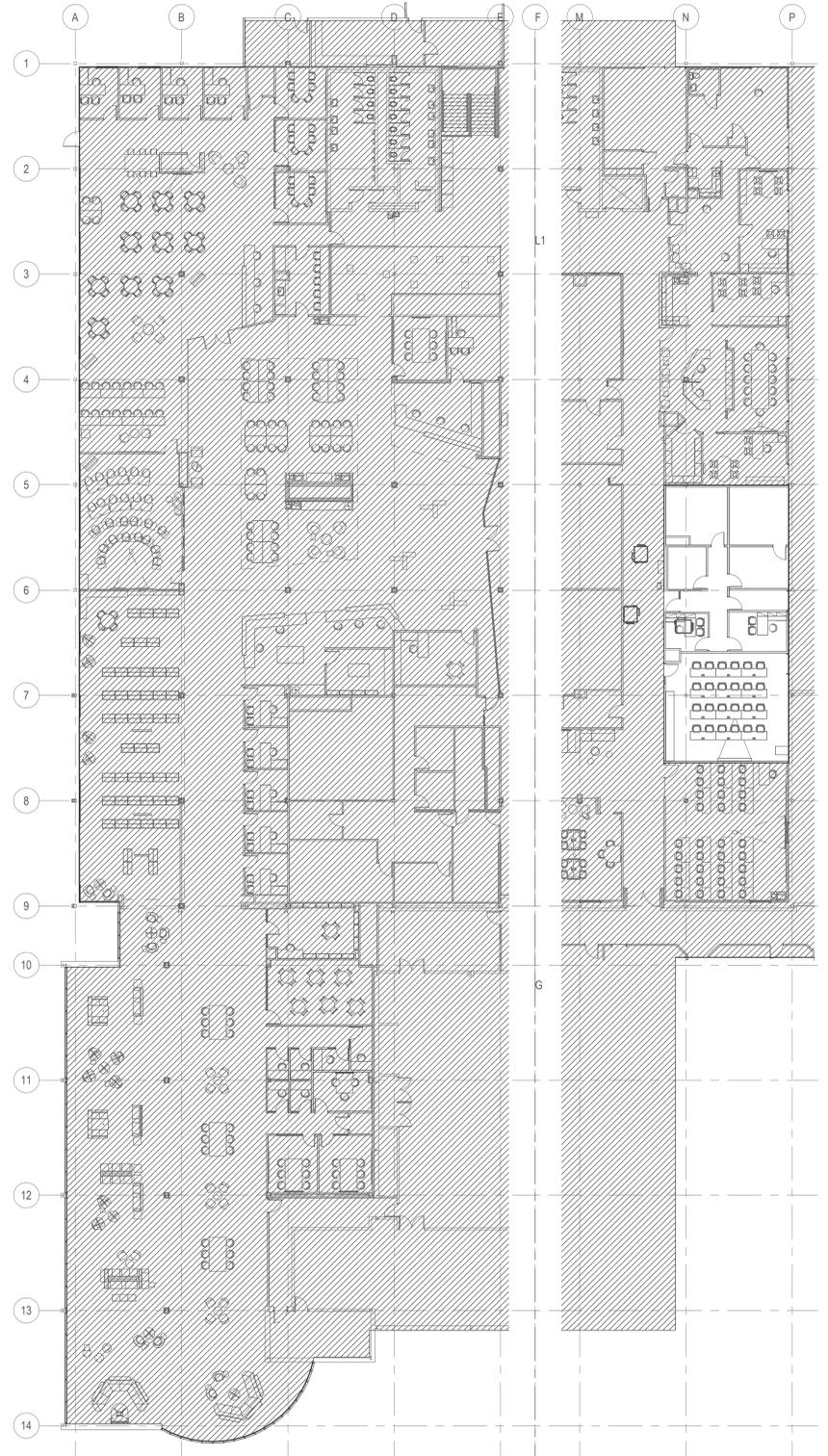
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1 LEVEL 1 OVERALL ELECTRICAL PLAN
 1/16" = 1'-0"



2 LEVEL 2 OVERALL ELECTRICAL PLAN
 1/16" = 1'-0"

GENERAL DEMOLITION NOTE:
 CAREFULLY DISCONNECT, REMOVE AND TURN OVER REMOVED LOW VOLTAGE DEVICE/EQUIPMENT INCLUDING, BUT NOT LIMITED TO, WIRELESS ACCESS POINTS, SECURITY CAMERAS, SPECIALTY LIGHTING, AUDIO/VIDEO EQUIPMENT, AUDIO/VIDEO RACK, CARD READERS, ETC. TO OWNER'S REPRESENTATIVE.

DRAWING NOTES

1 CAREFULLY DISCONNECT, REMOVE AND TURN OVER REMOVED AUDIO/VIDEO DEVICE, AND AUDIO/VIDEO EQUIPMENT TO OWNER'S REPRESENTATIVE.



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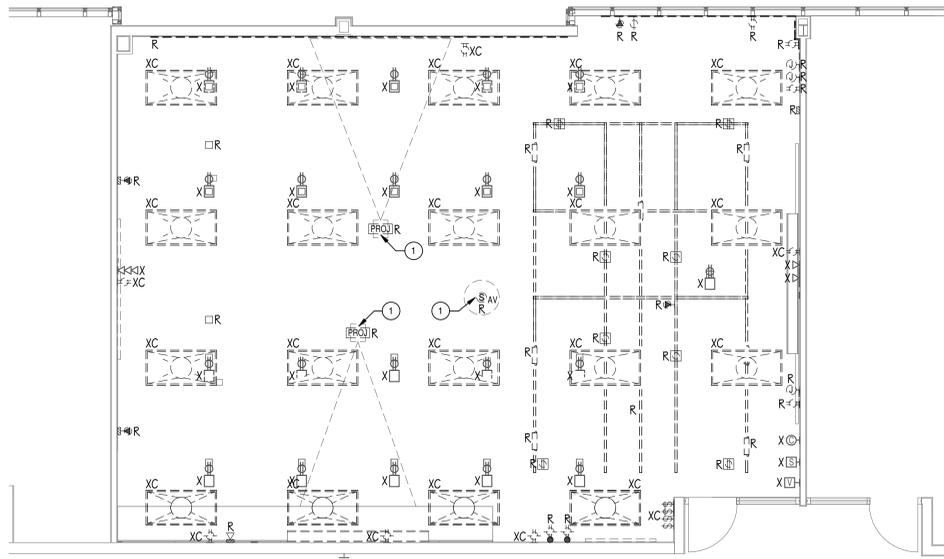
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SHEET STATUS: 7/24/2024
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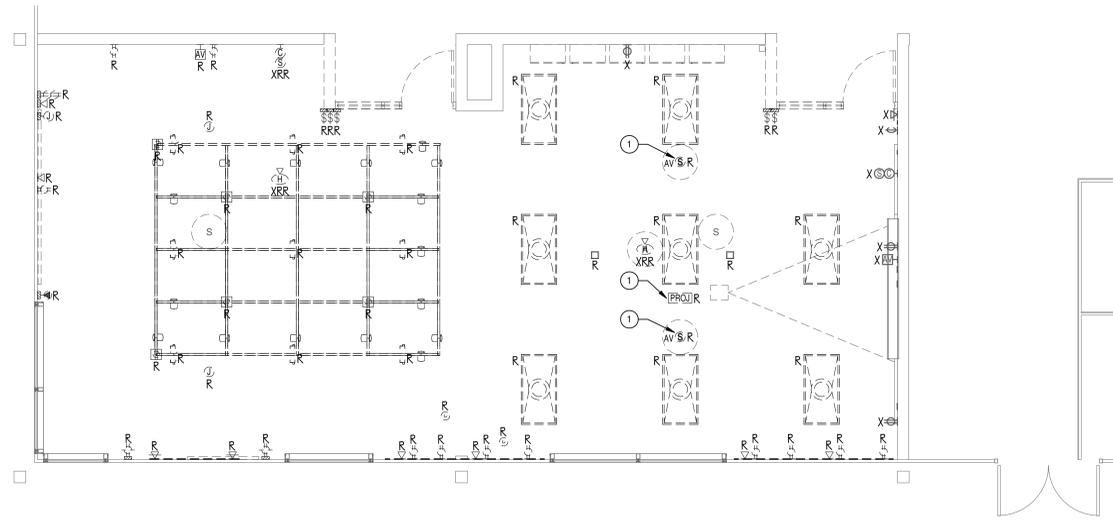
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**ELECTRICAL
 DEMOLITION PLANS -
 BP1**

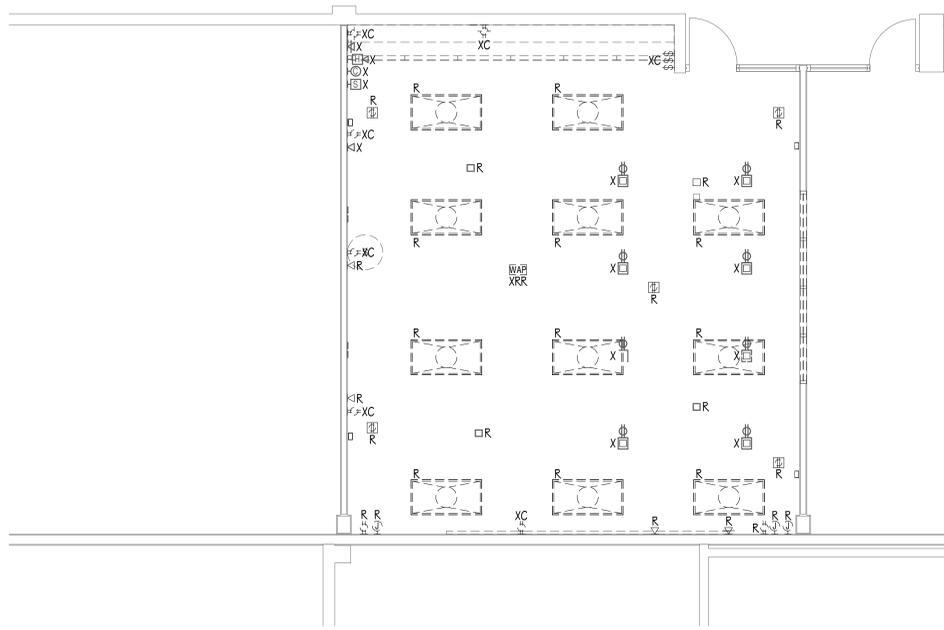
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1 ELECTRICAL DEMOLITION PLAN - FIRE SCIENCE
 1/4" = 1'-0"



2 ELECTRICAL DEMOLITION PLAN - CAL CLASSROOM
 1/4" = 1'-0"



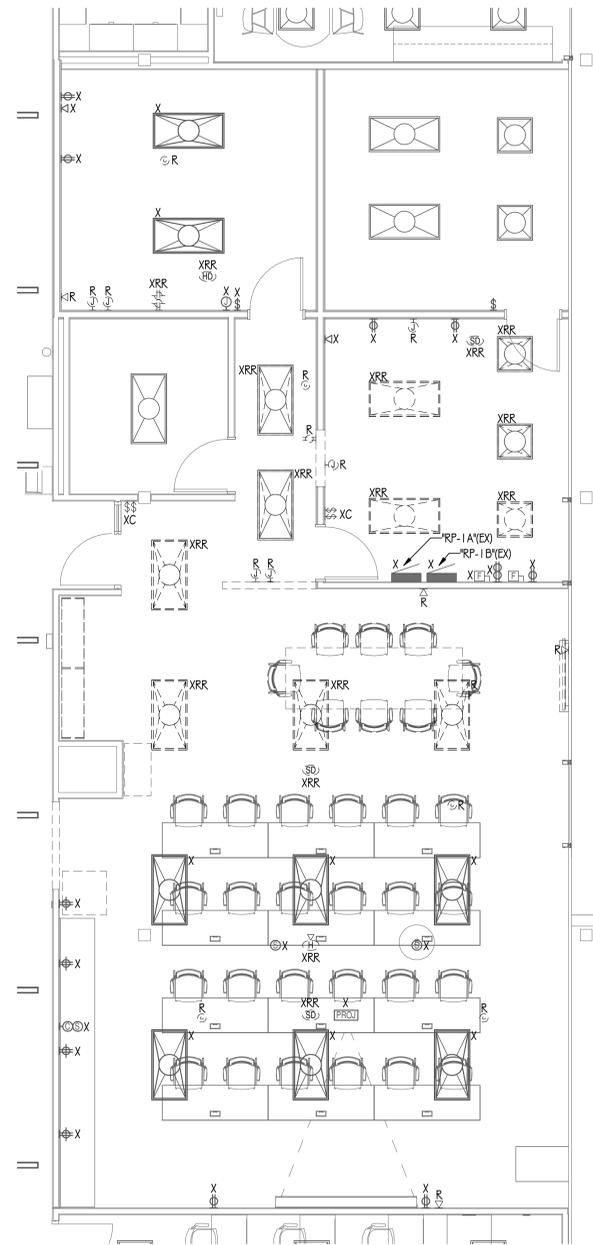
3 ELECTRICAL DEMOLITION PLAN - EMS CLASSROOM
 1/4" = 1'-0"



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1 ELECTRICAL DEMOLITION PLAN - A229
 1/4" = 1'-0"

KEY PLAN:

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SHEET TITLE:
ELECTRICAL DEMOLITION PLANS - BP1

SHEET NUMBER:

