

**SECTION 00 90 02
BIDDING AND CONTRACT REQUIREMENTS
ADDENDUM NUMBER 2**

**Demonica Kemper Architects
125 N. Halsted Street, Suite 301
Chicago, IL 60661
312.496.0000**

To: Prospective Bidders

Issued: May 12, 2023

Re: ADDENDUM NUMBER (2) TO THE BIDDING DOCUMENTS FOR

**McHenry County College
Visiting Team Changing Rooms**
Architect's Project Number: 23-006

This addendum forms a part of the bidding and contract documents and modifies the original bidding documents dated April 28, 2023. Acknowledge receipt of this addendum in the space provided on Bid Form. FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION.

ADDENDA TO THE PROJECT MANUAL

1. 00 21 13 – INSTRUCTIONS TO BIDDERS
 - A. **REVISE** specification section reference number noted on page 2 for the “Substitution Sheet” to 00 43 25 in lieu of “00 44 00” and renumber as needed.
2. 00 41 13 – BID FORM
 - A. **ADD** Alternate No. 2 to the bid form. Replace spec section in its entirety with the attached.
3. 01 23 00 – ALTERNATES
 - A. **ADD** the following to 3.1 SCHEDULE OF ALTERNATES...

'A. ALTERNATE NO. 2: Deduct from the Lump Sum Base Bid to have the owner provide and the contractor install all new lighting fixtures noted for A103A, A103B, A103C, and A103D. All other electrical work would remain as noted on the drawings.'

ADDENDA TO THE DRAWINGS

1. AD1.10
 - A. **REVISE** demolition reference note M4 as indicated.
2. A1.10
 - A. **REVISE** floor plan reference note 2 as indicated.
 - B. **ADD** floor plan reference note 10 as indicated.
 - C. **REVISE** reference note 5 to reference note 10 in rooms A103A and A103C as indicated.
 - D. **REVISE** light fixture layout per changes made to the electrical drawings.
3. E1.10
 - A. **REVISE** “ELECTRICAL DEMOLITION PLAN” to disconnect and remove all existing luminaires.
 - B. **REVISE** “LIGHTING PLAN” to show new luminaires.
 - C. **ADD** “LUMINAIRE SCHEDULE” as indicated.

CLARIFICATIONS

1. See attached for Minutes from the Pre-Bid Meeting and Walkthrough on Monday, May 8, 2023.

This addendum consists of 2 pages, excluding attachments.

END 00 90 02.

Attachments:

1. 00 41 13 – BID FORM
2. AD1.10
3. A1.10
4. E1.10
5. Pre-Bid Meeting Minutes

SECTION 00 41 13 - BID FORM

To: McHenry County College
8900 US Hwy 14
Crystal Lake, IL 60012

Project: Visiting Team Changing Rooms

Date: _____

Submitted by: _____

(Full name and address)

PART 1 - OFFER

Having examined the site and having familiarized itself with the conditions affecting the cost of the work associated with the project and with the bidding documents, Bidder hereby proposes to perform everything required and to furnish all labor, materials, necessary tools, expendable equipment, and transportation services necessary to complete in a workmanlike manner the subdivision of work stated above in accordance with the bidding documents for the following sums:

Base Bid:

We have included, attached herewith, the Bid Bond as required by the Instructions to Bidders.

The Bidder agrees to perform the work for the lump sum amount of:

TOTAL BASE BID \$ _____ (in figures)

_____ (in words)

Allowances:

The undersigned hereby states that all allowance amounts, as described in Section 01 21 00, are included in the Total Base Bid proposal amount listed above.

ALLOWANCE NO. 1: Door Hardware Allowance of \$6,000.00

ALLOWANCE NO. 2: Fire Alarm Allowance of \$6,000.00

Alternate Bids:

The undersigned hereby states the net amount of decrease or increase to the Lump Sum Base Bid for the following Alternates as described in Section 01 23 00.

ALTERNATE NO. 1: Deduct from the Lump Sum Base Bid to eliminate all of the electrical scope from the Contract Documents.

Total, Alternate No. 1: \$ _____

ALTERNATE NO. 2: Deduct from the Lump Sum Base Bid to have the owner provide and the contractor install all new lighting fixtures noted for A103A, A103B, A103C, and A103D. All other electrical work would remain as noted on the drawings.

Total, Alternate No. 2: \$ _____

PART 3- ACCEPTANCE

This offer shall be open to acceptance and is irrevocable for thirty (90) days from the Bid closing date.

If the bid is accepted by the Owner within the time period stated above, we will:

- A. Execute the Agreement within ten (10) days of receipt of Notice of Award.
- B. Furnish the required bonds within ten (10) days of receipt of Notice of Award in the form described in the Supplementary Conditions.
- C. Furnish the required Certificate of Insurance within ten (10) days of receipt of Notice of Award in the form and amounts described in the Supplementary Conditions.
- D. Commence work as established by the written Notice to Proceed.

If this Bid is accepted within the time stated, and we fail to commence the Work or we fail to provide the required Bonds(s), the Security Deposit shall be forfeited as damages to the Owner by reason of our failures.

In the event our Bid is not accepted within the time stated above, the required security deposit shall be returned to the undersigned, in accordance with the provisions of the Instructions to Bidders; unless a mutually satisfactory arrangement is made for its retention and validity for an extended period of time.

PART 4 - CONTRACT TIME

If the Bid is accepted, we will:

- A. Complete the work in manner consistent to meet the requirements of the schedule.
- B. Contractor has examined the Schedule included in these documents and takes no exception, or records the following exceptions:

PART 5 - CONTRACTOR'S FEES FOR CHANGES IN THE WORK

Lump Sum or Time and Materials Changes: We, the undersigned bidder, agree that the following percentages for overhead and profit shall be added to costs for the net amount of work added to, or deleted from, the contract by written lump sum or time and material change orders recommended by the Architect and approved by the Owner:

- A. On Contractor's direct net cost: 15%, with a minimum fee of one hundred dollars (\$100.00).
- B. On first-tier Subcontractor's net cost: 5%, with a minimum fee of fifty dollars (\$50.00). Net cost includes all sub-subcontractors work, and excludes subcontractors (all tiers) overhead and profit amounts.

Note: Insurance, bond, and taxes are considered as job cost items and are included in the percentages listed above.

PART 6 - ADDENDA

The following Addenda have been received. The modifications to the Bid Documents noted therein have been considered and all costs thereto are included in the Bid Sum.

Addendum # ____ Dated _____ Addendum # ____ Dated _____
Addendum # ____ Dated _____ Addendum # ____ Dated _____

PART 7 - SUBCONTRACTORS

Identify below which work will be completed by the General Contractor's own forces and which work will be completed by first tier Subcontractors. Include Subcontractors name and estimated contract amount.

Scope of Work	GC/Sub.	Name	Est. Contract Amount
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

PART 8 - BID FORM SIGNATURE(S)

The Corporate Seal of:

(Bidder – please print the full name of your Proprietorship or Corporation)

Was hereunto affixed in the presence of:

(Authorized signing officer)

(Title)

(Seal)

END OF SECTION 00 41 13



ARCHITECT
DEMOMONICA KEMPER ARCHITECTS
 125 N. HALSTED STREET, SUITE 301
 CHICAGO, IL 60661
 P: 312.496.0000

MEP-PP-T ENGINEER
2010 ENGINEERING GROUP, LLC
 1216 TOWER ROAD,
 SCHAUMBURG, IL 60173
 P: 847.882.2010 F: 847.882.2201

MCHENRY COUNTY COLLEGE
VISITING TEAM CHANGING ROOMS
 8900 US Hwy 14
 Crystal Lake, IL 60012
 DKA PROJECT NO: 22-006

KEY PLAN:

SHEET STATUS: 04/28/2023
ISSUED FOR BID - NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE
1	ADDENDUM NO. 2	5/12/2023

SHEET TITLE:
DEMO PLAN & RCP

SHEET NUMBER:
AD1.10

DEMO SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- GYPSUM BOARD OR PLASTER PARTITION TO BE REMOVED
- CMU PARTITION TO BE REMOVED
- FRAME AND DOOR TO BE REMOVED, SALVAGE HARDWARE TO OWNER
- HATCH INDICATES AREA NOT IN SCOPE
- SUSPENDED ACOUSTICAL TILE CEILING TO BE REMOVED
- SUSPENDED ACOUSTICAL TILE CEILING TO REMAIN
- GYPSUM BOARD OR PLASTER CEILING TO BE REMOVED
- GYPSUM BOARD OR PLASTER CEILING TO REMAIN
- RECESSED 2'x2' LAY-IN LIGHT FIXTURE TO BE REMOVED
- RECESSED 2'x2' LAY-IN LIGHT FIXTURE TO REMAIN
- RECESSED 2'x2' LAY-IN LIGHT FIXTURE TO REMAIN
- RETURN AIR GRILLE TO REMAIN
- SUPPLY AIR GRILLE TO REMAIN
- RETURN AIR GRILLE TO BE REMOVED
- SUPPLY AIR GRILLE TO BE REMOVED

DEMOLITION GENERAL NOTES:

- PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
- REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJACENT SURFACES OR ORIGIN OF SUPPORT.
- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
- WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
- CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOT ENCOMPASS THE USE OF EXISTING ADJACENT SPACES.
- EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
- REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
- REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOOR SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
- REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
- NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
- ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
- REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES.
- CONTRACTOR SHALL SALVAGE ALL EXISTING CEILING TILES FOR POSSIBLE REUSE OR AS EXTRA STOCK FOR OWNER. SALVAGE ONLY UN-CUT TILES WITH NO VISIBLE DAMAGE. ONCE REMOVED, OWNER AND ARCHITECT WILL FIELD REVIEW AND APPROVE SALVAGED TILES PRIOR TO REUSE OR STORAGE.

DEMOLITION REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

F1. REMOVE CARPET FLOORING SYSTEM AND ASSOCIATED BASE COMPLETE. PREP CONCRETE SLAB AS REQUIRED FOR NEW FLOORING INSTALLATION.

WALL DEMOLITION KEYED NOTES

W1. REMOVE 8" CMU WALL AS REQUIRED FOR NEW OPENINGS. PROVIDE LINTEL AS INDICATED IN NEW WORK DETAILS AT HEAD OF EACH NEW OPENING. REMOVE PARTIAL CMU BLOCKS REMAINING AT EACH JAMB AND INFILL WITH FULL CMU BLOCKS FOR FLUSH FINISHED JAMB CONDITIONS. GRIND EXPOSED CORNERS OF CMU TO REMAIN.

W2. REMOVE 8" CMU WALL TO DECK ABOVE FOR EXTENTS INDICATED. BRACE EXISTING TO REMAIN CMU AND PREP EXPOSED EDGE AS REQUIRED FOR NEW WORK.

CEILING DEMOLITION KEYED NOTES

C1. REMOVE 8" X 24" SECTION OF CMU AS INDICATED FOR NEW TRANSFER DUCT PENETRATIONS (REFER TO MECH / NEW WORK PLANS FOR DETAILS)

C2. REMOVE 8" X 8" SECTION OF CMU AS INDICATED FOR NEW TRANSFER DUCT PENETRATIONS (REFER TO MECH / NEW WORK PLANS FOR DETAILS)