ED1.11

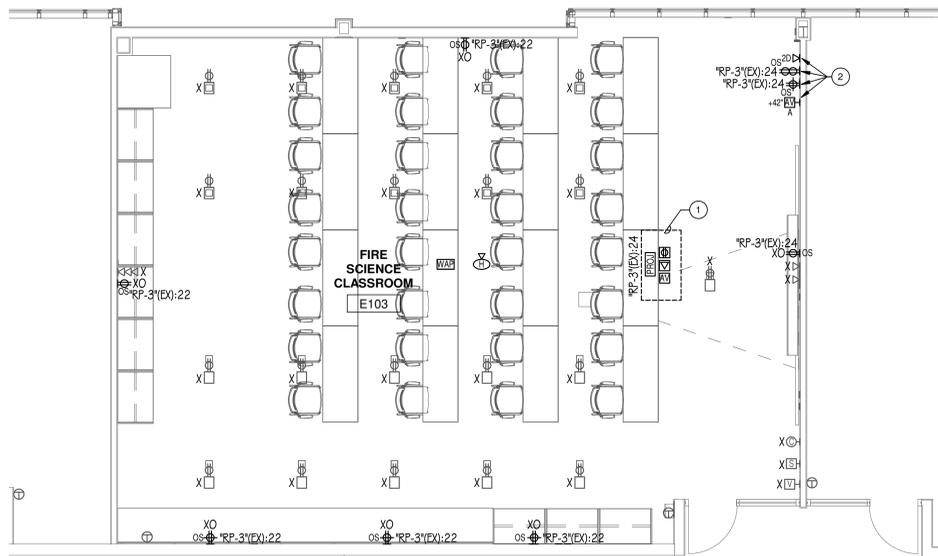


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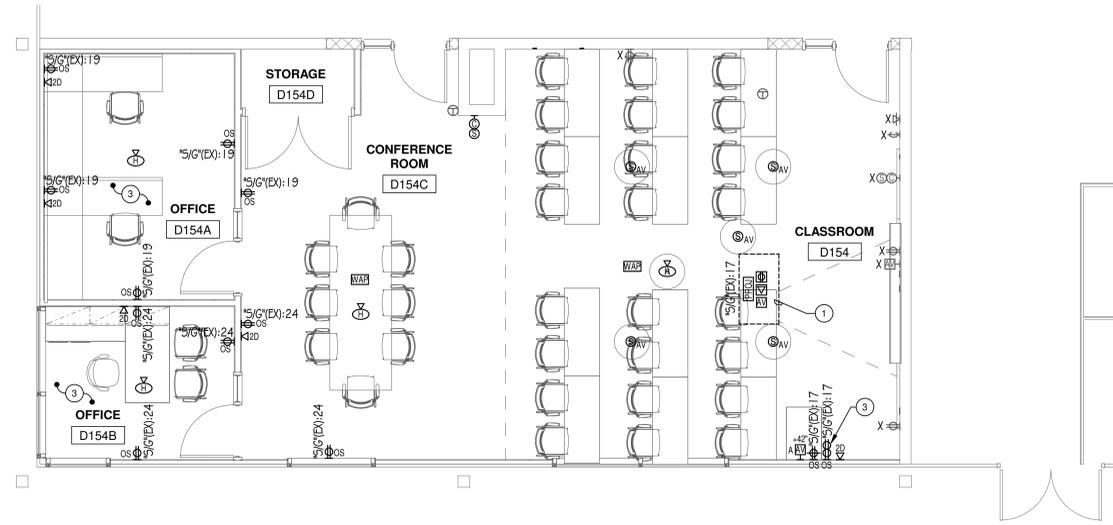
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DRAWING NOTES

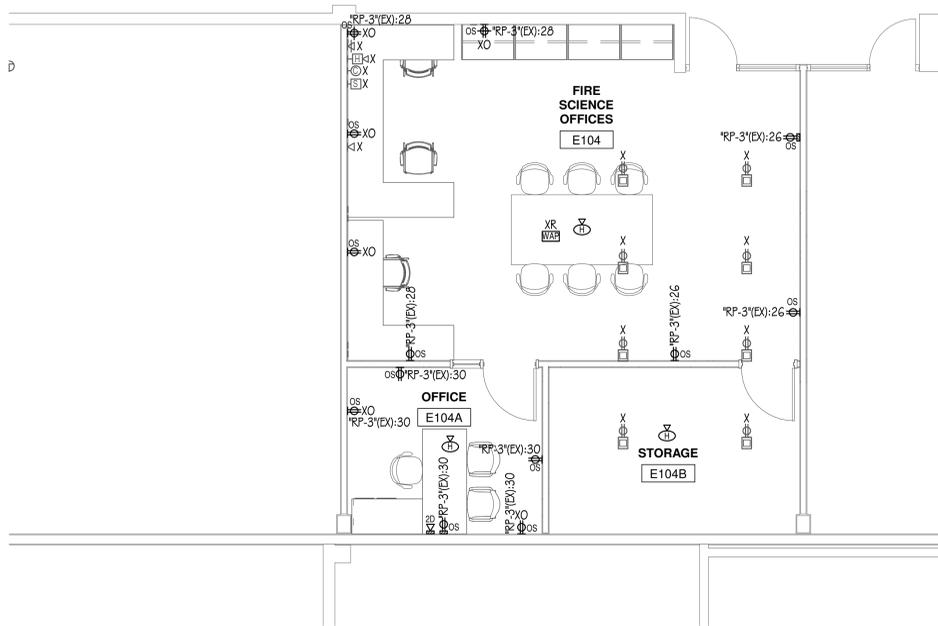
1. DEVICES SHALL BE LOCATED INSIDE CEILING MOUNTED ENCLOSURE / PROJECTOR MOUNT. REFER TO ELECTRICAL DETAILS SHEET FOR ADDITIONAL INFORMATION.
2. NEW DEVICES MOUNTED ON EXISTING WALL. CONTRACTOR SHALL CHASE OPEN WALL TO RECESS RACEWAYS AND BACKBOXES. PATCH WALL TO LIKE NEW CONDITION TO MATCH EXISTING SURROUNDINGS.
3. VERIFY AVAILABILITY OF CIRCUIT SERVING NEW RECEPTACLES PRIOR TO INSTALLATION. NOTIFY ENGINEER IF CIRCUIT IS ALREADY IN USE.



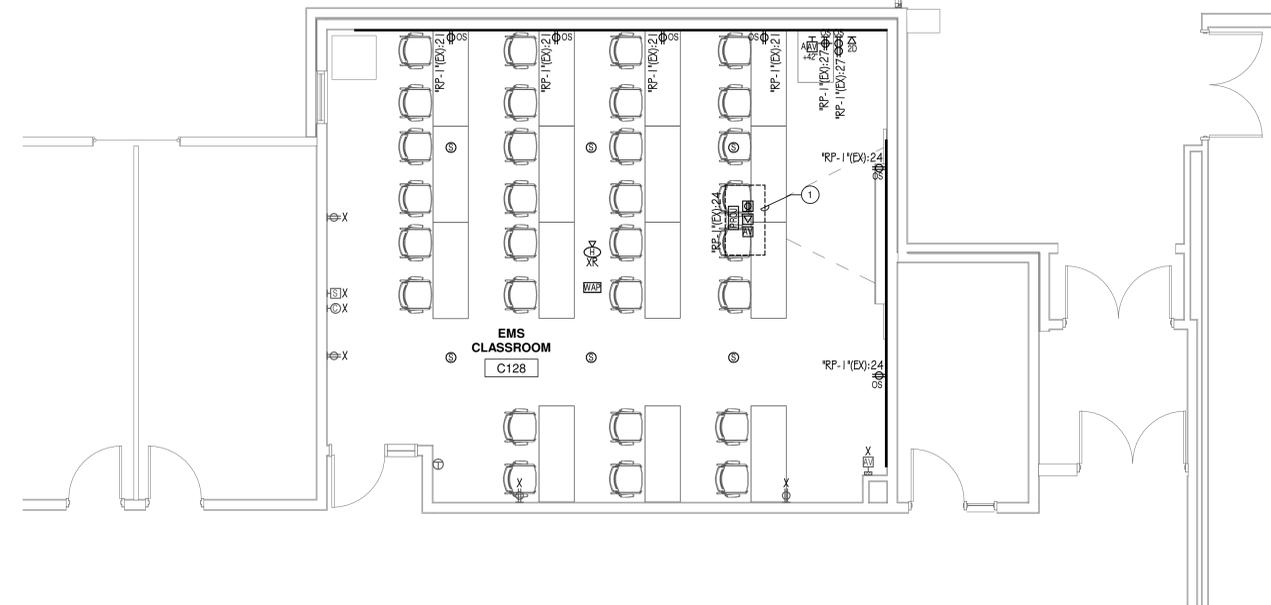
1 ELECTRICAL PLAN - FIRE SCIENCE
 1/4" = 1'-0"



2 ELECTRICAL PLAN - CAL CLASSROOM
 1/4" = 1'-0"



1 ELECTRICAL PLAN - FIRE SCIENCE
 1/4" = 1'-0"



3 ELECTRICAL PLAN - EMS CLASSROOM
 1/4" = 1'-0"

McHenry County College
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SHEET TITLE:
ELECTRICAL PLANS - BP1

SHEET NUMBER:
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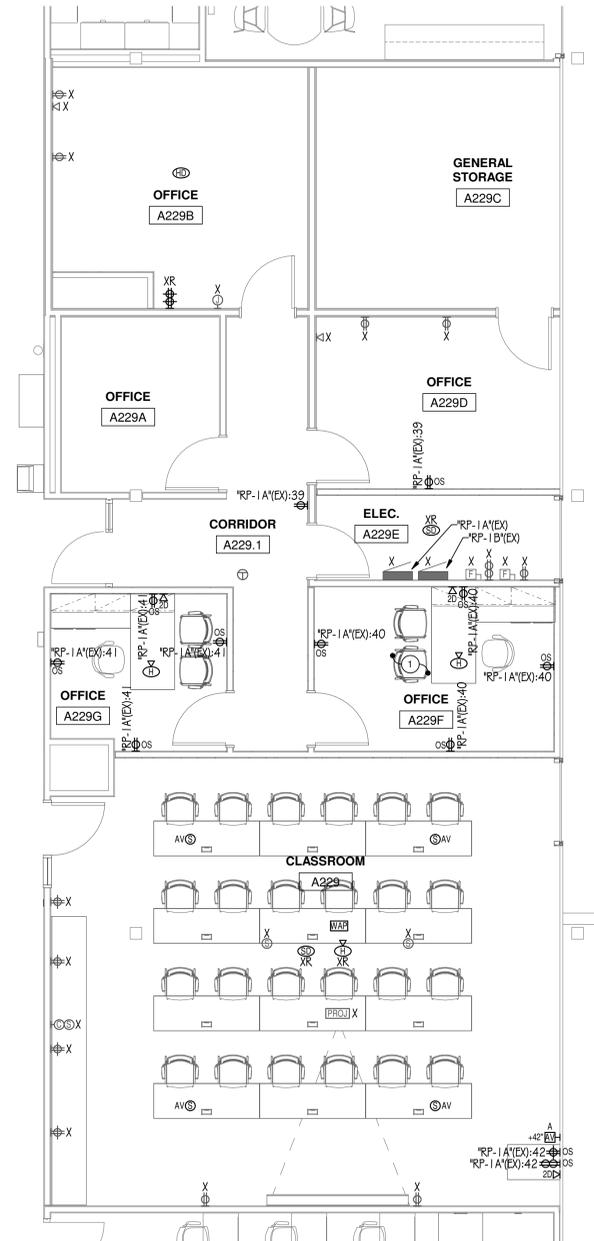
DRAWING NOTES

1. VERIFY AVAILABILITY OF CIRCUIT SERVING NEW RECEPTACLES PRIOR TO INSTALLATION.
NOTIFY ENGINEER IF CIRCUIT IS ALREADY IN USE.



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1 ELECTRICAL PLAN - A229
1/4" = 1'-0"

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NO.	DESCRIPTION:	DATE:

SHEET TITLE:
**ELECTRICAL PLANS -
BP1**

SHEET NUMBER:

E1.11

DRAWING NOTES

- RECONNECT TO EXISTING LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA. PROVIDE NEW SWITCHING SCHEME WHERE INDICATED. FIELD VERIFY EXACT REQUIREMENTS.
- 1 RECONNECT TO EXISTING LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA. PROVIDE NEW SWITCHING SCHEME WHERE INDICATED. FIELD VERIFY EXACT REQUIREMENTS.
- 2 UTILIZE EXISTING BACKBOX AND CONDUIT STUB PREVIOUSLY SERVING LIGHTING FIXTURES. PROVIDE NEW SWITCH AND COVER PLATE.



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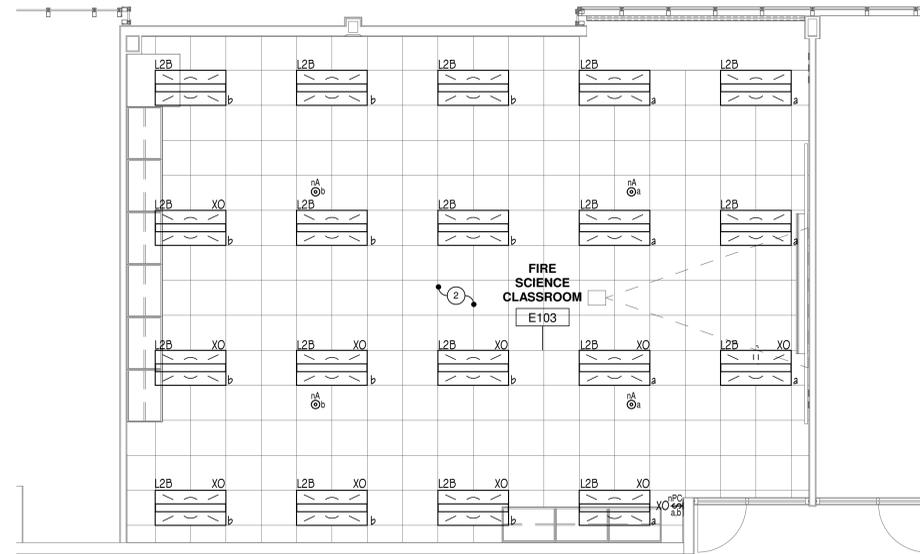
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SHEET TITLE:
**LIGHTING PLANS -
 BP1**

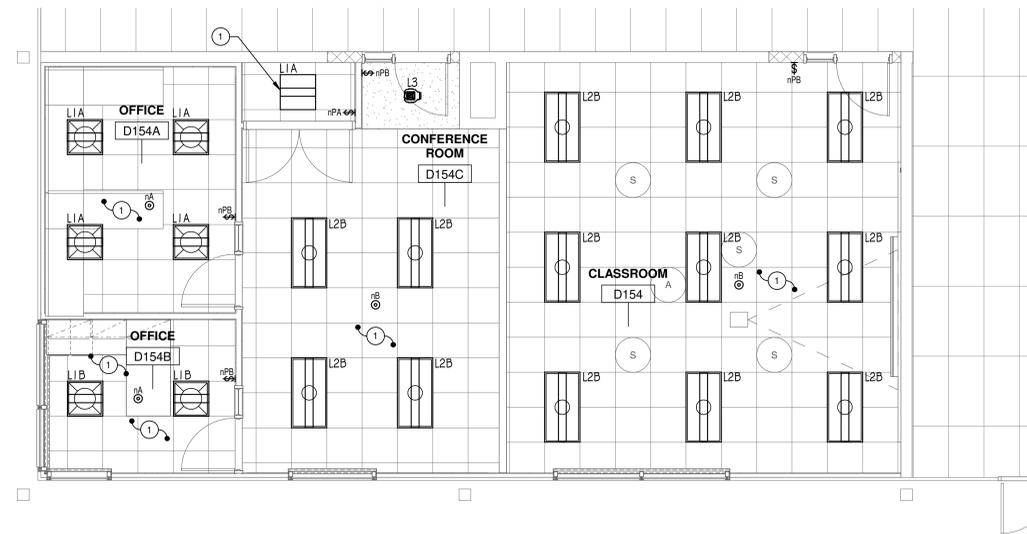
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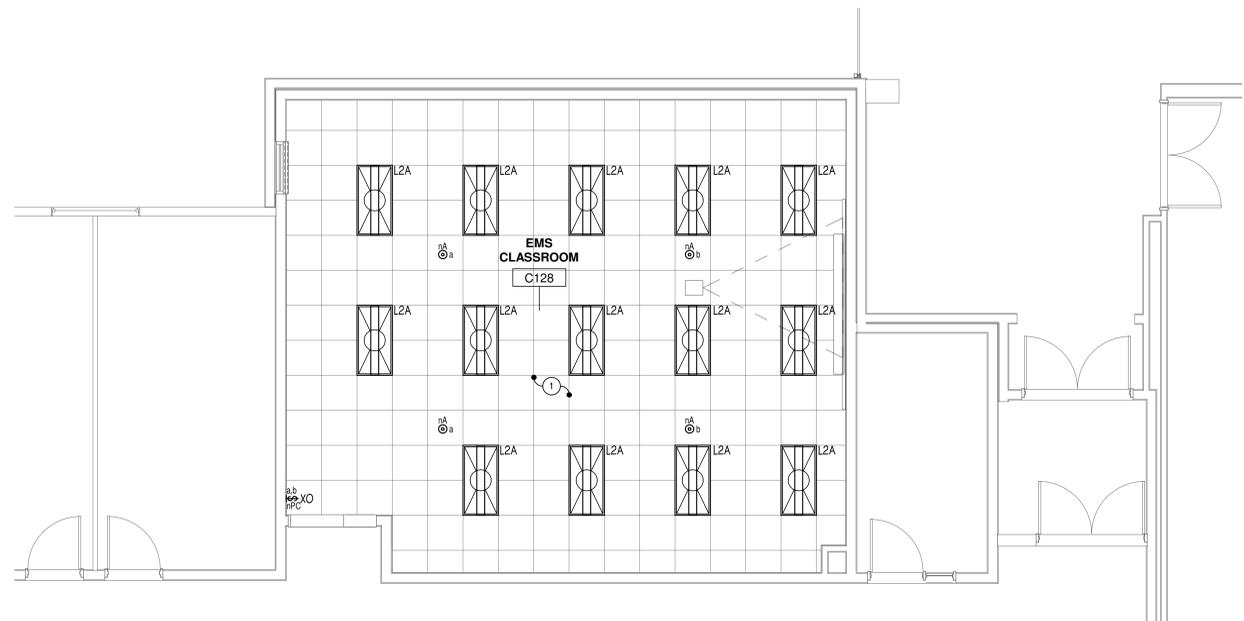
1 LIGHTING PLAN - FIRE SCIENCE
 1/4" = 1'-0"



2 LIGHTING PLAN - CAL CLASSROOM
 1/4" = 1'-0"



1 LIGHTING PLAN - FIRE SCIENCE
 1/4" = 1'-0"



3 LIGHTING PLAN - EMS CLASSROOM
 1/4" = 1'-0"

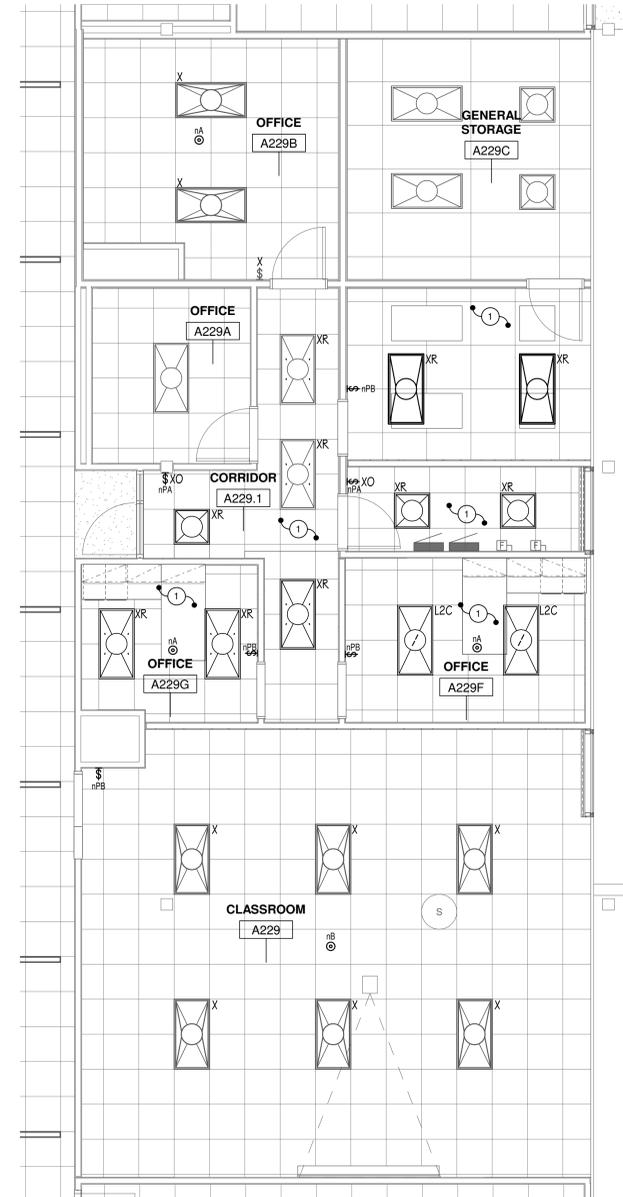
DRAWING NOTES

1 RECONNECT TO EXISTING LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA. PROVIDE NEW SWITCHING SCHEME WHERE INDICATED. FIELD VERIFY EXACT REQUIREMENTS.



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1 LIGHTING PLAN - A229
 1/4" = 1'-0"

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LIGHTING PLANS - BP1

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SHEET TITLE:
ELECTRICAL SYMBOL LIST AND ABBREVIATIONS

SHEET NUMBER:

E5.00

ELECTRICAL ABBREVIATIONS

A	AMPERES	GFP1	GROUND FAULT PROTECTIVE EQUIPMENT	TP	TAMPER PROOF
AFCI	ARC FAULT CIRCUIT INTERRUPTER	HP	HORSEPOWER	TYP.	TYPICAL
A.F.F.	ABOVE FINISHED FLOOR	I.T.	INFORMATION TECHNOLOGY	U.N.O.	UNLESS NOTED OTHERWISE
C	CONDUIT	KCM	THOUSAND CIRCULAR MILS	V	VOLTS
C/B	CIRCUIT BREAKER	MAX	MAXIMUM	VA	VOLT - AMPERES
CT	CURRENT TRANSFORMER	MCA	MINIMUM CIRCUIT AMPS	W	WATTS
CU	COPPER	MCB	MAIN CIRCUIT BREAKER	WG	WIRE GUARD
EC	ELECTRICAL CONTRACTOR	MIN	MINIMUM	WP	WEATHER PROOF
EM	EMERGENCY	MLO	MAIN LUGS ONLY	XFMR	TRANSFORMER
FLA	FULL LOAD AMPS	MOCP	MAXIMUM OVERCURRENT PROTECTION	1P	SINGLE POLE
G, GRD.	GROUND	PT	POTENTIAL TRANSFORMER	2P	TWO POLE
GFI	GROUND FAULT CIRCUIT INTERRUPTER	SPD	SURGE PROTECTIVE DEVICE	3P	THREE POLE
				Ø	PHASE

ELECTRICAL SYMBOL LIST (NOTE: NOT ALL SYMBOLS ARE USED IN THE PROJECT.)