MISCELLANEOUS DEMOLITION KEYED NOTES

M1. FURNITURE - REMOVED BY OWNER

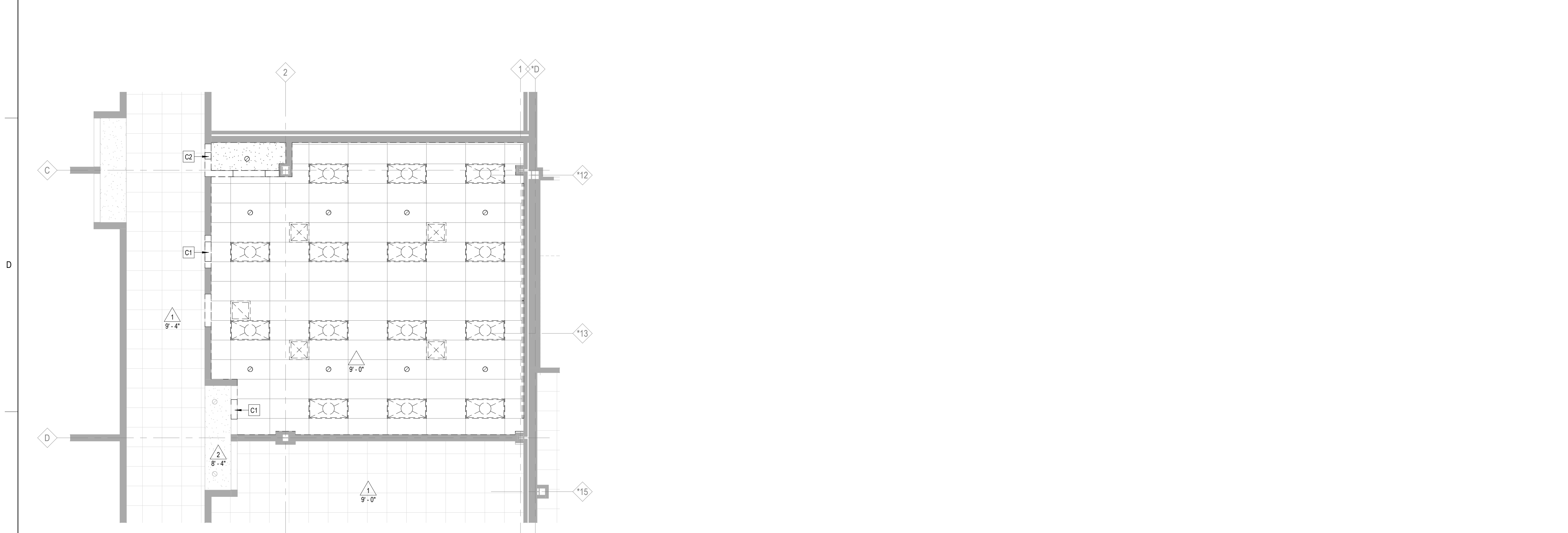
M2. WALL PHONE - REMOVE AND STORE FOR RE-INSTALLATION IN NEW WORK.

M3. REMOVE SURFACE MOUNT CONDUIT COMPLETE. PATCH AND PREP WALLS FOR FINAL PAINTED FINISH.

M4. MARKER BOARDS TO BE REMOVED BY OWNER AND PROVIDED TO CONTRACTOR FOR RE-INSTALLATION IN NEW WORK.



1 OVERALL DEMOLITION PLAN
 3/16" = 1'-0"
 TRUE NORTH



2 OVERALL DEMOLITION RCP
 3/16" = 1'-0"
 TRUE NORTH

FLOOR PLAN SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- GREY TONE LINES DEPICT EXISTING CONSTRUCTION
- EXISTING DOOR
- NEW WALL CONSTRUCTION
- NEW DOOR
- ROOM NAME TAG
- ROOM TAG
- DOOR / FRAME TAG
- PARTITION TYPE (REFER TO WALL TYPES)
- PARTITION MODIFIERS (REFER TO WALL TYPES)
- PLAN AND SECTION DETAIL CALLOUT
- SECTION CULLOUT
- ELEVATION CULLOUT
- DATUM TAG

FLOOR PLAN GENERAL NOTES:

- FINISH FLOOR ELEVATION OF 0'-0" IS EXISTING FIRST FINISH FLOOR ELEVATION. ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO 0'-0".
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO START OF WORK.
- NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING CONDITIONS AND IN-FIELD DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- PROVIDE ACCESS PANELS AT LOCATIONS INDICATED AND AS REQUIRED FOR ACCESS TO EQUIPMENT AND DEVICES INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING AND ELECTRICAL WORK. PAINT ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING FINISH.
- ALL INTERIOR PARTITIONS SHALL BE TYPE S3A (U.N.O.)
- PROVIDE SOLID FIRE RETARDANT TREATED WOOD BLOCKING, FLAT METAL STRIPS, OR METAL BACKING PLATES AT ALL WALL MOUNTED FIXTURES AND ACCESSORIES, INCLUDING BUT NOT LIMITED TO, DOOR STOPS, MILLWORK, DIGITAL DISPLAYS, VISUAL DISPLAY BOARDS, TOILET PARTITIONS, AND SIMILAR CONDITIONS.
- SEE SPECIFICATIONS FOR ORIENTATION OF GYP BD PANELS, SIZING, AND SPACING OF METAL STUD FRAMING.

RCP GENERAL NOTES:

- ALL HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS FOR REFERENCE AND FIRE PROTECTION DRAWINGS FOR ACTUAL QUANTITIES. IN CASE OF CONFLICT THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF THESE ITEMS.
- IN AREAS THAT DO NOT HAVE ARCHITECTURAL REFLECTED CEILING PLANS YET REQUIRE NEW ITEMS TO BE INSTALLED IN OR ABOVE THE CEILING PLANE, CONTRACTOR SHALL REMOVE AND REINSTALL, REPLACE OR MODIFY EXISTING CEILING CONSTRUCTION TO ACCOMMODATE NEW WORK. ANY NEW CEILING AREAS SHALL MATCH EXISTING ADJACENT FINISHES.
- CENTER ALL FIXTURES IN CEILING TILES AND FIELD VERIFY GRID LAYOUT FOR PROPER FIXTURE LOCATION. ALIGN ALL FIXTURES IN BOTH DIRECTIONS OF CEILING TILE (UNO) DETAIL.
- CENTER ALL SPRINKLER HEADS IN CEILING TILES.

FLOOR PLAN / RCP REFERENCED NOTES:

- NEW LOCATION OF WALL PHONE SALVAGED DURING DEMOLITION. PROVIDE SURFACE MOUNT CONDUIT TO CMU WALL TO ABOVE CEILING.
- MARKER BOARD PROVIDED BY OWNER AND INSTALLED BY THE CONTRACTOR. PROVIDE BLOCKING AS REQUIRED AND CONFIRM FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION.
- LOCKERS BY OWNER. COORDINATE FINAL LAYOUT WITH OWNER PRIOR TO INSTALLATION OF FURRING WALLS.
- ALIGN FACE OF NEW WALL WITH ADJACENT EXISTING CMU WALL TO REMAIN - PROVIDE CONT. SEALANT JOINT BETWEEN EXISTING AND NEW CONSTRUCTION.
- SOLID WOOD BENCH - 9'10" X 5'-0" X 1 7/8" MAPLE WITH CLEAR FINISH BENCH. BLACK POWDER-COAT FINISHED LESS ANCHORED TO CONCRETE SLAB. CONFIRM LAYOUT WITH OWNER PRIOR TO ORDER / INSTALLATION.
- ADA SOLID WOOD BENCH - 20"D X 42" L X 1 7/8" MAPLE WITH CLEAR FINISH BENCH. BLACK POWDER-COAT FINISHED LESS ANCHORED TO CONCRETE SLAB. CONFIRM LAYOUT WITH OWNER PRIOR TO ORDER / INSTALLATION.
- PROVIDE FROSTED PRESSURE APPLIED VINYL FILM AT INSIDE FACE OF EXISTING DOOR VISION PANEL AND SIDE LITE.
- NEW OPENING IN CMU WALL - TOOTH IN NEW CMU AT JAMBS AS REQUIRED FOR SOLID FINISHED EDGE CONDITIONS. PROVIDE LINTEL ABOVE DOOR AS INDICATED ON DOOR DETAILS.
- NEW OPENING FOR 24" WIDE TRANSFER DUCTS IN CMU WALL - 8' X 32" X 5/16" STL PLATE ACROSS TOP OF OPENING. MIN. 4" PAST EACH SIDE OF CMU BLOCK ABOVE.
- SOLID WOOD BENCH - 9'10" X 7'-5 1/2" X 1 7/8" MAPLE WITH CLEAR FINISH BENCH. BLACK POWDER-COAT FINISHED LESS ANCHORED TO CONCRETE SLAB. CONFIRM LAYOUT WITH OWNER PRIOR TO ORDER / INSTALLATION.