	2' X 4' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	1' X 4' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	2' X 2' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	HALF SHADING DENOTES FIXTURE UNSWITCHED 'NIGHTLIGHT'.
	STRIP LUMINAIRE PER LUMINAIRE SCHEDULE.
	WALL MOUNTED LUMINAIRE PER LUMINAIRE SCHEDULE.
	RECESSED OR SURFACE CEILING MOUNTED LUMINAIRE PER LUMINAIRE SCHEDULE.
	ILLUMINATED EXIT OR STAIR SIGN, SURFACE CEILING MOUNTED, SINGLE OR DOUBLE FACE, WITH OR WITHOUT DIRECTIONAL ARROWS PER SCHEDULE. - 'WG' DENOTES WIRE GUARD.
	ILLUMINATED EXIT OR STAIR SIGN, SURFACE WALL MOUNTED, SINGLE OR DOUBLE FACE, WITH OR WITHOUT DIRECTIONAL ARROWS SCHEDULE. - 'WG' DENOTES WIRE GUARD.
	SELF-CONTAINED EMERGENCY LUMINAIRE, WITH BATTERY BACK-UP AND SOLID STATE CHARGER PER SCHEDULE. - 'WG' DENOTES WIRE GUARD.
	SELF-CONTAINED EMERGENCY LUMINAIRE WITH DUAL WEATHERPROOF REMOTE HEADS, BATTERY BACK-UP AND SOLID STATE CHARGER PER SCHEDULE. - 'WG' DENOTES WIRE GUARD.
	SINGLE POLE 20 AMP 120-277 VOLT TOGGLE SWITCH INSTALLED 48" A.F.F. - 'K' DENOTES KEYSWITCH.
	THREE-WAY 20 AMP 120-277 VOLT TOGGLE SWITCH INSTALLED 48" A.F.F. - 'K' DENOTES KEYSWITCH.
	MOMENTARY CONTACT SWITCH (LOW VOLTAGE) INSTALLED 48" A.F.F.
	SLIDE DIMMER CONTROL. DECORA STYLE COMPATIBLE WITH LUMINAIRE AND DIMMING BALLAST/DRIVER TYPES INSTALLED 48" A.F.F.
	SINGLE POLE 20 AMP 120/277 VOLT TOGGLE SWITCH WITH PILOT LIGHT INSTALLED 48" A.F.F.
	WALL MOUNT COMBINATION OCCUPANCY SENSOR AND SWITCH AS SCHEDULED.
	OCCUPANCY SENSOR, LETTER INDICATES MODEL AND TYPE PER SCHEDULE.
	ELECTRICAL DEVICE MOUNTED ON SURFACE RACEWAY, WIREMOLD V700 U.N.O.
	SURFACE MOUNTED (EXPOSED) CONDUIT, BACKBOX FOR DEVICE AS SHOWN.
	(GFI/USB/WP) 20A, 2P, 3 WIRE, GROUNDING TYPE, 125V. SPECIFICATION-GRADE, TAMPER-RESISTANT TYPE DUPLEX RECEPTACLE NEMA 5-20R INSTALLED +16" A.F.F. UNLESS NOTED OTHERWISE. - 'GFI' DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - 'USB' DENOTES RECEPTACLE EQUIPPED WITH (2) USB PORTS. - 'WP' DENOTES WEATHER-RESISTANT RECEPTACLE WITH LOW-PROFILE WHILE-IN-USE WEATHERPROOF COVER.
	(GFI/USB) 20A, 2P, 3 WIRE, GROUNDING TYPE, 125V. SPECIFICATION-GRADE, TAMPER-RESISTANT TYPE DUPLEX RECEPTACLE NEMA 5-20R INSTALLED 6" ABOVE COUNTER TOP OR +42" A.F.F. UNLESS NOTED OTHERWISE. - 'GFI' DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - 'USB' DENOTES RECEPTACLE EQUIPPED WITH (2) USB PORTS.
	(GFI/USB) TWO 20A, 2P, 3 WIRE, GROUNDING TYPE, SPECIFICATION-GRADE, TAMPER-RESISTANT TYPE DUPLEX RECEPTACLES NEMA 5-20R INSTALLED +16" A.F.F. UNLESS NOTED OTHERWISE. - 'GFI' DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - 'USB' DENOTES RECEPTACLE EQUIPPED WITH (2) USB PORTS.
	SIMPLEX RECEPTACLE.
	SPECIAL RECEPTACLE, NEMA CONFIGURATION AS NOTED IN THE PLAN.
	POWER OUTLET, CEILING MOUNTED.
	COMBINATION POWER/INFORMATION OUTLET, CEILING MOUNTED.
	HIGH CAPACITY MULTISERVICE (WITH DIVIDER/PARTITIONS) FLUSH FLOOR BOX. REFER TO PLANS AND DETAILS FOR QUANTITIES AND CONFIGURATIONS.
	METER.
	CIRCUIT BREAKER PANELBOARD.
	DRY TYPE TRANSFORMER WITH 4" CONCRETE HOUSEKEEPING PAD.
	DISTRIBUTION PANEL.
	NON-FUSED SAFETY DISCONNECT SWITCH, AMPERE RATING AND NUMBER OF POLES AS NOTED.
	FUSED DISCONNECT SWITCH, AMPERE RATING, NUMBER OF POLES AND FUSE SIZE AS NOTED.
	COMBINATION MOTOR STARTER WITH FUSED DISCONNECT, AMPERE RATING, NUMBER OF POLES, FUSE SIZE AND NEMA STARTER SIZE AS INDICATED.
	SWITCH FRAME SIZE.
	NUMBER OF FUSIBLE POLES.
	FUSE SIZE.
	NEMA ENCLOSURE RATING. (NEMA 1 STANDARD, 3R OUTDOORS AND WET LOCATIONS U.N.O.)
	FUSIBLE SWITCH RATING TAG.
	NEMA STARTER SIZE.
	ENCLOSED CIRCUIT BREAKER.
	MOTOR.
	MANUAL MOTOR STARTER, THERMAL OVERLOAD TOGGLE SWITCH.
	CEILING JUNCTION BOX.
	WALL MOUNTED JUNCTION BOX.
	JUNCTION BOX WITH FLEXIBLE CONDUIT FOR FINAL CONNECTION TO EQUIPMENT.
	THERMOSTAT, PROVIDE RECESSED JUNCTION BOX AND CONDUIT STUB-UP, REFER TO MECHANICAL FOR EXACT QUANTITY AND LOCATION.
	CO2 SENSOR, PROVIDE RECESSED JUNCTION BOX AND CONDUIT STUB-UP, REFER TO MECHANICAL FOR EXACT QUANTITY AND LOCATION.
	RADIO ANTENNA. - 'DAS' DENOTES DISTRIBUTED ANTENNA SYSTEM FOR CELLULAR NETWORK. - 'BDA' DENOTES BI-DIRECTIONAL ANTENNA FOR PUBLIC SAFETY RADIO.

	CONDUIT ROUTED CONCEALED IN WALLS AND CEILING. HASH MARKS DENOTE QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	CONDUIT ROUTED EXPOSED. INSTALL PARALLEL TO WALLS AND CEILINGS. HASH MARKS DENOTE QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	CONDUIT ROUTED BELOW GRADE. HASH MARK DENOTES QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	DENOTES CONDUIT HOMERUN, 3/4" MINIMUM, PANEL DESTINATION AND CIRCUIT NUMBER(S) AS INDICATED.
	SHORT TICK MARK DENOTES LINE (HOT) OR SWITCH LEG CONDUCTOR, #12 MINIMUM AWG.
	LONG TICK MARK DENOTES NEUTRAL CONDUCTOR, #10 AWG MINIMUM.
	DENOTES INSULATED GROUND WIRE, #12 AWG MINIMUM.
	CONDUIT END CAP.
	CONDUIT WALL SLEEVES FOR ROUTING OF LOW VOLTAGE CABLING. EACH PENETRATION IS TO PROVIDE A MINIMUM OF (1) 1 1/4" CONDUIT (DATA) & (1) 1" CONDUIT (FIRE ALARM/INTERCOM) U.N.O.
	DATA OUTLET LOCATION INSTALLED 16" A.F.F. U.N.O.
	TELEPHONE OUTLET LOCATION INSTALLED 16" A.F.F. U.N.O.
	DATA OUTLET LOCATION INSTALLED 42" A.F.F. U.N.O.
	TELEPHONE OUTLET LOCATION INSTALLED 42" A.F.F. U.N.O.
	DATA OUTLET LOCATION, CEILING MOUNTED.
	FLUSH CEILING SPEAKER, ROUND OR SQUARE.
	WEATHERPROOF PROJECTION TYPE WALL MOUNTED SPEAKER. - 'AV' DENOTES PART OF AUDIO-VIDEO SYSTEM.
	WALL MOUNTED SPEAKER. - 'AV' DENOTES PART OF AUDIO-VIDEO SYSTEM.
	BATTERY OPERATED CLOCK, CONNECTED WIRELESSLY TO A MASTER CLOCK SYSTEM.
	COMBINATION CLOCK/SPEAKER, COMPATIBLE WITH EXISTING INTERCOM SYSTEM, IN COMMON ENCLOSURE.
	VOLUME CONTROL SWITCH INSTALLED 48" A.F.F. TO TOP OF DEVICE.
	CALL SWITCH, COMPATIBLE WITH EXISTING INTERCOM SYSTEM, INSTALLED 48" A.F.F. TO TOP OF DEVICE.
	CEILING MOUNTED WIRELESS ACCESS POINT.
	TELEVISION CONNECTION PLATE INSTALLED 96" A.F.F. U.N.O.
	AUDIO/VIDEO CONNECTION PLATE INSTALLED 16" A.F.F. U.N.O.
	AUDIO/VIDEO CONNECTION PLATE, CEILING MOUNTED.
	FIRE ALARM SYSTEM PULL STATION INSTALLED 48" A.F.F.
	FIRE ALARM SYSTEM STROBE NOTIFICATION DEVICE INSTALLED 80" A.F.F. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM HORN/STROBE NOTIFICATION DEVICE INSTALLED 80" A.F.F. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM SPEAKER/STROBE NOTIFICATION DEVICE INSTALLED 80" A.F.F. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM SPEAKER NOTIFICATION DEVICE INSTALLED 80" A.F.F. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM SPEAKER/STROBE NOTIFICATION DEVICE, CEILING MOUNTED. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM SPEAKER NOTIFICATION DEVICE, CEILING MOUNTED. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM STROBE NOTIFICATION DEVICE, CEILING MOUNTED. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM HORN NOTIFICATION DEVICE, CEILING MOUNTED. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM HORN/STROBE NOTIFICATION DEVICE, CEILING MOUNTED. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM CEILING SMOKE DETECTOR. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM CEILING HEAT DETECTOR. - 'FT' DENOTES FIXED TEMPERATURE. - 'WG' DENOTES WIRE GUARD.
	FIRE ALARM CONTROL PANEL.
	FIRE ALARM ANNUNCIATOR PANEL.
	FIRE ALARM NOTIFICATION APPLIANCE CIRCUIT PANEL.
	FIRE ALARM SYSTEM DUCT SMOKE DETECTOR.
	FIRE ALARM SYSTEM DUCT CARBON MONOXIDE DETECTOR.
	FIRE ALARM VALVE SUPERVISORY SWITCH.
	WATER FLOW SWITCH.
	TAMPER SWITCH.
	MAGNETIC DOOR HOLDER.
	ALARM BELL. - 'TA' DENOTES TORNADO ALARM. - 'FA' DENOTES FIRE ALARM.
	FIRE ALARM SYSTEM DUCT SMOKE DETECTOR KEY OPERATED TEST SWITCH WITH INDICATING LIGHT, WALL OR CEILING MOUNTED.
	SECURITY CAMERA. (WALL MOUNT)
	SECURITY CAMERA. (MOUNTED IN THE ACOUSTIC CEILING TILE)
	SECURITY SENSOR/INITIATOR.
	MAGNETIC POSITION SWITCH, DOOR OR WINDOW.
	ELECTRONIC DOOR (LOCK) STRIKE.
	POWER ASSISTED DOOR ACTUATOR.
	DOOR SECURITY ANNUNCIATOR PANEL.
	SECURITY SYSTEM CONTROL PANEL.
	SECURITY SYSTEM KEY PAD.
	ACCESS CONTROL CREDENTIAL READER.

DEMOLITION SYMBOLS	
SYMBOL	DESCRIPTION
X	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO REMAIN.
R	EXISTING ELECTRICAL EQUIPMENT, OUTLET OR JUNCTION BOX TO BE REMOVED.
XRR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED, RELOCATED AND JUNCTION BOX REMOVED OR CAPPED AS REQUIRED. STORE AND PROTECT EXISTING DEVICE FOR RE-USE AND RE-INSTALLATION.
XR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET RELOCATED (NEW LOCATION). EXTEND EXISTING FEED AS REQUIRED TO MAINTAIN DEVICE/EQUIPMENT OPERATION. PROVIDE NEW FEED OF MATCHING SPECIFICATIONS IN SITUATIONS WHERE THEY CANNOT BE SPLICED OR ARE NOT OF SUFFICIENT LENGTH TO REACH NEW LOCATION.
XC	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED AND JUNCTION BOX CAPPED OR REUSED AS REQUIRED.
XO	NEW ELECTRICAL EQUIPMENT INSTALLED OVER EXISTING OUTLET.
XA	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE ABANDONED.
XM	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE MODIFIED.
XW	EXISTING ELECTRICAL EQUIPMENT TO BE REWIRED.
XRT	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE TEMPORARILY REMOVED AND REINSTALLED IN SAME LOCATION.

NOTE: NOT ALL SYMBOLS ARE USED ON THIS PROJECT.

GENERAL NOTE:
 CONTRACTOR SHALL MAINTAIN FIRE RATING OF ALL PARTITIONS FOR NEW PENETRATIONS. ANY PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE PROPERLY SEALED AND TREATED TO MAINTAIN THE FIRE STOPPING RATING OF THE WALL. CABLING SHALL NOT PENETRATE WALLS UNLESS ROUTED THROUGH RACEWAY SYSTEM OR ROUTED ABOVE ACCESSIBLE CEILINGS THROUGH METALLIC CONDUIT SLEEVES, EXTENDING A MINIMUM OF 6" EACH SIDE OF THE WALL WITH PROTECTIVE END BUSHINGS TO PREVENT DAMAGE TO CABLES. VOIDS AROUND SLEEVES SHALL BE SEALED WITH APPROPRIATE MATERIALS AS TO MAINTAIN THE ACOUSTIC OR FIRE RATING OF WALLS ABOVE AND BELOW CEILINGS. CABLES RAN THROUGH VOIDS WITHOUT SLEEVES OR RACEWAYS WILL NOT BE ACCEPTABLE. CONTRACTOR SHALL VERIFY EXISTING FIRE PARTITIONS IN THE FIELD.

GENERAL NOTE:
 INCIDENTAL WORK MAY ALSO BE NECESSARY DUE TO CHANGES AFFECTING FIRE ALARM, ELECTRICAL, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO PART OF THIS CONTRACT. INSPECT THOSE AREAS, ASCERTAIN WORK NEEDED, AND DO THAT WORK IN ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST. THE REMOVAL & REINSTALLATION OF EXISTING WORK TO ACCOMMODATE CHANGES TO EXISTING, OR INSTALLATION OF, ELECTRICAL, OTHER SYSTEMS IS ALSO PART OF THIS CONTRACT.

GENERAL NOTE:
 REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL INFORMATION REGARDING MOUNTING HEIGHTS AND LOCATIONS OF ELECTRICAL DEVICES BEFORE ROUGH-IN.

 WHERE CONFLICTS BETWEEN ELECTRICAL & ARCHITECTURAL ELEVATIONS ARISE, CONTRACTOR TO VERIFY WITH ARCHITECT/ENGINEER TEAM PRIOR TO ROUGH-IN.

GENERAL NOTE:
 EXISTING CONDITIONS WERE OBTAINED FROM EXISTING AS-BUILT DRAWINGS AND CURSORY FIELD OBSERVATION. THIS CONTRACTOR SHALL IDENTIFY ANY DISCREPANCIES IN THE FIELD AND REPORT THEM TO THE ENGINEER.

BIDDING NOTE:
 SEE DRAWINGS E5.10, E6.00, E6.10 & E6.20 FOR GENERAL NOTES AND ADDITIONAL DETAILS APPLICABLE TO THIS TRADE'S WORK.

GENERAL REMODELING NOTE: (APPLICABLE TO ALL SHEETS.)