FINISH PLAN SYMBOLS LEGEND:

- WALL FINISH TYPE
- WALL BASE TYPE
- FLOOR FINISH TYPE

FINISH PLAN GENERAL NOTES:

- PAIN ALL EXPOSED CONDUIT, DUCTWORK, PIPING, ETC. IN ALL FINISHED SPACES. REFER TO INTERIOR FINISH PLANS AND REFLECTED CEILING PLANS FOR CLARIFICATIONS.
- PROVIDE CEMENTITIOUS SELF-LEVELING UNDERLAYMENT AT REMOVAL OF EXISTING FLOOR DRAINS AS REQUIRED TO PROVIDE A LEVEL SUBSTRATE FOR NEW FLOOR FINISH.
- ALL FINISHES ARE MONUMENTAL PER ROOM UNLESS NOTED OTHERWISE.
- AT ALL LOCATIONS WHERE LOCKERS ARE TO BE INSTALLED, THE SUBSEQUENT BASE TYPE SPECIFIED FOR EACH ROOM SHALL BE INSTALLED OVER TIE KICKS U.N.O.

WALL FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
PT-X	GENERAL PAINT	BENJAMIN MOORE	PROVIDED AND INSTALLED BY OWNER. CONTRACTOR TO PREP WALLS (I.E. CLEAN, PATCH, SMOCKOAT, ETC.) AS REQUIRED FOR PAINTED FINISH.

WALL BASE TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
RB-1	4" RUBBER COVE BASE	TARKETT	TBD

FLOOR FINISH TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
SV-1	SHEET VINYL	AVA FLOOR	REV. ARLINGTON NICKEL REAL0003

FLOOR TRANSITION TYPES:

TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
TRANS-1	SV TO CERAMIC TILE	TARKETT	CD-XX-B, TBD
TRANS-2	SV TO VCT	TARKETT	SUMLINE, SL-XX-B, TBD

CEILING TYPES:

TYPE	DESCRIPTION
1	1/2" PAINTED GYP BOARD ON METAL FRAMING
2	2X2 ACOUSTICAL PANEL SYSTEM

DOOR AND FRAME SCHEDULE

NUMBER	ROOM NAME	DOOR				FRAME				HARDWARE SET	SIGN TYPE	REMARKS	
		WIDTH	HEIGHT	FIRE RATING	MATERIAL	ELEV.	GLAZING TYPE	MATERIAL	ELEV.				GLAZING TYPE
103B	M. OFFICIALS	3'-0"	7'-0"	-	WD	FL	-	HM	A1	-	HS 1	-	WOOD DOOR SPECIES AND STAIN TO MATCH EXISTING BUILDING
103C	W. VISITORS	3'-0"	7'-0"	-	WD	FL	-	HM	A1	-	HS 1	-	WOOD DOOR SPECIES AND STAIN TO MATCH EXISTING BUILDING
103D	W. OFFICIALS	3'-0"	7'-0"	-	WD	FL	-	HM	A1	-	HS 1	-	WOOD DOOR SPECIES AND STAIN TO MATCH EXISTING BUILDING

HARDWARE SCHEDULE - GENERAL

NOTE: GC TO INCLUDE HARDWARE INSTALLATION IN BASE BID. ALLOWANCE NOTED IN BID DOCUMENTS WILL COVER HARDWARE MATERIALS ONLY.

HARDWARE SET 1 - TESTING ROOMS

- PASSAGE MORTISE LOCKSET WITH LEVER
- (3) HEAVY DUTY HINGES PER LEAF
- PERIMETER GASKETING, PRIMED AND PAINTED TO MATCH FINISH OF DOOR FRAMES.

CEILING TYPES:

DOOR ELEVATIONS

1/4" = 1'-0"

FRAME ELEVATIONS

1/4" = 1'-0"

HOLLOW METAL FRAME - HEAD & SILL

1 1/2" = 1'-0"

HOLLOW METAL FRAME - JAMB

1 1/2" = 1'-0"

WALL PARTITION TYPES

1/2" = 1'-0"

1 OVERALL FLOOR PLAN

3/16" = 1'-0"

3 PLAN DETAIL - 1

1" = 1'-0"

2 OVERALL REFLECTED CEILING PLAN

3/16" = 1'-0"

4 PLAN DETAIL - 2

1" = 1'-0"



ARCHITECT OF RECORD
DEMONICA KEMPER ARCHITECTS
 125 N. HALSTED STREET, SUITE 301
 CHICAGO, IL 60661
 P: 312.496.0000

MEP/FP ENGINEER
2010 ENGINEERING GROUP
 1216 TOWER ROAD
 SCHAUMBURG, IL 60193
 P: 847.882.2010

MCHENRY COUNTY COLLEGE
VISITING TEAM CHANGING ROOMS

8900 US Hwy 14
 Crystal Lake, IL 60012
 DKA PROJECT NO: 22-006

KEY PLAN:

SHEET STATUS: 04/28/2023
ISSUED FOR BIDS - NOT FOR CONSTRUCTION

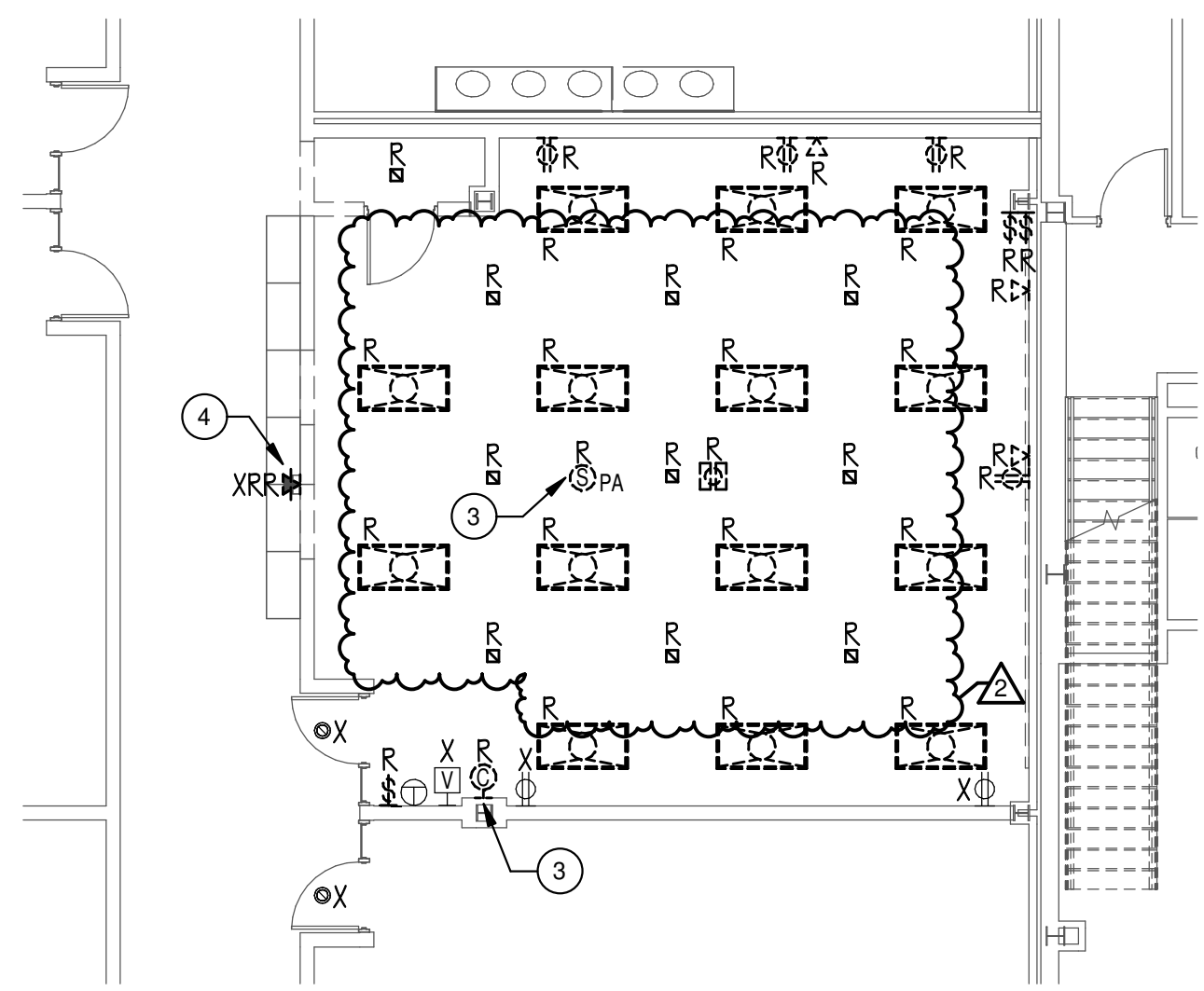
NO.	DESCRIPTION:	DATE:
2	Addendum #2	5/12/2023