1. WORK SHOWN ON DRAWINGS SHALL BE CONSIDERED NEW AND IN CONTRACT UNLESS SPECIFICALLY INDICATED OTHERWISE.
2. DRAWINGS ARE GENERALLY DIAGRAMMATIC. ROUTING OF CONDUITS, RACEWAYS, ETC., AS SHOWN ON DRAWINGS, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. EACH CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.
3. IT IS INTENDED THAT EQUIPMENT SHALL BE LOCATED SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS OF THE BUILDING, NOTWITHSTANDING THE FACT THAT LOCATIONS INDICATED BY THESE DRAWINGS MAY BE DISTORTED FOR CLARNESS OF PRESENTATION.
4. CONTRACTOR SHALL CHECK DRAWINGS OF OTHER TRADES TO VERIFY THAT SPACES IN WHICH THEIR WORK WILL BE INSTALLED ARE CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED TO MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITIONS AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE INSTALLATION OF THEIR WORK.
5. CONTRACTOR SHALL FURNISH OTHER TRADES ADVANCE INFORMATION AND/OR SHOP DRAWINGS ON LOCATIONS AND SIZES OF PIPING, DUCTWORK, CONDUIT, RACEWAYS, EQUIPMENT, FRAMES, BOXES, SLEEVES AND OPENINGS, ETC. NEEDED FOR THEIR WORK TO PERMIT OTHER TRADES AFFECTED TO INSTALL THEIR WORK PROPERLY AND WITHOUT DELAY.
6. WHERE THERE IS EVIDENCE THAT WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, ALL TRADES SHALL MEET ON JOB SITE TO WORK OUT SPACE CONDITIONS AND MAKE SATISFACTORY ADJUSTMENTS TO INSTALLATION OF THE NEW WORK. CONTRACTORS SHALL VERIFY EXACT LOCATIONS OF ALL DEVICES AND EQUIPMENT WITH FIELD CONDITIONS, SHOP DRAWINGS, AND WORK OF OTHER TRADES PRIOR TO ROUGH-IN. EACH CONTRACTOR SHALL BE RESPONSIBLE, AT THEIR OWN EXPENSE, FOR THE REMOVAL AND REINSTALLATION OF ANY PART OF THEIR WORK IF SAME WAS INSTALLED WITHOUT CONSULTING WITH OTHER TRADES BEFORE INSTALLING THEIR WORK.
7. CONTRACTOR SHALL PROVIDE SLEEVES IN BEAMS, FLOORS, COLUMNS AND WALLS AS SHOWN ON THE DRAWINGS, AS REQUIRED BY JOB SITE CONDITIONS, AND/OR AS SPECIFIED, WHEN INSTALLING THEIR WORK. ALL BEAMS AND COLUMNS WHICH ARE REQUIRED TO BE SLEEVED SHALL BE CUT AND REINFORCED AS REQUIRED BY FIELD CONDITIONS AND LOCATIONS AND SIZES SHALL BE CHECKED AND APPROVED BY ARCHITECT BEFORE CONTRACTOR CUTS ANY STRUCTURAL BUILDING MEMBER.
8. THE SEQUENCE FOR THE INSTALLATION OF ALL WORK SHALL BE COORDINATED BETWEEN ALL CONTRACTORS ON THE PROJECT AND IN STRICT ACCORDANCE WITH ARCHITECT/ENGINEER AND OWNERS STIPULATION AS DIRECTED.
9. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL CONTRACT DRAWINGS (BEFORE SUBMITTING THEIR BIDS) TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF THE GENERAL CONTRACTORS WORK, CEILING HEIGHTS AND CLEARANCE FOR INSTALLING THEIR WORK.
10. CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING AND REMOVAL/REPLACEMENT OF NEW BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. REMOVE, STORE AND REINSTALL CEILING TILES AS REQUIRED TO INSTALL WORK ABOVE EXISTING CEILINGS WHICH REMAIN, REPLACE TILES BROKEN OR DAMAGED DURING CONSTRUCTION. ALL PATCHING, REPAIRING AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED AND PAID FOR BY THE INSTALLING CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN CLEAN-UP DURING CONSTRUCTION. IF CONTRACTOR FAILS TO PROVIDE SUCH CLEAN-UP, THE ARCHITECT/ENGINEER WILL DIRECT ANOTHER CONTRACTOR TO PERFORM THE CLEAN-UP AND THE NEGLIGENT CONTRACTOR SHALL PAY THE ASSOCIATED BACK-CHARGES AS DEEMED APPROPRIATE BY THE ARCHITECT/ENGINEER.
12. CONTRACTOR SHALL INSTALL ALL AUXILIARY SUPPORTING STEEL AS REQUIRED FOR THE SUPPORTING OF THEIR CONDUIT, EQUIPMENT, ETC. ALL SUPPORTING STEEL FOR ITEMS ABOVE A SUSPENDED CEILING SHALL BE FROM BUILDING STRUCTURAL MEMBERS ONLY.
13. IT IS MANDATORY THAT THE COMPLETE EXISTING BUILDING REMAIN IN CONTINUOUS AND NON-INTERRUPTED OPERATION DURING REMODELING/ALTERING OF SAID EXISTING BUILDING. THE SPECIFIC AREA(S) BEING REMODELED/ALTERED AT ANY SCHEDULED TIME ARE OBVIOUSLY EXCLUSIVE OF THIS STATEMENT. SERVICES TO EXISTING BUILDING SHALL BE KEPT IN CONTINUOUS OPERATION INCLUDING POWER, SIGNAL SYSTEMS, LIGHTING, TELEPHONE, HEATING, COOLING, VENTILATING, TEMPERATURE CONTROL. ANY ABSOLUTELY NECESSARY INTERRUPTION OF THESE SERVICES TO ACCOMPLISH CONTRACT WORK SHALL BE ARRANGED WITH THE OWNER A MINIMUM OF TEN (10) WORKING DAYS IN ADVANCE. SUCH INTERRUPTIONS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AS FAR AS TIME INTERVAL IS INVOLVED AND TEMPORARY SERVICES SHALL BE FURNISHED AND INSTALLED UNDER THIS CONTRACT WHERE NECESSARY TO ACCOMPLISH THIS PURPOSE. TEMPORARIES SHALL BE REMOVED BY THE CONTRACTOR ONLY AFTER NEW PERMANENT SERVICES ARE INSTALLED AND FULLY OPERATIONAL.
14. UNLESS INDICATED OTHERWISE, THE ARCHITECT/ENGINEER MAKES NO REPRESENTATION AS TO WHETHER OR NOT ANY HAZARDOUS OR CONTAMINATED MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB'S, CONTAMINATED SOILS, ETC.) ARE PRESENT WITHIN THE EXISTING BUILDING OR ON THE SITE. WORK SHOWN ON THE DRAWINGS AND/OR INDICATED IN THE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CALL FOR CONTACT WITH ANY OF THESE MATERIALS. IF THESE MATERIALS ARE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL NOT DISTURB THEM AND SHALL CONTACT THE ARCHITECT/ENGINEER IMMEDIATELY.
15. CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT SHIPPED TO THE SITE IN A PROTECTED AREA. IF MATERIAL IS STORED OUTSIDE OF THE BUILDING, IT MUST BE STORED OFF THE GROUND A MINIMUM OF SIX INCHES (6") SET ON 6 X 6 PLANKS AND/OR WOOD PALLETS. ALL MATERIAL AND EQUIPMENT MUST BE COMPLETELY COVERED WITH WATERPROOF TARPS OR VISQUIN. ALL CONDUIT WILL HAVE THE ENDS CLOSED TO KEEP OUT DIRT AND OTHER DEBRIS. NO EQUIPMENT WILL BE ALLOWED TO BE STORED ON THE SITE UNLESS IT IS SITTING ON WOOD PLANKS AND COMPLETELY PROTECTED WITH WEATHERPROOF COVERS.
16. THE DRAWINGS, SCHEDULES AND SPECIFICATIONS HAVE BEEN PREPARED USING ONE MANUFACTURER FOR EACH PIECE OF EQUIPMENT AS THE BASIS FOR DIMENSIONAL DESIGN. IF THE CONTRACTOR PURCHASES EQUIPMENT FROM A SPECIFIED ACCEPTABLE MANUFACTURER, BUT NOT THE SCHEDULED MANUFACTURER USED FOR THE BASE DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL THE DIMENSIONS OF THE EQUIPMENT TO VERIFY THAT IT WILL FIT IN THE SPACE SHOWN ON THE DRAWINGS. MINOR DEVIATIONS IN DIMENSIONS WILL BE PERMITTED, PROVIDED THE RATINGS MEET THOSE SHOWN ON THE DRAWINGS AND EQUIPMENT WILL PHYSICALLY FIT INTO THE SPACE ALLOCATED WITH SUITABLE ACCESS AROUND EQUIPMENT FOR OPERATION AND MAINTENANCE OF THE EQUIPMENT. WHEN EQUIPMENT SUBMITTED FOR REVIEW DOES NOT MEET THE PHYSICAL SIZE OR ARRANGEMENT OF THAT SCHEDULED AND SPECIFIED, CONTRACTOR SHALL PAY FOR ALL ALTERATIONS REQUIRED TO ACCOMMODATE SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR WILL ALSO PAY ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT TO FIT IN THE SPACE AND FUNCTION AS INTENDED.
17. CONTRACTOR AND/OR MANUFACTURER SHALL VERIFY THAT THE CHARACTERISTICS OF THE EQUIPMENT HE SUBMITS FOR REVIEW MEET THE CAPACITY AND DUTY SPECIFIED.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THEIR ASSOCIATED FEES.

GENERAL ELECTRICAL NOTES: (APPLICABLE TO ALL SHEETS.)