SHEET TITLE:
ELECTRICAL PLANS

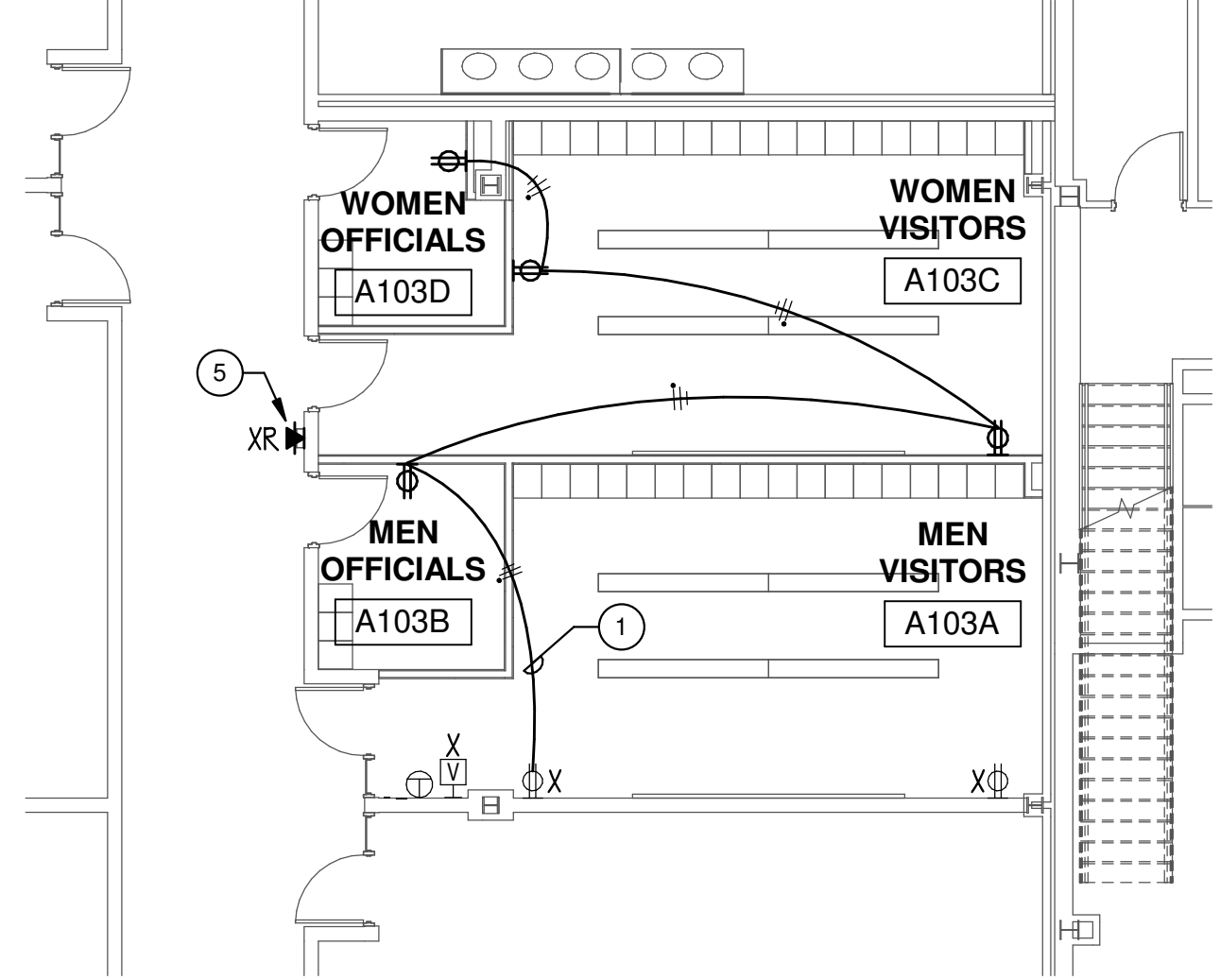
SHEET NUMBER:
E1.10

DRAWING NOTES

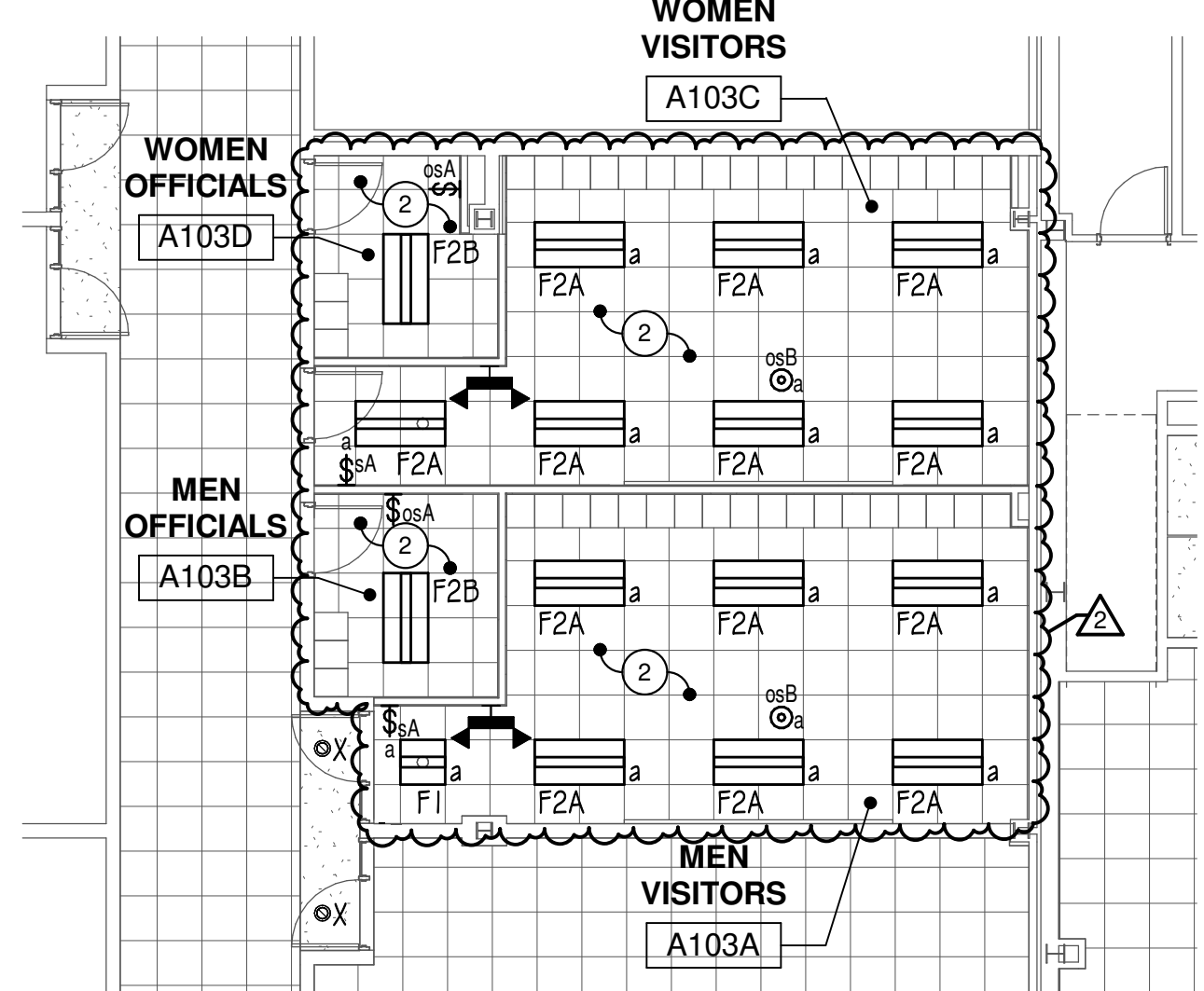
- 1 WIRE TO EXISTING RECEPTACLE BRANCH CIRCUIT CURRENTLY SERVING THIS AREA WITH CAPACITY. FIELD VERIFY EXACT REQUIREMENTS.
- 2 LUMINAIRES SHALL RECONNECT TO EXISTING LIGHTING BRANCH CIRCUIT SERVING AREA. PROVIDE NEW LIGHTING CONTROL AS INDICATED. FIELD VERIFY EXACT REQUIREMENTS.
- 3 CAREFULLY DISCONNECT, REMOVE AND TURN OVER EQUIPMENT TO OWNER'S REPRESENTATIVE.
- 4 CAREFULLY DISCONNECT, REMOVE, STORE AND PROTECT EXISTING WALL PHONE FOR RE-INSTALLATION AT NEW LOCATION. EXISTING CABLES SHALL BE PULLED BACK TO THE ACCESSIBLE CEILING SPACE AND PROTECTED DURING CONSTRUCTION FOR RE-USE.
- 5 RE-INSTALL WALL PHONE AT NEW LOCATION. RE-ROUTE EXISTING CABLE IN NEW SURFACE MOUNTED RACEWAY, WIREMOLD 700 SERIES OR EQUAL, FOR TERMINATION AT WALL PHONE. FIELD VERIFY EXACT REQUIREMENTS.