1. THE MINIMUM WIRE SIZE SHALL BE #12 AWG. THE MINIMUM CONDUIT SIZE FOR HOMERUNS AND BRANCH FEEDS TO POWER OUTLETS SHALL BE 3/4" 1/2" CONDUIT IS ACCEPTABLE FOR BRANCH WIRING TO END OF THE LINE RECEPTACLES ONLY. ALL POWER BRANCH CIRCUITS SHALL TERMINATE AT 20A-1P CIRCUIT BREAKERS IN PANELBOARD INDICATED UNLESS NOTED OTHERWISE.
2. PROVIDE ALL PENETRATIONS, SLEEVES, AND SEALANT AS REQUIRED THROUGH PARTITIONS TO ACCOMMODATE THE FIRE ALARM, PAGING, CLOCK, VOICE, AND DATA CABLING. ANY PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE PROPERLY SEALED AND TREATED TO MAINTAIN THE FIRE STOPPING RATING OF THE WALLS, FLOORS, AND CEILINGS.
3. BACKBOXES ARE TO BE MOUNTED OFFSET, NOT BACK TO BACK.
4. CIRCUIT NUMBER(S), WHERE SHOWN, ARE TO INDICATE QUANTITY OF CIRCUITS REQUIRED. VERIFY EXACT CIRCUIT NUMBER TO BE UTILIZED IN FIELD. CONTRACTOR SHALL PROVIDE ACTUAL CIRCUITING AS PART OF "AS BUILT" DRAWINGS.
5. UNLESS INDICATED OTHERWISE, ALL MATERIALS REQUIRED TO PROVIDE BRANCH CIRCUITS AND FEEDERS ARE TO BE NEW.
6. DURING THE COURSE OF INVESTIGATION AND DEMOLITION, IF IT IS DETERMINED THAT IT MAY BE FEASIBLE TO UTILIZE EXISTING MATERIALS FOR BRANCH CIRCUITS AND FEEDERS, CONTRACTOR SHALL NOTIFY ENGINEER FOR APPROVAL PRIOR TO PERFORMING ANY WORK.
7. ANY ELECTRICAL DEVICES ON NEW WALLS SHALL BE FLUSH MOUNTED. NO WIREMOLDS ARE ACCEPTABLE ON NEW WALLS UNLESS NOTED OTHERWISE.
8. VERIFY RECEPTACLE LOCATIONS WITH ARCHITECTURAL FURNITURE LAYOUT TO ENSURE PROPER ACCESSIBILITY.
9. DRAWINGS DO NOT REPRESENT ALL EXISTING FIRE ALARM DEVICES. INITIATING AND NOTIFICATION DEVICES NOT SHOWN ON THE DRAWINGS ARE EXISTING TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN OPERATION OF THE EXISTING DEVICES NOT SHOWN.
10. EXISTING FIRE ALARM SYSTEM SHALL BE OPERATIONAL AT ALL TIMES. THE OCCUPIED AREA OF THE BUILDING SHALL NOT BE LEFT UNPROTECTED AT ANY TIME. IF AN INTERRUPTION OF FIRE ALARM SYSTEM IS REQUIRED TO FACILITATE DEVICE INSTALLATION, PROVIDE 48 HOURS OF ADVANCE NOTICE TO THE OWNER AND THE LOCAL FIRE DEPARTMENT. CONTRACTOR SHALL HIRE AN AUTHORIZED PERSONNEL TO WATCH/GUARD ANY UNPROTECTED AREAS OF THE BUILDING WHERE NECESSARY.
11. UNLESS INDICATED ON ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF NEW OR EXISTING BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. REMOVE, STORE, AND REINSTALL CEILING TILES AS REQUIRED TO INSTALL WORK ABOVE EXISTING REMOVABLE CEILINGS WHICH REMAIN; REPLACE TILES BROKEN OR DAMAGED DURING CONSTRUCTION. ALL PATCHING, REPAIRING, AND REFINISHING WORK TO OTHER FINISHES AND STRUCTURAL ELEMENTS SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE WHILE MAINTAINING EXISTING FIRE RATINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING FIRE RATINGS OF CEILINGS AND PARTITIONS SYSTEMS. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED, AND PAID FOR BY THE INSTALLING CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT.
12. REMOVE AND REINSTALL CEILING MOUNTED DEVICES AS REQUIRED TO ALLOW INSTALLATION OF FEEDERS, BRANCH CIRCUITS, MECHANICAL PIPING, AND DUCT WORK. DEVICES INCLUDE BUT ARE NOT LIMITED TO: LUMINAIRES, SPEAKERS, FIRE ALARM, AND PAGING DEVICES.
13. PROVIDE PULL BOX(ES) BETWEEN PULL POINTS AS REQUIRED TO COMPLY WITH NEC 344.26 SUCH THAT THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (360 DEGREE TOTAL) BETWEEN PULL POINTS.
14. SPECIAL ATTENTION SHALL BE PAID TO ALL CONDUIT ROUTING IN OPEN CEILING SPACE FOR AESTHETIC PURPOSES. ALL EXPOSED CONDUITS SHALL BE ROUTED PERPENDICULAR AND PARALLEL TO BUILDING LINES AND TIGHT TO CEILING/STRUCTURAL CORNERS. WHERE THIS IS NOT FEASIBLE, SUBMIT CONDUIT ROUTING PLAN TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
15. IN RENOVATIONS, IF AN EXISTING RECEPTACLE/JUNCTION BOX LOCATION WILL END UP HIDDEN BEHIND PERMANENTLY INSTALLED EQUIPMENT OR CASEWORK, PROCEED AS NOTED BELOW:
A. IF THE RECEPTACLE IS AN END OF LINE DEVICE (IT DOES NOT FEED OTHER DEVICES), IT SHALL BE REMOVED INCLUDING ASSOCIATED WIRING BACK TO LAST ACTIVE DEVICE OR JUNCTION BOX AND A BLANK COVER PLATE INSTALLED.
B. IF THE RECEPTACLE DOES SERVE DOWNSTREAM DEVICES, REMOVE RECEPTACLE AND REWORK WIRING TO A NEW OR EXISTING JUNCTION BOX ABOVE CEILING SUCH THAT NO WIRES ARE PRESENT IN THE JUNCTION BOX. A BLANK COVER PLATE SHALL BE INSTALLED.
16. CONTRACTOR SHALL PROVIDE DEDICATED NEUTRAL FOR EACH BRANCH CIRCUIT TO MEET THE REQUIREMENTS OF NEC ARTICLE 210.4(B).
17. LOW VOLTAGE CABLES INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, PAGING, TEMPERATURE CONTROL, FIRE ALARM, LIGHTING CONTROL, AND AUDIO/VIDEO SYSTEMS, ETC., SHALL BE INSTALLED IN A COMPLETE RACEWAY SYSTEM IN ALL INACCESSIBLE AREAS.
18. IN JUNCTION BOXES WHERE CURRENT CARRYING CONDUCTORS ARE SPLICED OR TERMINATED, PROVIDE BOND TO JUNCTION BOX FROM EQUIPMENT GROUNDING CONDUCTOR.
19. IN AREAS OF THE BUILDING WHERE NEW CEILING HEIGHT IS HIGHER THAN THE EXISTING CEILING HEIGHT, ANY EXISTING CONDUITS/CONDUCTORS AND JUNCTION BOXES SERVING EXISTING DEVICES/EQUIPMENT TO REMAIN SHALL BE RE-ROUTED, RELOCATED, AND MODIFIED AS REQUIRED TO ACCOMMODATE NEW CEILING HEIGHT. FIELD VERIFY EXACT CONDITIONS.
20. IN AREAS OF THE BUILDING WHERE NEW DRYWALL OR PLASTER CEILING IS SCHEDULED TO BE INSTALLED, ANY EXISTING JUNCTION BOXES AND ASSOCIATED CONDUITS/CONDUCTORS SHALL BE MODIFIED AND RELOCATED AS REQUIRED TO AN ACCESSIBLE LOCATION UNLESS NEW ACCESS PANELS ARE PERMITTED TO BE INSTALLED IN NEW CEILING BY THE ARCHITECT.
21. COORDINATE POWER REQUIREMENTS FOR BUILDING AUTOMATION SYSTEM (BAS) CONTROLLERS WITH MECHANICAL/BAS CONTRACTORS. PROVIDE 2#12, 1#12G, IN 3/4" C. FROM EACH BAS CONTROLLER TO A NEW 20A-1P CIRCUIT BREAKER IN ELECTRICAL PANEL SERVING AREA WITH SPACE AND CAPACITY.
22. REFER TO MECHANICAL PLANS FOR EXACT LOCATIONS OF THERMOSTAT/CARBON DIOXIDE DETECTORS. PROVIDE SINGLE GANG BACKBOX AND EMPTY 3/4" CONDUIT WITH PULL STRING STUBBED INTO ACCESSIBLE CEILING SPACE FOR INSTALLATION OF THERMOSTAT/CARBON DIOXIDE DETECTORS. CABLING AND DEVICE SHALL BE BY OTHERS.
23. ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH SURROUNDING FINISHES.
24. CONDUITS AND RACEWAYS SHALL NOT BE ROUTED ACROSS FLOORS OR SLABS.
25. CONDUCTORS FOR EQUIPMENT RATED 100AMP, AND BELOW ARE SIZED PER ARTICLE 110.14(C)(1)a)(2) WHICH INDICATES TO UTILIZE THE 60° TEMPERATURE RATING COLUMN OF TABLE 310.15(B)(1) REGARDLESS OF CONDUCTOR INSULATION RATING.
26. WHERE EXISTING RACEWAYS ARE REUSED, CONTRACTOR SHALL BE RESPONSIBLE FOR MECHANICAL INTEGRITY OF RACEWAY. CONTRACTOR SHALL PERFORM ALL REPAIRS TO ANY REUSED EXISTING RACEWAY SO THAT RACEWAY SYSTEM IS CONTINUOUS AND CODE COMPLIANT. CONTRACTOR SHALL ENSURE ANY EXISTING RACEWAY SYSTEM DOES NOT DAMAGE NEW CONDUCTORS/CABLES. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE REUSED RACEWAY AND WARRANTY THEM AS NEW.
27. LOCATE NOTIFICATION APPLIANCE CIRCUIT (NAC) PANELS, IN SERVICE SPACES SUCH AS JANITOR/STORAGE CLOSET OR MECHANICAL/ELECTRICAL ROOMS. PROVIDE A SMOKE DETECTOR ABOVE EACH NAC PANEL.
28. PROVIDE A DEDICATED 120VAC, 20AMP, BRANCH CIRCUIT TO EACH NAC PANEL FROM THE NEAREST ELECTRICAL PANEL WITH SPARE SPACE/CAPACITY. PROVIDE 20A-1P CIRCUIT BREAKER OF TYPE TO MATCH PANEL WITH ACCESSORY TO LOCK FIRE ALARM CIRCUIT BREAKER IN THE "ON" POSITION. PROVIDE UPDATED PANELBOARD DIRECTORY TO REFLECT ANY CHANGES.
29. ROOM NAMES AND NUMBERS ARE SHOWN ON THE DRAWINGS FOR REFERENCES ONLY. CONTRACTOR SHALL FIELD VERIFY AND OBTAIN EXACT ROOM NAMES AND NUMBERS TO BE UTILIZED FOR PROGRAMMING AND ALL CLOSEOUT DOCUMENTS.
30. EACH INITIATING DEVICE SHALL BE PROVIDED WITH A VISIBLE LABEL WITH BAR CODE TO INCLUDE THE DEVICE ADDRESS NUMBER.
31. ADJUST LOCATION OF SMOKE/HEAT DETECTORS A MINIMUM OF 3 FEET AWAY FROM HVAC DIFFUSERS.
32. PROVIDE ALL REQUIRED COMPONENT FOR AN OPERABLE FIRE ALARM SYSTEM, INCLUDING BUT NOT LIMITED TO NAC PANELS, AMPLIFIERS, BATTERY CABINETS, ETC.

GENERAL ELECTRICAL DEMOLITION NOTES: (APPLICABLE TO ALL SHEETS.)

1. ALL INDICATED ELECTRICAL EQUIPMENT, LUMINAIRES, DEVICES, AND RELATED CONDUIT AND WIRING TO BE REMOVED UNLESS NOTED OTHERWISE.
2. ALL DEMOLITION OF THE ELECTRICAL SYSTEM AS NOTED ON THE DEMOLITION DRAWINGS SHALL BE COORDINATED WITH THE RENOVATION REQUIREMENTS TO DETERMINE THIS CONTRACTOR'S WORK.
3. IT IS THE INTENT OF THE ELECTRICAL DEMOLITION DRAWING(S) TO INDICATE AREAS IN WHICH ELECTRICAL EQUIPMENT, CONDUIT, LUMINAIRES, DEVICES, ETC. NEED TO BE REMOVED, RELOCATED, OR MODIFIED BY THIS CONTRACTOR TO ALLOW FOR THE RENOVATION PHASE OF CONSTRUCTION. THE ELECTRICAL DEMOLITION PLAN IS FOR REFERENCE PURPOSES ONLY AND IT IS NOT INTENDED TO BE THE SOLE SOURCE OF EXISTING CONDITIONS.
4. CONTRACTOR SHALL VISIT THE BUILDING, BEFORE SUBMITTING THEIR BID, TO VERIFY THE EXISTING CONDITIONS WHICH WILL AFFECT THEIR WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE ELECTRICAL DEMOLITION REQUIRED TO ACCOMMODATE THE RENOVATION. REMOVE AS REQUIRED ALL LUMINAIRES, CONNECTIONS TO MECHANICAL EQUIPMENT, DEVICES, ETC.. PULL OUT ALL UNUSED CONDUCTORS AND CABLES, AND REMOVE ALL ABANDONED CONDUIT. ELECTRICALLY DISCONNECT AIR HANDLING UNITS, PUMPS, BOILERS, AND OTHER SUCH EQUIPMENT FOR REMOVAL BY OTHERS. BACKFEED AS REQUIRED ALL DOWNSTREAM DEVICES WHICH REMAIN. (THE CONTRACTOR SHALL COORDINATE WITH THE OWNER WHICH ITEMS INDICATED TO BE REMOVED & DISCONNECTED SHALL BE SALVAGED AND PRESENTED TO THE OWNER PRIOR TO ANY DISPOSAL OF THESE ITEMS.)
6. ALL REMOVED EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. WHERE WORK CALLED FOR ON THE DRAWINGS OR IN THE SPECIFICATIONS INVOLVES THE REMOVAL OF FLUORESCENT LAMPS CONTAINING MERCURY OR CLOTH INSULATED CONDUCTORS, THEY SHALL BE PROPERLY HANDLED AND REMOVED FROM SITE BY APPROVED METHODS PER EPA REGULATIONS.
7. ALL EXISTING RECEPTACLES/DATA OUTLETS/DEVICES/EQUIPMENT THAT ARE NOT PART OF DEMOLITION SHALL REMAIN AS IS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL CHECK AND VERIFY FOR CONTINUING OPERATION OF THESE DEVICES PRIOR TO SUBSTANTIAL COMPLETION. IF ANY EXISTING CIRCUITS TO REMAIN ARE INTERRUPTED BY DEMOLITION OR NEW CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT/REMOVAL/REROUTING/MODIFICATION OF CONDUITS AND WIRES INCLUDING EXTENSION, AS REQUIRED TO MAINTAIN FUNCTIONALITY OF DOWNSTREAM RECEPTACLES/DATA OUTLETS/DEVICES/EQUIPMENT.
8. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT PHASING AND MAINTAIN EXISTING SYSTEMS ACTIVE IN AREAS WHICH REMAIN OCCUPIED.
9. EXISTING CEILING MOUNTED SPEAKERS, PROGRAM BELLS, FIRE ALARM DEVICES, AND SIMILAR ELECTRICAL EQUIPMENT AND DEVICES TO REMAIN SHALL BE EXTENDED AND REINSTALLED AS REQUIRED IN NEW CEILINGS. FIELD VERIFY EXACT QUANTITIES AND REQUIREMENTS.
10. SUPPORT ALL CABLING DRAPED OR LYING LOOSE ABOVE EXISTING CEILINGS WHICH ARE SCHEDULED TO BE REMOVED. TIE WRAP CABLING TO JOISTS OR OTHER STRUCTURAL MEMBERS AS REQUIRED. UPON THE COMPLETION OF THE PROJECT, NO CABLING SHALL BE LYING ON ACCESSIBLE CEILINGS.
11. WHERE EXISTING DEVICE IS REMOVED FROM WALL WITH NO NEW DEVICE GOING BACK AT SAME LOCATION, PROVIDE BLANK BRUSHED STAINLESS STEEL COVER PLATES AS REQUIRED. COVER PLATES SHALL BE OF PROPER SIZE AND INSTALLED FLUSH WITH WALL.

GENERAL LIGHTING NOTES: (APPLICABLE TO ALL SHEETS.)

1. THE MINIMUM WIRE SIZE SHALL BE #12 AWG. THE MINIMUM CONDUIT SIZE FOR HOMERUNS SHALL BE 3/4" 1/2" CONDUIT IS ACCEPTABLE FOR BRANCH WIRING TO LUMINAIRES WHERE APPLICABLE. ALL LIGHTING BRANCH CIRCUITS SHALL TERMINATE AT 20A-1P CIRCUIT BREAKERS IN PANELBOARD INDICATED UNLESS NOTED OTHERWISE.
2. PROVIDE LOCK-ON CIRCUIT BREAKER DEVICES FOR ALL EMERGENCY LIGHTING & EXIT SIGN BRANCH CIRCUITS.
3. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LUMINAIRE LOCATIONS.
4. CIRCUIT NUMBER(S), WHERE SHOWN, ARE TO INDICATE QUANTITY OF CIRCUITS REQUIRED. VERIFY EXACT CIRCUIT NUMBER TO BE UTILIZED IN FIELD. CONTRACTOR SHALL PROVIDE ACTUAL CIRCUITING AS PART OF "AS BUILT" DRAWINGS.
5. EMERGENCY BATTERY PACKS SHOWN ARE TO BE CONNECTED TO THE NEAREST LIGHTING BRANCH CIRCUIT AHEAD OF LOCAL SWITCH UNLESS NOTED OTHERWISE.
6. ALL LAY-IN LUMINAIRES SHALL BE INDEPENDENTLY SUPPORTED AT OPPOSITE CORNERS TO A STRUCTURAL MEMBER.
7. PROVIDE PULL BOX(ES) BETWEEN PULL POINTS AS REQUIRED TO COMPLY WITH NEC 344.26 SUCH THAT THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (360 DEGREE TOTAL) BETWEEN PULL POINTS.
8. PROVIDE DEDICATED NEUTRAL FOR EACH BRANCH CIRCUIT TO MEET THE REQUIREMENTS OF NEC ARTICLE 210.4(B).
9. IN JUNCTION BOXES WHERE CURRENT CARRYING CONDUCTORS ARE SPLICED OR TERMINATED, PROVIDE BOND TO JUNCTION BOX FROM EQUIPMENT GROUNDING CONDUCTOR.



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McHenry County College
2024 RENOVATIONS - BID PACKAGE 1
8900 NORTHWEST HWY #14
CRYSTAL LAKE, IL 60012
DKA PROJECT NO: 24-031

KEY PLAN:

SHEET STATUS: 7/24/2024

ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
ELECTRICAL NOTES

SHEET NUMBER:

E5.10

KEY PLAN:

SHEET STATUS: 7/24/2024
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION:	DATE:

SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER:
E6.00

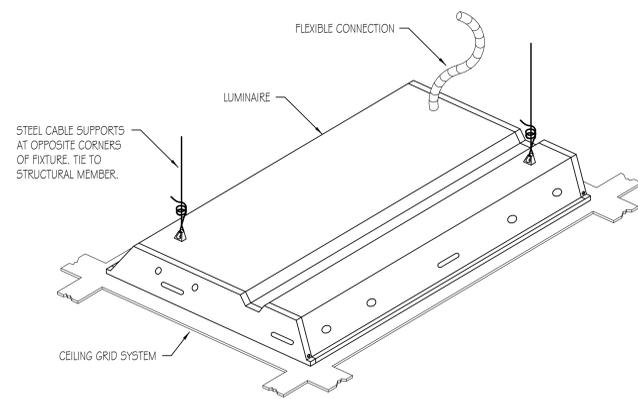
SUGGESTED MATRIX OF RESPONSIBILITY			
ITEM	BY ELECTRICAL CONTRACTOR	BY OWNER'S REPRESENTATIVE	NOTES
TELECOMMUNICATION - BACKBOX ROUGH-IN AND RACEWAYS	X	-	-
TELECOMMUNICATION - CABLING AND TERMINATIONS	X	-	-
TELECOMMUNICATION - CABLE TESTING AND CERTIFICATION	X	-	-
TELECOMMUNICATION - PATCH PANELS, CABLE MANAGEMENT	-	X	3
TELECOMMUNICATION - UPS, SWITCHES, SERVERS, WIRELESS ACCESS POINTS	-	X	-
TELECOMMUNICATION - 120VAC TO EQUIPMENT	X	-	2
ACCESS CONTROL - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
ACCESS CONTROL - CABLING AND TERMINATIONS	-	X	-
ACCESS CONTROL - CABLE TESTING AND CERTIFICATION	-	X	-
ACCESS CONTROL - EQUIPMENT, PROGRAMMING, TESTING	-	X	-
ACCESS CONTROL - 120VAC TO EQUIPMENT	X	-	2
SECURITY CAMERA - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
SECURITY CAMERA - CABLING AND TERMINATIONS	X	-	-
SECURITY CAMERA - CABLE TESTING AND CERTIFICATION	X	-	-
SECURITY CAMERA - EQUIPMENT, PROGRAMMING, TESTING	-	X	-
SECURITY CAMERA - 120VAC TO EQUIPMENT	X	-	2
FIRE ALARM SYSTEM - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
FIRE ALARM SYSTEM - CABLING AND TERMINATIONS	-	X	5
FIRE ALARM SYSTEM - EQUIPMENT, PROGRAMMING, TESTING	-	X	5
FIRE ALARM SYSTEM - 120VAC TO EQUIPMENT	X	-	-
PUBLIC ANNOUNCEMENT SPEAKER SYSTEM - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
PUBLIC ANNOUNCEMENT SPEAKER SYSTEM - CABLING AND TERMINATIONS	X	-	-
PUBLIC ANNOUNCEMENT SPEAKER SYSTEM - EQUIPMENT, PROGRAMMING, TESTING	X	-	4,6
PUBLIC ANNOUNCEMENT SPEAKER SYSTEM - 120VAC TO EQUIPMENT	X	-	-
CLOCK SYSTEM - BACKBOX ROUGH-IN AND RACEWAYS	X	-	1
CLOCK SYSTEM - CABLING AND TERMINATIONS	X	-	-
CLOCK SYSTEM - EQUIPMENT, PROGRAMMING, TESTING	X	-	4,6
CLOCK SYSTEM - 120VAC TO EQUIPMENT	X	-	-

GENERAL NOTES:

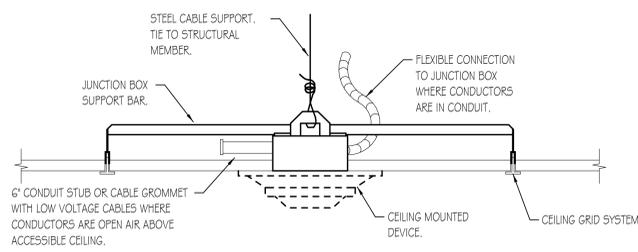
a. MATRIX IS SHOWN AS RECOMMENDATIONS ONLY AND PROVIDED AS A COURTESY TO CONTRACTOR. SOME COMPONENTS MAY NOT BE INCLUDED IN THIS MATRIX. CONFIRM WITH ARCHITECT, GENERAL CONTRACTOR OR CONSTRUCTION MANAGER PRIOR TO BIDDING TO CONFIRM SCOPE APPLICABLE TO THIS TRADE'S WORK.

NOTES:

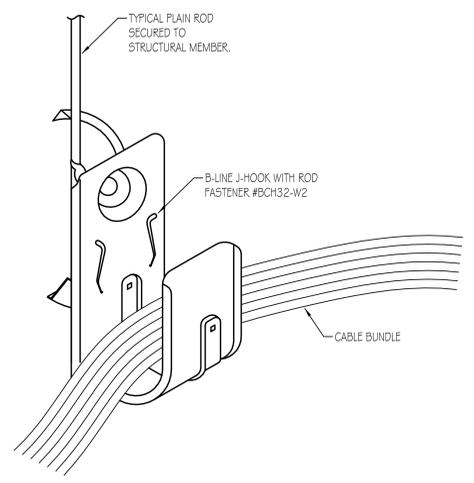
- CONTRACTOR TO CONFIRM EXACT QUANTITY, HEIGHT, BACKBOX SIZE AND CONDUIT SIZE WITH OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
- CONTRACTOR TO CONFIRM EXACT LOCATION AND ELECTRICAL CHARACTERISTICS OF EQUIPMENT WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- NEW CABLES SHALL TERMINATE IN EXISTING PATCH PANELS. FIELD VERIFY EXACT REQUIREMENTS.
- MODIFY/EXPAND EXISTING SYSTEM TO MEET PROJECT REQUIREMENTS.
- FIRE ALARM WORK TO BE CARRIED OUT UNDER A SEPARATE CONTRACT.
- EQUIPMENT TO BE FURNISHED BY OWNER. INSTALLED AND WIRED BY CONTRACTOR.



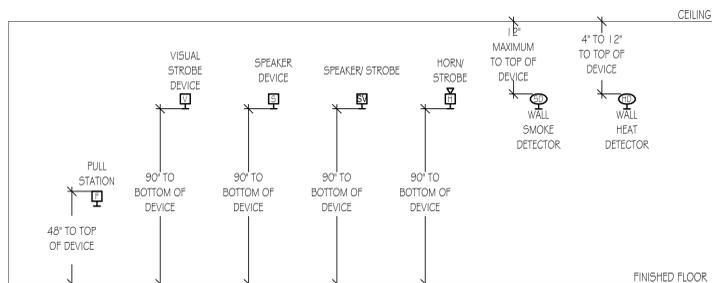
LUMINAIRE SUPPORT DETAIL
 NO SCALE



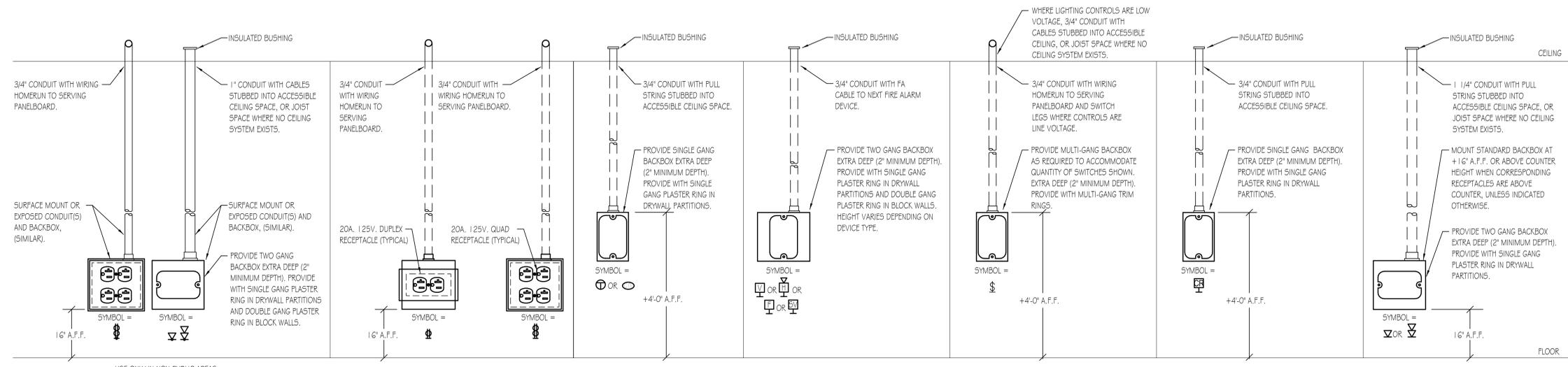
CEILING MOUNTED DEVICE SUPPORT DETAIL
 NO SCALE



CABLE BUNDLE SUPPORT DETAIL
 NO SCALE



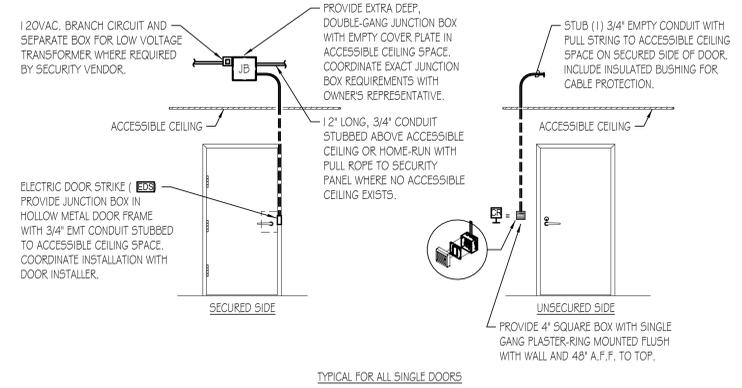
FIRE ALARM DEVICE MOUNTING HEIGHT DETAIL
 NO SCALE



JUNCTION BOX ROUGH-IN DETAIL
 NO SCALE

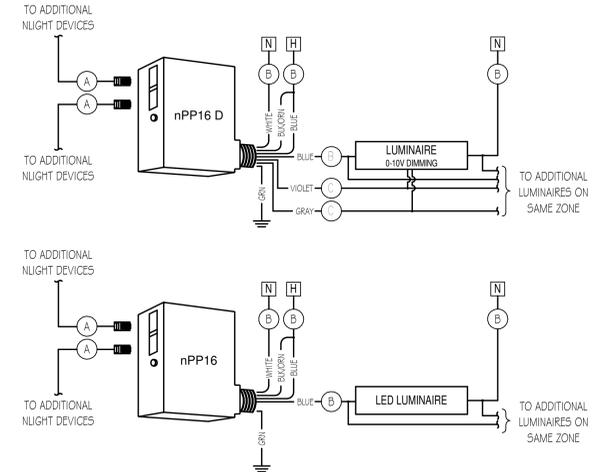
- NOTES:**
- DETAILS ARE FOR REFERENCE ONLY.
 - NOT ALL DEVICES ARE REQUIRED FOR THIS PROJECT.
 - PROVIDE TWO GANG BACKBOXES (2" MINIMUM DEPTH) WITH ALL RECEPTACLE OUTLETS.