1 VISITING TEAM LOCKERS ELECTRICAL DEMOLITION PLAN
 1/8" = 1'-0"



2 VISITING TEAM LOCKERS ELECTRICAL PLAN
 1/8" = 1'-0"



3 VISITING TEAM LOCKERS LIGHTING PLAN
 1/8" = 1'-0"

EMERGENCY LIGHTING SCHEDULE

SYMBOL	TAG	DESCRIPTION	MOUNTING	LAMPS	VOLTAGE	MANUFACTURER & CATALOG NUMBER	ALTERNATIVE MANUFACTURER	NOTES
	EM1	DUAL HEAD EMERGENCY LIGHTING UNIT WITH WHITE CONTEMPORARY THERMOPLASTIC ENCLOSURE	SURFACE/WALL	LED	UVOLT	LITHONIA LIGHTING #ELM2L-UVOLT-LTP-5DR1	DUAL-LITE, HE WILLIAMS	1

- NOTES:**
- CONNECT ALL BATTERY LIGHT FIXTURES TO LOCAL UNSWITCHED NORMAL LIGHTING CIRCUIT.
- GENERAL NOTES:**
- CONTRACTOR TO PROVIDE ALL NECESSARY MOUNTING HARDWARE AND LABOR FOR ALL DEVICES.
 - BATTERIES SHALL BE CAPABLE OF PROVIDING ILLUMINATION FOR A MINIMUM OF 90 MINUTES.

LIGHTING CONTROL DEVICES SCHEDULE

SYMBOL	TYPE	DESCRIPTION	MOUNTING	MANUFACTURER & CATALOG NUMBER	ACCEPTABLE MANUFACTURERS
	osA	WALL SWITCH SENSOR, LOW VOLTAGE, DUAL TECHNOLOGY	WALL	ACUITY HLIGHT #N5XA-PDT-LV	HUBBELL LIGHTING CONTROLS, LUTRON
	osB	EXTENDED RANGE 360°, LOW VOLTAGE, DUAL TECHNOLOGY	CEILING	ACUITY HLIGHT #ICM-FDT-10-RJB	HUBBELL LIGHTING CONTROLS, LUTRON
	soA	ON/OFF SINGLE ZONE PUSH-BUTTON CONTROL STATION	WALL	ACUITY HLIGHT #nPODMA	HUBBELL LIGHTING CONTROLS, LUTRON

- GENERAL NOTES:**
- ALL SENSOR LOCATIONS ARE APPROXIMATE, REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS PRIOR TO INSTALLATION.
 - ULTRASONIC CEILING MOUNT SENSORS SHOULD BE LOCATED A MINIMUM OF SIX FEET FROM HVAC SUPPLY/RETURN VENTS.
 - CONTRACTOR IS RESPONSIBLE FOR: PROPER SENSITIVITY & TIME DELAY SETTINGS (FOR NON-ADAPTIVE PRODUCTS) RECOMMENDED PLACEMENT, AND FIELD VERIFICATION OF CIRCUITS WITH IN RESPECT TO POWER PLACEMENT.
 - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF REQUIRED NUMBER OF POWER PACKS:
 - ONE POWER PACK IS REQUIRED FOR EACH CIRCUIT TO BE CONTROLLED.
 - ONE POWER PACK IS REQUIRED FOR EACH ZONE.
 - IF MULTIPLE CIRCUITS ARE TO BE CONTROLLED BY A SENSOR, AN AUXILIARY RELAY CAN BE USED IN CONJUNCTION WITH THE POWER PACK.
 - THE MAXIMUM NUMBER OF SENSORS THAT CAN BE PUT ON A POWER PACK IS TO BE REDUCED BY ONE FOR EACH SLAVE PACK USED.
 - MOUNT CONTROL UNITS WITHIN JUNCTION BOXES INSTALLED PER ALL CODE REQUIREMENTS.
 - CONTROL WIRING BETWEEN SENSORS AND CONTROLS UNITS SHALL BE CLASS II, 18-24 AWG, STRANDED UL CLASSIFIED. WHERE RETURN AIR PLENUM IS UTILIZED, ALL CONTROL WIRING SHALL BE PLENUM-RATED.
 - SENSORS MOUNTED OVER THE DOOR MUST BE PLACED ONE FOOT INSIDE THE THRESHOLD.
 - SENSOR PLACEMENT ON PLANS IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ENGAGING A MANUFACTURER TO PRODUCE A MOTION SENSOR LAYOUT THAT IS COMPLIANT WITH THE GOVERNING ENERGY CODE.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING MOTION CONTROL OF ALL LOCATIONS SHOWN ON PLAN.
 - CONTRACTOR IS RESPONSIBLE FOR INSTALLING EQUIPMENT IN COMPLIANCE WITH LOCAL CODE.
 - PRODUCTS FROM SPECIFIED AND ACCEPTABLE MANUFACTURERS SHALL PROVIDE SAME LEVEL OF CONTROL.

LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	MOUNTING	LAMPS	VOLTAGE	INPUT WATTS	MANUFACTURER & CATALOG NUMBER	ALTERNATE MANUFACTURER	NOTES
F1	2x2' LAY-IN LED TROFFER	RECESSED	LED	277 V	26.5	LITHONIA LIGHTING #2BLT2-33L-ADP-G21-O-LP840	HUI COLUMBIA LIGHTING, HE WILLIAMS	-
F2A	2x4' LAY-IN LED TROFFER	RECESSED	LED	277 V	22.5	LITHONIA LIGHTING #2BLT4-30L-ADP-G21-O-LP840	HUI COLUMBIA LIGHTING, HE WILLIAMS	-
F2B	2x4' LAY-IN LED TROFFER	RECESSED	LED	277 V	39.3	LITHONIA LIGHTING #2BLT4-46L-ADP-G21-O-LP840	HUI COLUMBIA LIGHTING, HE WILLIAMS	-

- GENERAL NOTES:**
- CONTRACTOR TO PROVIDE NECESSARY MOUNTING HARDWARE AND LABOR FOR LUMINAIRES.
 - LAY IN CEILING GRID LUMINAIRES SHALL BE FOR USE WITH STANDARD 15/16" GRID SYSTEM.