USE ONLY IN NON-PUBLIC AREAS
 (E.G. MECHANICAL/ELECTRICAL ROOMS)
 WHERE FLUSH/RECESS INSTALLATION IS NOT REQUIRED.
 SEE PLAN DRAWINGS FOR LOCATIONS.



ACCESS CONTROL / SECURITY DEVICE DETAIL
 NO SCALE

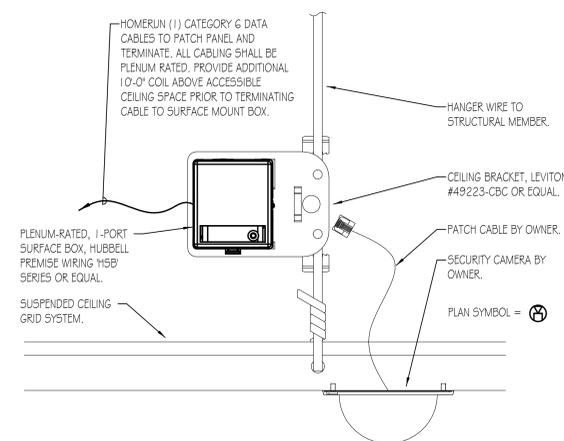
- NOTES:
1. SECURITY DEVICES BY OTHERS. COORDINATE FINAL LOCATION AND REQUIREMENTS WITH OWNERS REPRESENTATIVE.
 2. DETAILS ARE REPRESENTATIVE OF TYPICAL INSTALLATION. COORDINATE INSTALLATION WITH DOOR AND DOOR HARDWARE INSTALLER.



WIRE LEGEND	
(A)	PLENUM-RATED CAT 5e (CLASS 2)
(B)	LINE VOLTAGE
(C)	0-10 VDC

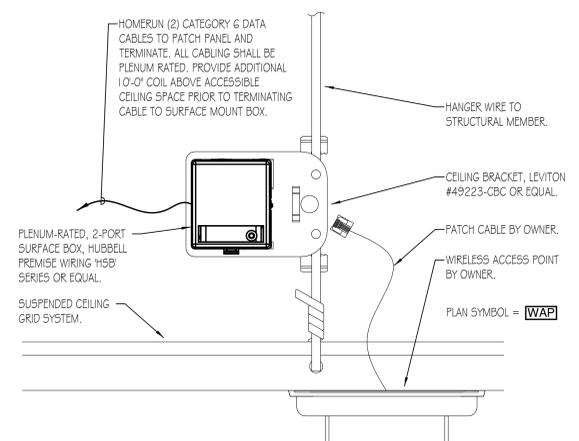
TYPICAL POWER PACK WIRING DIAGRAM
 NO SCALE

- NOTES:
1. DETAIL FOR REFERENCE ONLY FOR BASIS OF DESIGN. REFER TO MANUFACTURER'S WIRING DIAGRAMS IF ALTERNATE MANUFACTURER IS USED.



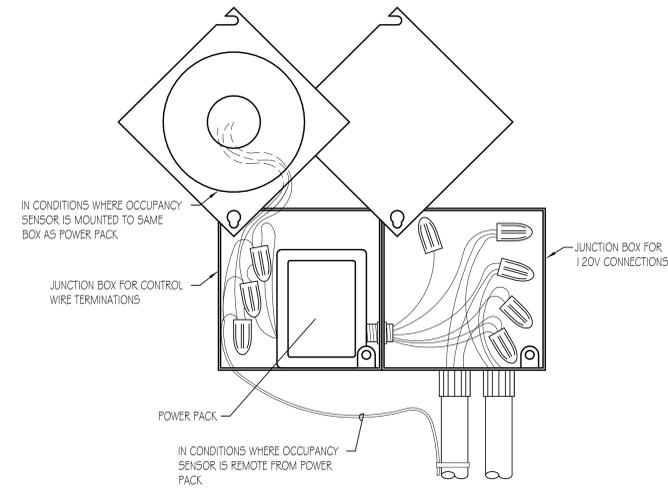
SECURITY CAMERA DETAIL
 NO SCALE

- NOTES:
1. SUPPORT SURFACE MOUNT BOX TO A STRUCTURAL MEMBER.
 2. COORDINATE FINAL OUTLET AND CAMERA LOCATION WITH OWNERS REPRESENTATIVE.



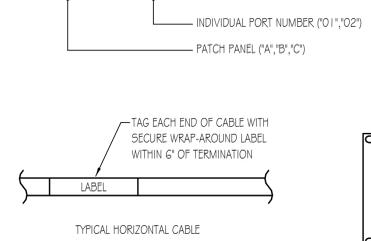
WIRELESS ACCESS POINT DETAIL
 NO SCALE

- NOTES:
1. SUPPORT SURFACE MOUNT BOX TO A STRUCTURAL MEMBER.
 2. COORDINATE FINAL OUTLET AND ACCESS POINT LOCATION WITH OWNERS REPRESENTATIVE.



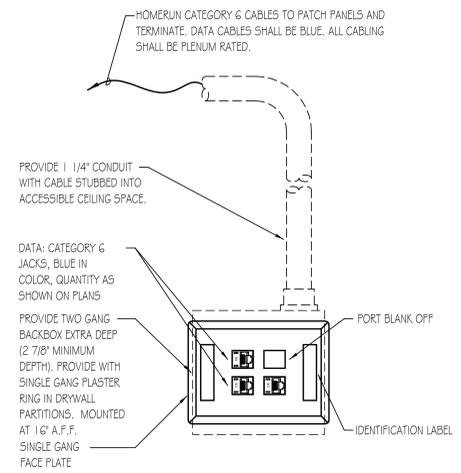
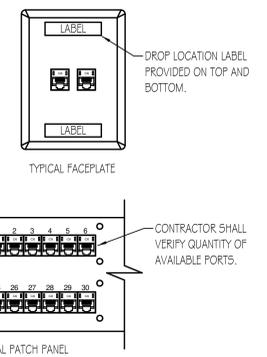
OCCUPANCY SENSOR POWER PACK DETAIL
 NO SCALE

DROP LOCATION LABELING LOGIC (PATCH-ID)-(PORT #)



- NOTE:
 EACH HORIZONTAL CABLE TERMINATION SHALL HAVE DEDICATED IDENTIFICATION. ALL LABELING MUST BE DONE WITH MECHANICAL LABEL MAKER, UTILIZING SCHEME AND METHODS ILLUSTRATED ABOVE, NO HAND-LETTERING PERMISSIBLE. ALL LABELS TO FEATURE BLACK TEXT ON WHITE BACKGROUND.

DATA CABLE LABELING DETAIL
 NO SCALE



TYPICAL COMMUNICATION OUTLET DETAIL
 NO SCALE

- NOTES:
1. PROVIDE MACHINE MADE IDENTIFICATION LABELS FOR EACH LOW VOLTAGE OUTLET. VERIFY EXACT REQUIREMENTS WITH OWNERS REPRESENTATIVE.
 2. ALL CABLE SHALL BE A MINIMUM OF CATEGORY 6 UNLESS INDICATED OTHERWISE.
 3. LABEL EACH DATA JACK WITH THE IDF CLOSET AND PATCH PORT NUMBER.
 4. PROVIDE QUANTITY OF CABLES AND JACKS AS INDICATED ON PLANS.
 5. CABLE JACKET AND JACK COLORS SHALL MATCH EXISTING BUILDING STANDARDS.

KEY PLAN:

SHEET STATUS: 7/24/2024
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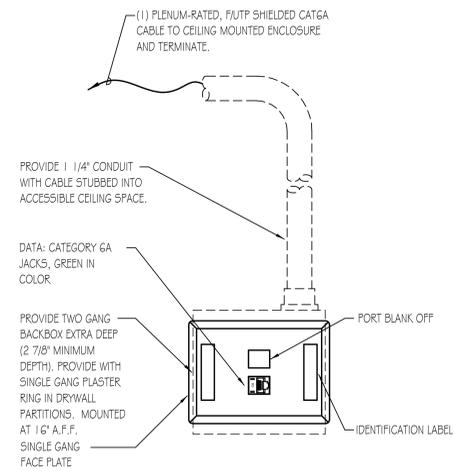
NO.	DESCRIPTION:	DATE:

SHEET TITLE:
ELECTRICAL DETAILS

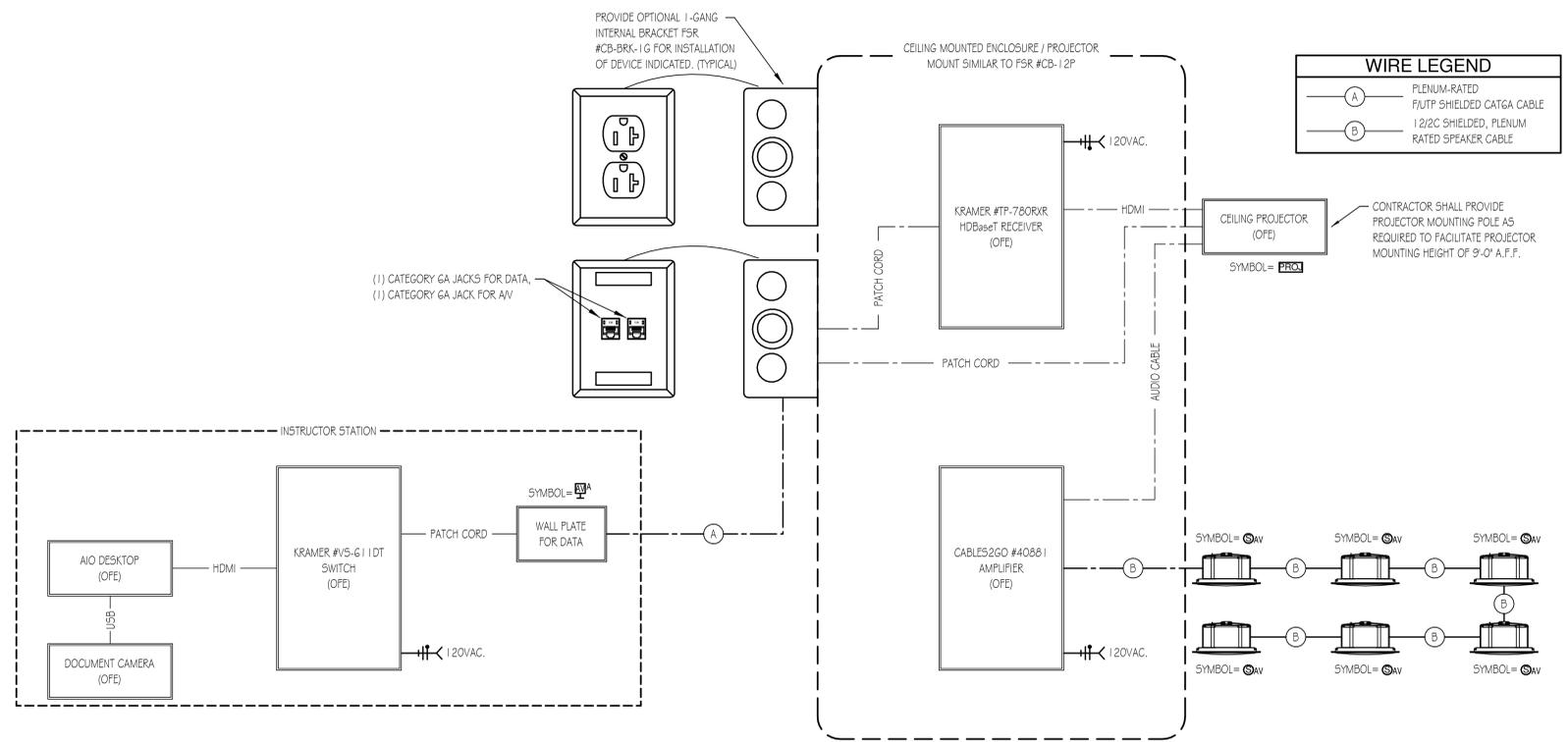
SHEET NUMBER:

E6.10

STANDARD CLASSROOM A/V EQUIPMENT				
ITEM	OWNER FURNISH, OWNER INSTALL	OWNER FURNISH, CONTRACTOR INSTALL	CONTRACTOR FURNISH, CONTRACTOR INSTALL	NOTES
DESKTOP AIO COMPUTER	X	-	-	-
DOCUMENT CAMERA	X	-	-	-
AV SWITCHER (KRAMER G11DT)	X	-	-	-
CEILING SPEAKERS	-	-	X	-
PROJECTOR (EPSON 530)	-	X	-	-
PROJECTOR SCREEN (DALITE MODEL B)	-	-	X	-
AV AMPLIFIER (CABLE52GO #40881)	X	-	-	-



A/V OUTLET DETAIL
 NO SCALE
 PLAN SYMBOL =



CLASSROOMS A/V SCHEMATIC DIAGRAM
 NO SCALE
 NOTES:
 1. ALL LOW VOLTAGE CABLES SHALL BE PLENUM-RATED.
 2. 'OFE' DENOTES OWNER FURNISHED EQUIPMENT.

KEY PLAN:

SHEET STATUS: 7/24/2024
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SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER:

E6.20