DEMONICA KEMPER ARCHITECTS

125 North Halsted Street, Suite 301 Chicago, Illinois 60661 T 312.496.0000 | F 312.496.0001
www.dka-design.com

McHenry County College
Visiting Team Changing Rooms
DKA Project Number: 23-006

Pre-Bid Meeting Agenda

Board Room A217, 9:00am, May 8, 2023

1. This Pre-Bid Meeting is **not mandatory**. A site visit is required and can be coordinated with the college prior to submitting bids. Refer to Addendum No. 2 for the pre-bid meeting minutes.
2. Bids Due
 - a. **Date/Time: Wednesday, May 15, 2021 @ 9:00 AM**
 - b. **Location: Mr. James Julison, Director of Business Services, 8900 US Hwy 14, Building A, Room A248, Crystal Lake, IL 60012.**
 - c. Any bids received by after this time will be returned to the bidder unopened.
 - d. Bids will be opened publicly at 9:30 AM in the Board Room (A217) following the bid due date.
 - e. **Bids will be required to be held for 90 days after the due date.**
3. Bid Submittal
 - a. Submit in an **opaque, sealed envelope**. On the envelope, include the following:
 - i. Contractor Name and Address
 - ii. Bid Title
 - iii. Bid Opening Date and Time
 - b. Submittal shall include the following:
 - i. Document 00 41 13 – Bid Form
 - ii. Document 00 43 13 – Bid Bond
 - iii. Document 00 43 15 – Contractor Certification
 - iv. Document 00 43 25 – Substitution Sheet (if required)
 - v. Document 00 43 29 – W9
 - vi. Document 00 43 39 – MCC BEP Plan
 - I. The document reflects the college’s aspirational goal of 20% of MBE / WBE / DBE inclusion. This form should be completed noting the included contractors or the attempts made to meet this goal.
 - vii. Document 00 43 43 – Certificate of Compliance with Illinois Prevailing Wage Law
4. Bonds
 - a. Bid Deposit:
 - i. Not less than ten percent (10%) of the bid amount.
 - ii. Make payable to the Board of Trustees, McHenry County College.
 - iii. Held for 45 days or award of contract, whichever comes first.
 - iv. The bid deposit will be forfeited by the successful bidder in the event of the bidders failure to enter into a contract.
 - b. Performance bond and Labor & Material payment bond:
 - i. Required at 100% of the bid amount within 10 days of award of contract.
 - ii. Make payable to the Board of Trustees, McHenry County College.



5. AIA Document 201 – General Conditions of the Contract for Construction is included in specification section 00 72 13.
6. The apparent low bidder will be asked to produce a copy of **AIA Document A305 – Contractor’s Qualification Statement Form**, including references, immediately after the bid opening in order to make a recommendation to the Board of Trustees.
7. The General Contractor will be required to **identify its sub-contractors prior to award of the contract.**
8. All Contractors and Sub-Contractors are required to **pay prevailing wages** in accordance with the specifications and the Illinois Department of Labor.
9. GC shall employ **a full-time superintendent** to manage the day to day operations
10. The college is **tax exempt.**
11. The college is a **non-smoking campus.**
12. A project website is requested, but not mandatory, as noted in specification section 01 31 00. Acceptable vendors are:
 - a. Submittal Exchange
 - b. Autodesk Planroom
 - c. Procore
13. Allowances:
 - a. Door Hardware Allowance: \$6,000
 - b. Fire Alarm Allowance: \$6,000
14. Alternate Bids:
 - a. Alt. No. 1: Deduct from the Lump Sum Base Bid to eliminate all of the electrical scope from the Contract Documents.
15. Bidding Schedule:
 - a. Last RFIs Due: Thursday, May 11, 2023 at 5:00 pm
 - b. **Final Addendum:** **Friday, May 12, 2023**
 - c. **Bids Due:** **Wednesday, May 17, 2023 at 9:00 am**
 - d. **Bid Opening:** **Wednesday, May 17, 2023 at 9:30 am**
 - e. Board Meeting: Thursday, May 25, 2023
16. Construction Schedule:
 - a. **Commencement:** **On or after Monday, May 22, 2023 at 7:00 am**
 - b. **Substantial Completion:** **On or before Friday, August 11, 2023, 11:59 pm**
17. There will be no bid extensions.
18. Normal work hours shall be **7:00 am to 10:00 pm Monday thru Friday** – Contact Campus Police for access to the project site outside of normal work hours.



19. Review general scope of the project.
 - a. Interior Renovation of (1) existing classroom into (2) visiting team changing rooms and (2) officials changing rooms with new ceilings, new doors & hardware, and finishes. In addition the flooring will be replaced in the existing team locker rooms
 - b. Furniture to be provided by the owner.
 - c. Re-use existing lighting for re-installation into new layout.
 - d. New power / fire alarm work.
 - e. Adjust existing sprinkler system to tie into renovated spaces.
 - f. Adjust existing HVAC systems to tie into renovated spaces.

20. Estimated Project Cost: \$155,000

21. Review site logistics:
 - a. Construction entrance and dumpster locations will be coordinated with the college prior to commencement of work. There are parking lots directly adjacent to the construction site at the same floor level.
 - b. Utility Shutdowns should be coordinated with the college, with advance notice given for any shutdowns that will affect spaces outside of the construction area.
 - c. Contractor shall be responsible for the protection of existing conditions, utilities, and other existing elements to remain from damage due to construction activities.
 - d. Contractor shall photograph existing conditions prior to beginning work.

22. Bidders may access the project site after this meeting by contacting...
Mr. Dave Dammon, Assistant Vice President of Facilities – ddammon@mchenry.edu – (815) 455-8564

23. Questions regarding the bidding documents or bidding procedures shall be direction to...
David Sikorski – dsikorski@dka-design.com

24. Site Walkthrough
 - a. Note that Markerboard will be provided by the owner and installed by the contractor. This will be revised in the forthcoming addendum no. 2.
 - b. New lighting is required. Refer to forthcoming addendum for clarification on new light fixtures.
 - c. Add an alternate to the bid form for lighting fixtures to be provided by the owner and installed by the contractor.
 - d. All walls will be primed / painted by the owner. Contractor will prep existing and new walls as needed for final priming / painting by the owner.



McHenry County College
Visiting Team Changing Rooms
DKA Project Number: 23-006

Pre-Bid Meeting Attendee List

Board Room A217, 9:00am, May 8, 2023

1. Dave Dammon, MCC
2. James Julison, MCC
3. David Sikorski, DKA
4. Orbis Construction
5. Lo Destro Construction
6. Carmichael Construction